



T 414.220.9640
 F 414.220.9595
 P.O. Box 510663
 Milwaukee, WI
 53203

CONSULTANTS

© COPYRIGHT 2017, CONTINUUM ARCHITECTS + PLANNERS, SC



NOT FOR CONSTRUCTION
 THESE DRAWINGS ARE RELEASED FOR DESIGN DEVELOPMENT PURPOSES ONLY. THEY ARE NOT TO BE USED FOR REGULATORY APPROVAL, PERMIT, OR CONSTRUCTION PURPOSES.

WELFORD SANDERS LOFTS
 2021 N 4th St, Milwaukee, WI 53212

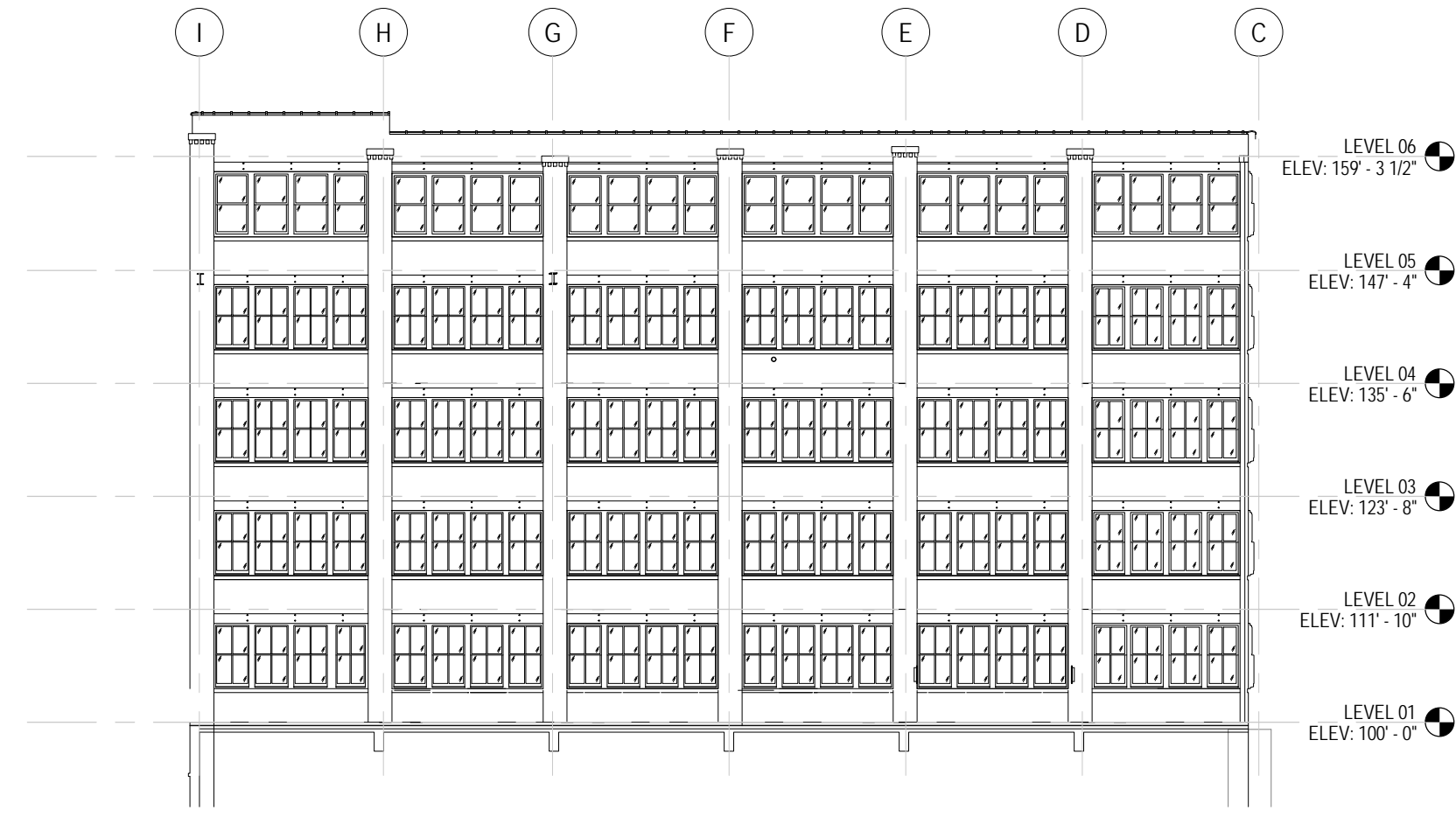
SHEET TITLE:
 DPD FLOOR PLAN

REVISIONS:

SCALE	VARIES
PROJECT NUMBER	160402
SET TYPE	
DATE ISSUED	08/25/17
SHEET NUMBER	A-PLAN

NEW WORK PLAN - ARCHITECTURAL DPD SIGNAGE PLAN
 SCALE 3/32" = 1'-0"





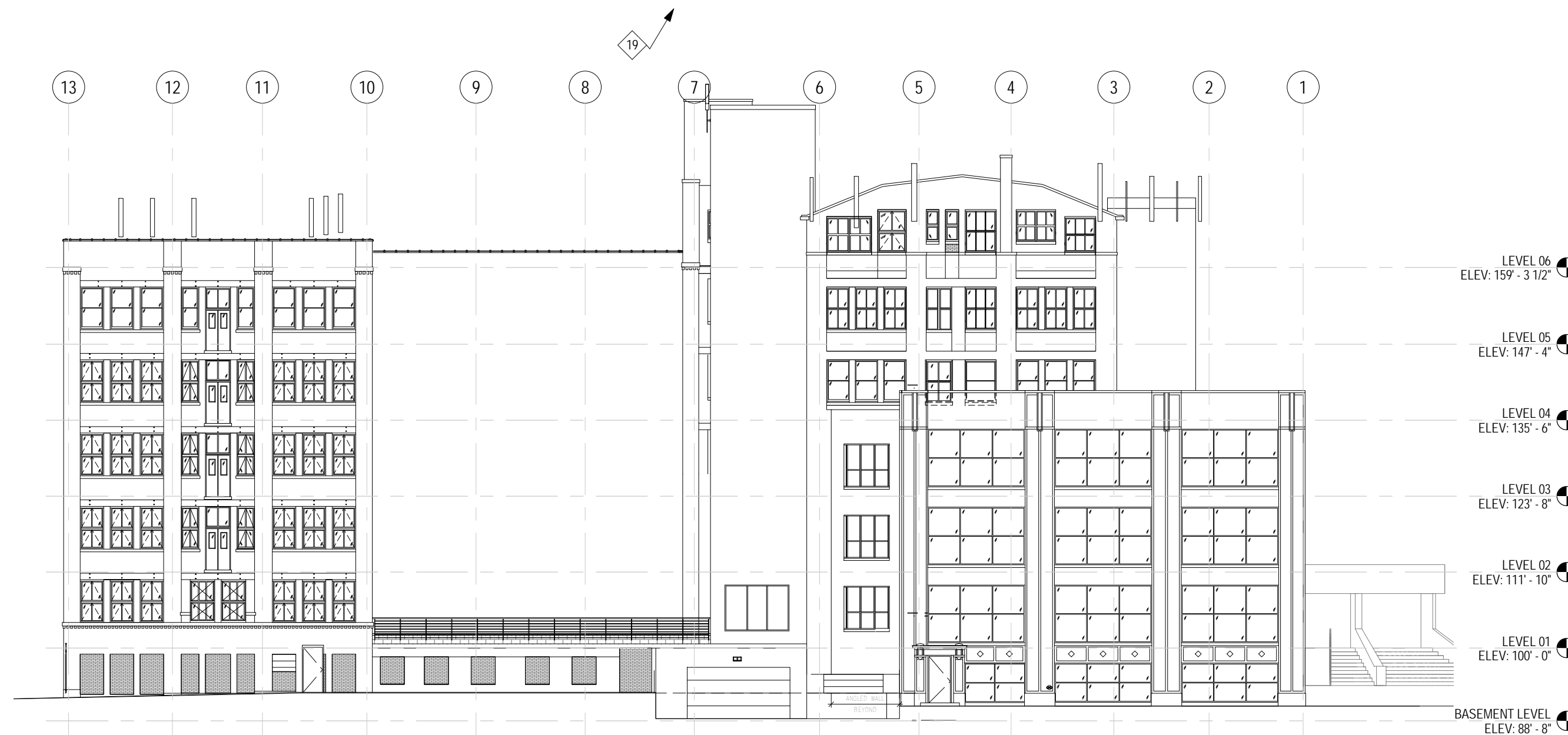
SOUTH ELEVATION - COURTYARD DPD REVIEW
SCALE: 1/16" = 1'-0"



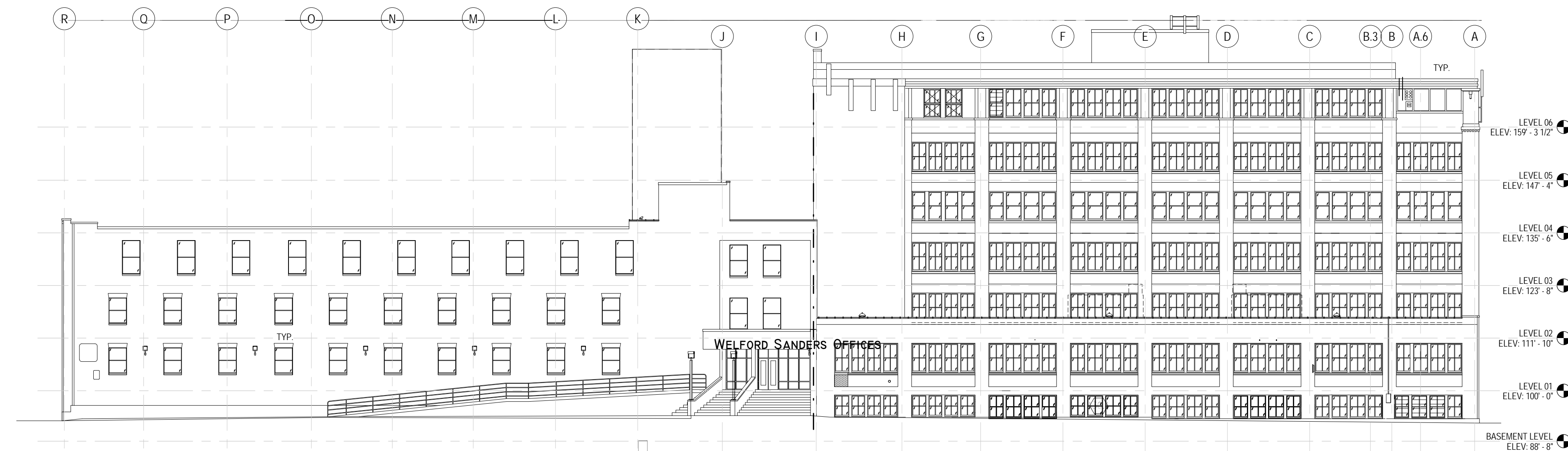
WEST ELEVATION - COURTYARD DPD REVIEW
SCALE: 1/16" = 1'-0"



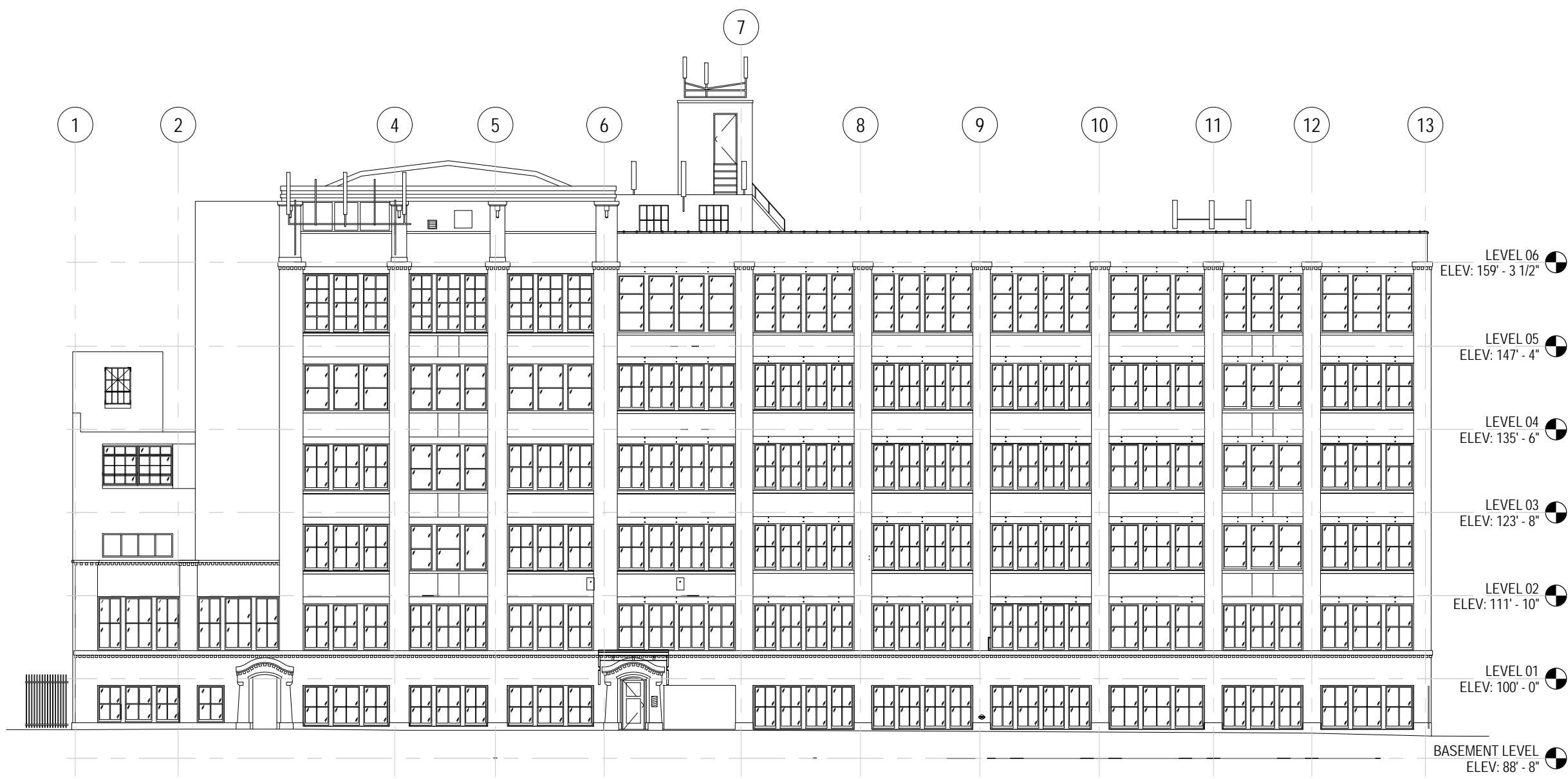
NORTH ELEVATION - COURTYARD DPD REVIEW
SCALE: 1/16" = 1'-0"



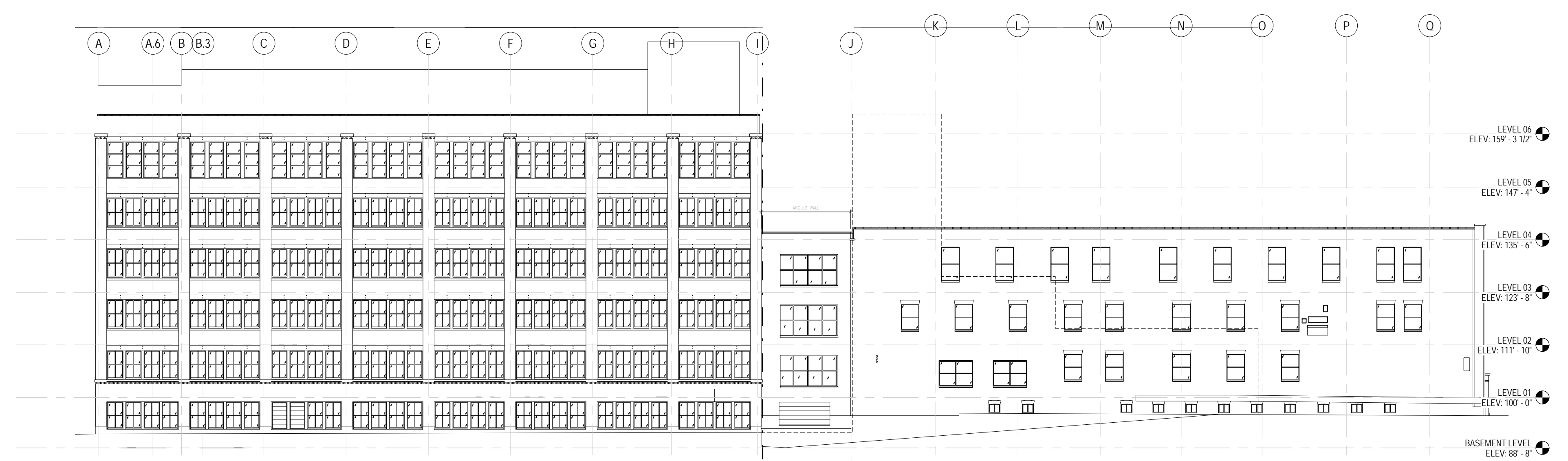
EAST ELEVATION DPD REVIEW
SCALE: 1/16" = 1'-0"



NORTH ELEVATION DPD REVIEW
SCALE: 1/16" = 1'-0"



WEST ELEVATION DPD REVIEW
SCALE: 1/16" = 1'-0"



SOUTH ELEVATION DPD REVIEW
SCALE: 1/16" = 1'-0"



T 414.220.9640
F 414.220.9595
P.O. Box 510663
Milwaukee, WI
53203

CONSULTANTS

© COPYRIGHT 2017, CONTINUUM ARCHITECTS + PLANNERS, SC

NOT FOR CONSTRUCTION
THESE DRAWINGS ARE RELEASED FOR
DESIGN DEVELOPMENT PURPOSES ONLY.
THEY ARE NOT TO BE USED FOR
REGULATORY APPROVAL, PERMITS, OR
CONSTRUCTION PURPOSES.

WELFORD SANDERS LOFTS

2021 N 4th St, Milwaukee, WI 53212

SHEET TITLE:
DPD ELEVATIONS SHEET

REVISIONS:

SCALE VARIES

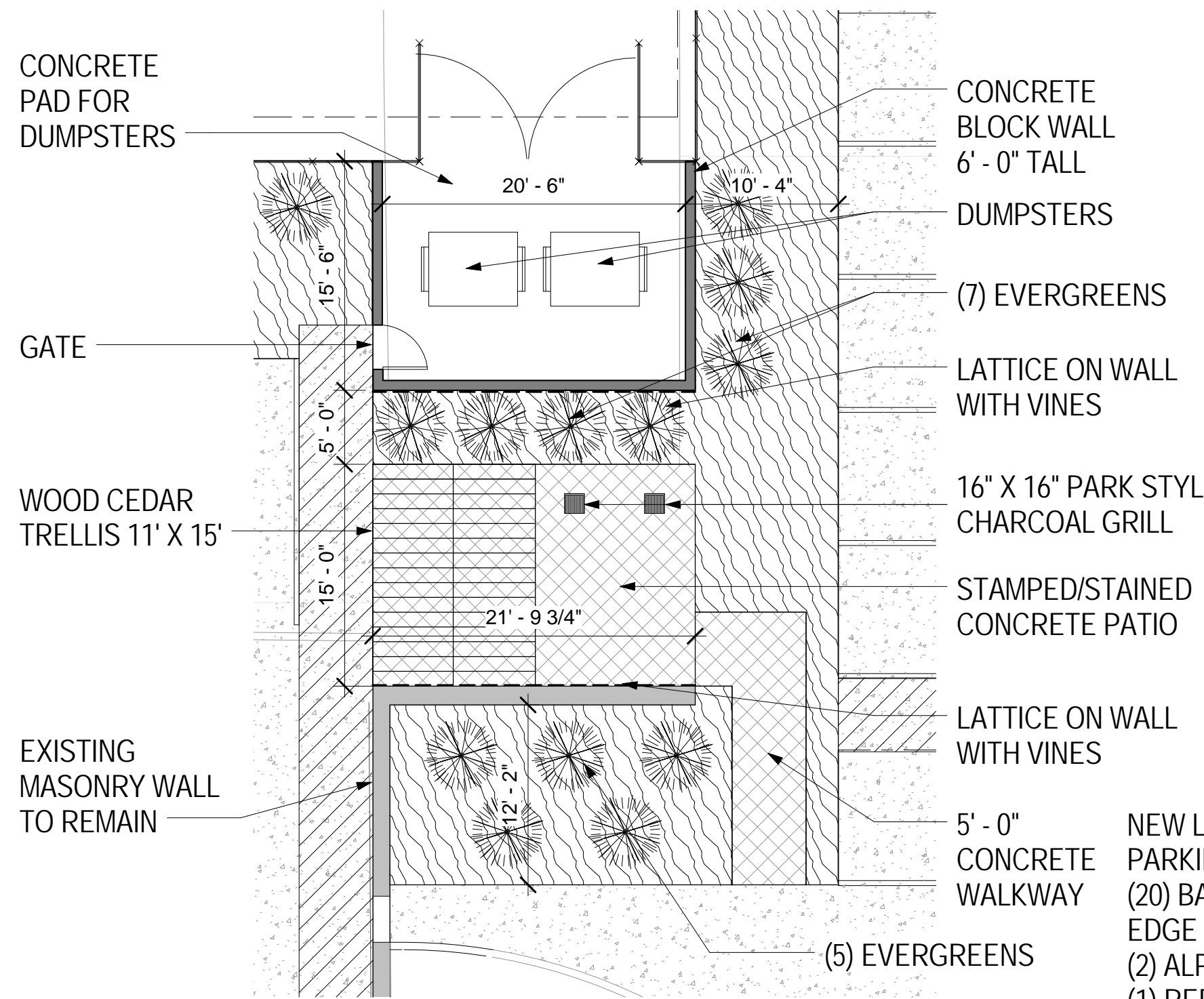
PROJECT NUMBER 160402

SET TYPE

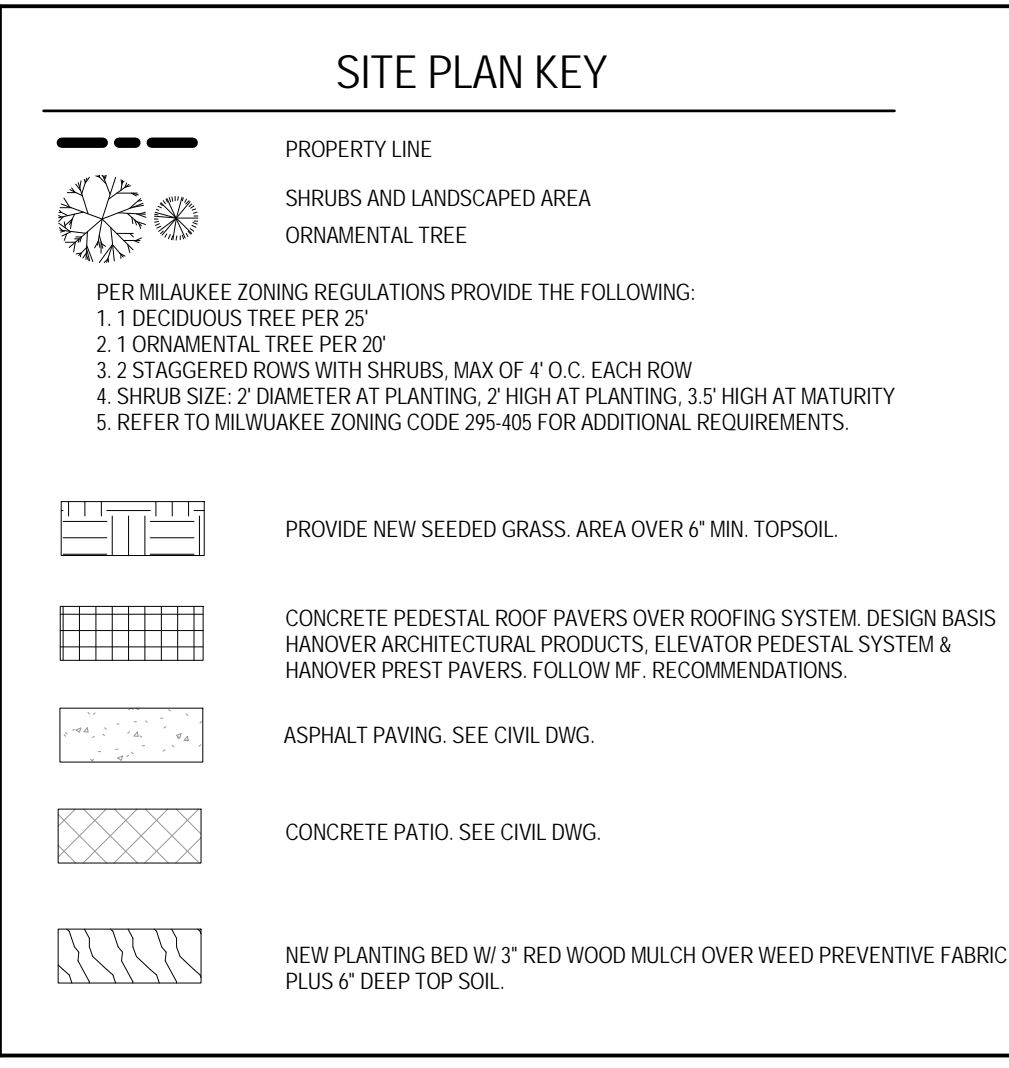
DATE ISSUED 08/25/17

SHEET NUMBER

A-ELEV



DPW SITE PLAN - ENLARGED PORTION
SCALE: 1/8" = 1'-0"

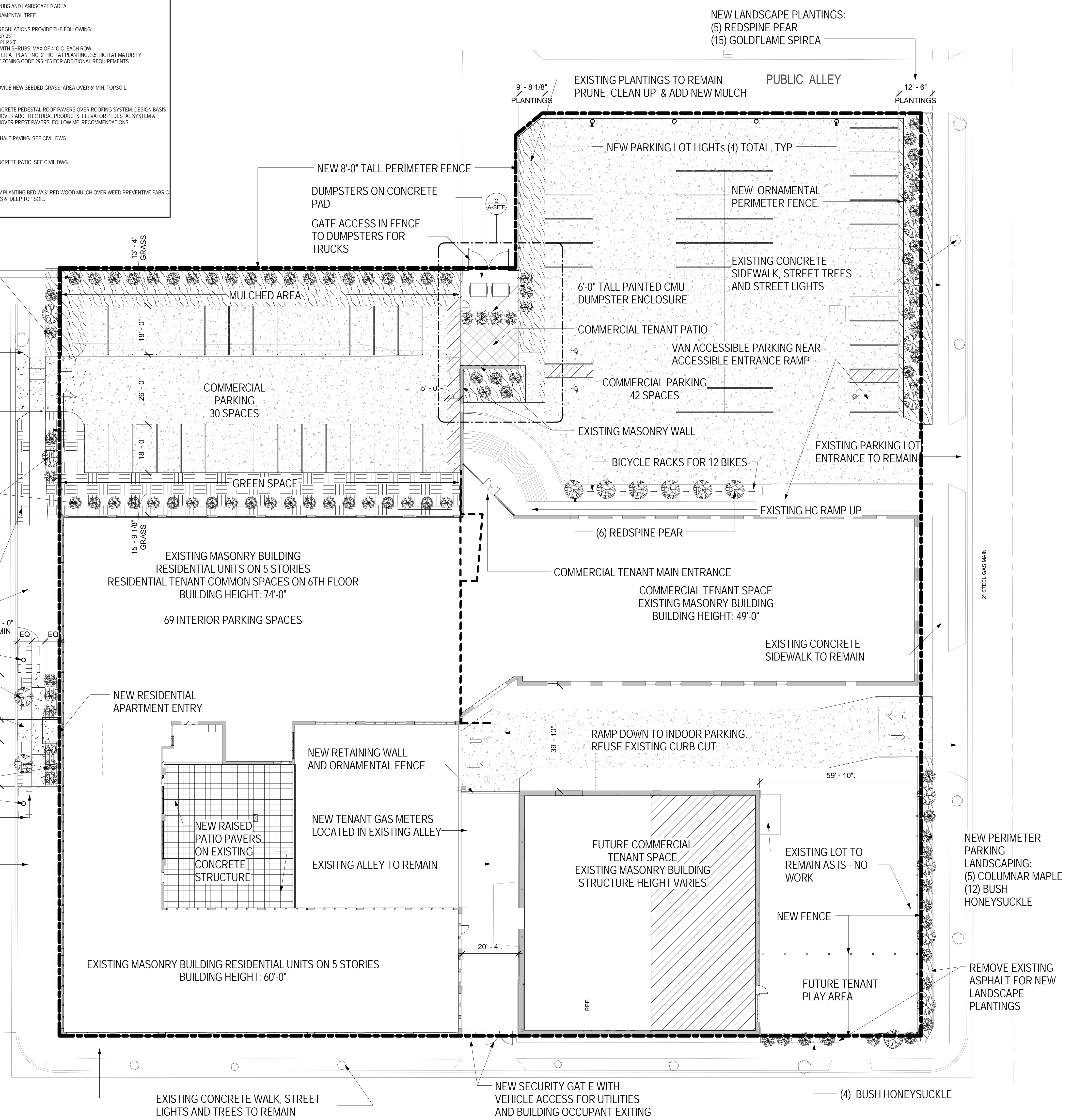


NEW LANDSCAPING AT PARKING LOT EDGE:
(20) BARBERIES ON NORTH EDGE
(2) ALPINE CURRANTS
(1) REDSPINE PEAR ON STREET EDGE

REUSE EXISTING CURB CUT
NEW 8" ORNAMENTAL FENCE WITH SLIDING VEHICLE GATE
NEW LANDSCAPING AT PARKING LOT EDGE:
(20) BARBERIES AT BUILDING
(2) ALPINE CURRANTS
(1) REDSPINE PEAR ON STREET EDGE

NEW GRASS INFILL AT REMOVED PARKING LOT CURB CUT
EXISTING CONCRETE WALK TO REMAIN
NEW HARP STREET LIGHT, TYP
(2) COLUMNAR MAPLE
NEW CONCRETE SIDEWALK
NEW RESIDENTIAL APARTMENT ENTRY
NEW RAISED PATIO PAVERS ON EXISTING CONCRETE STRUCTURE
NEW RETAINING WALL AND ORNAMENTAL FENCE
NEW TENANT GAS METERS LOCATED IN EXISTING ALLEY
EXISTING ALLEY TO REMAIN

(6) BUSH HONEYSUCKLE
NEW HARP STREET LIGHT, TYP
BICYCLE PARKING, TYP
EXISTING CONCRETE WALK TO REMAIN



NEW WORK PLAN - ARCHITECTURAL DPD SITE PLAN
SCALE: 1/16" = 1'-0"

T 414.220.9640
F 414.220.9595
P.O. Box 510663
Milwaukee, WI 53203

CONSULTANTS

WELFORD SANDERS LOFTS

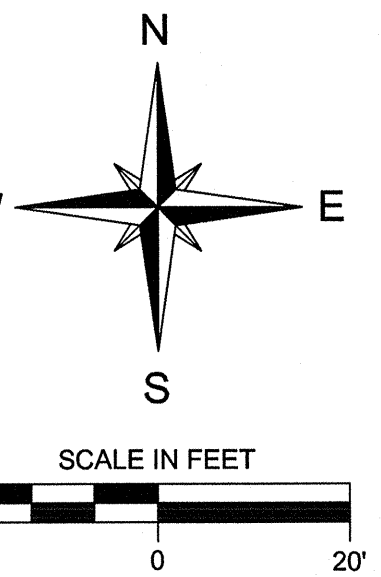
2021 N 4th St, Milwaukee, WI 53212

SHEET TITLE: DPD SITE PLAN

REVISIONS:

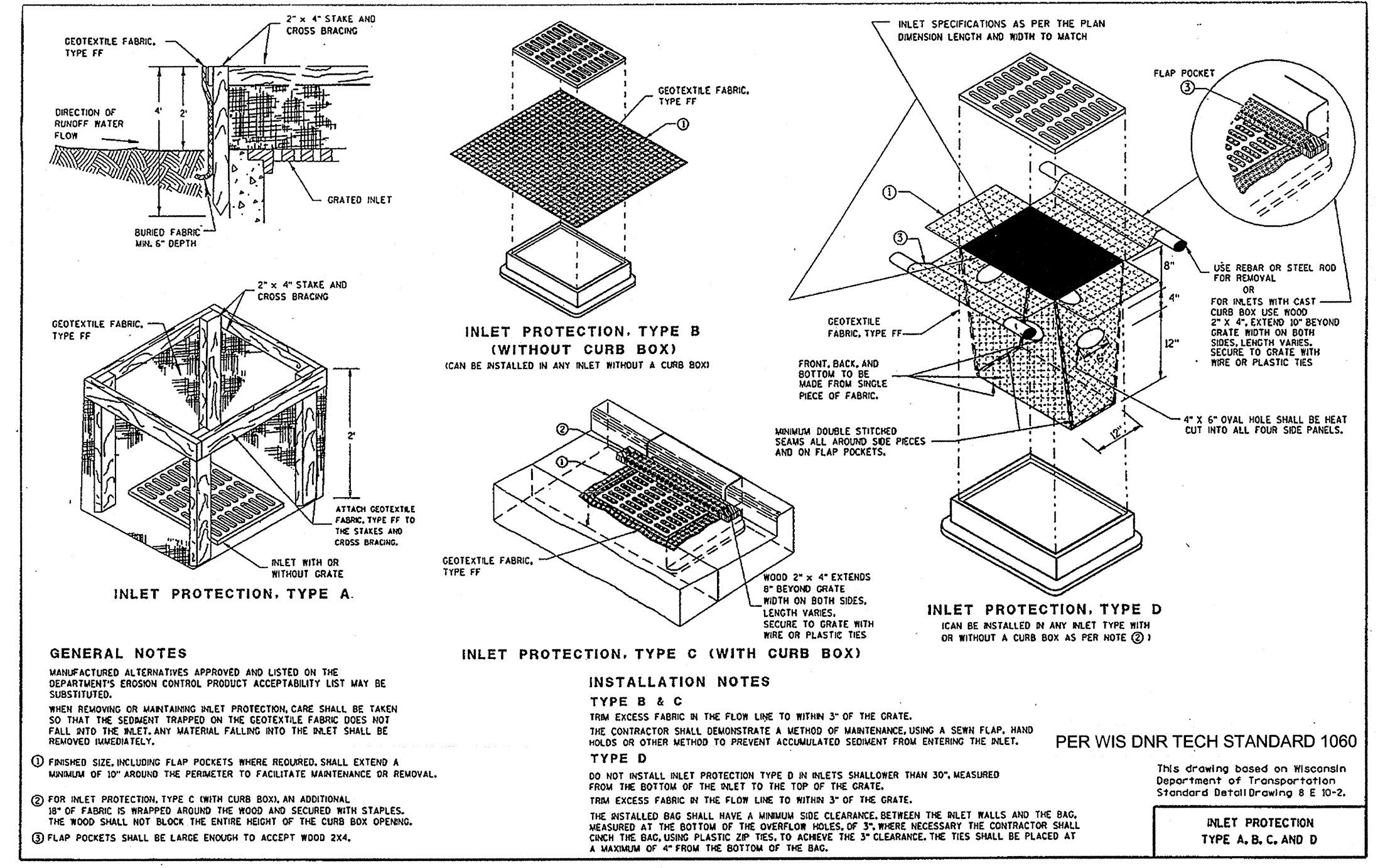
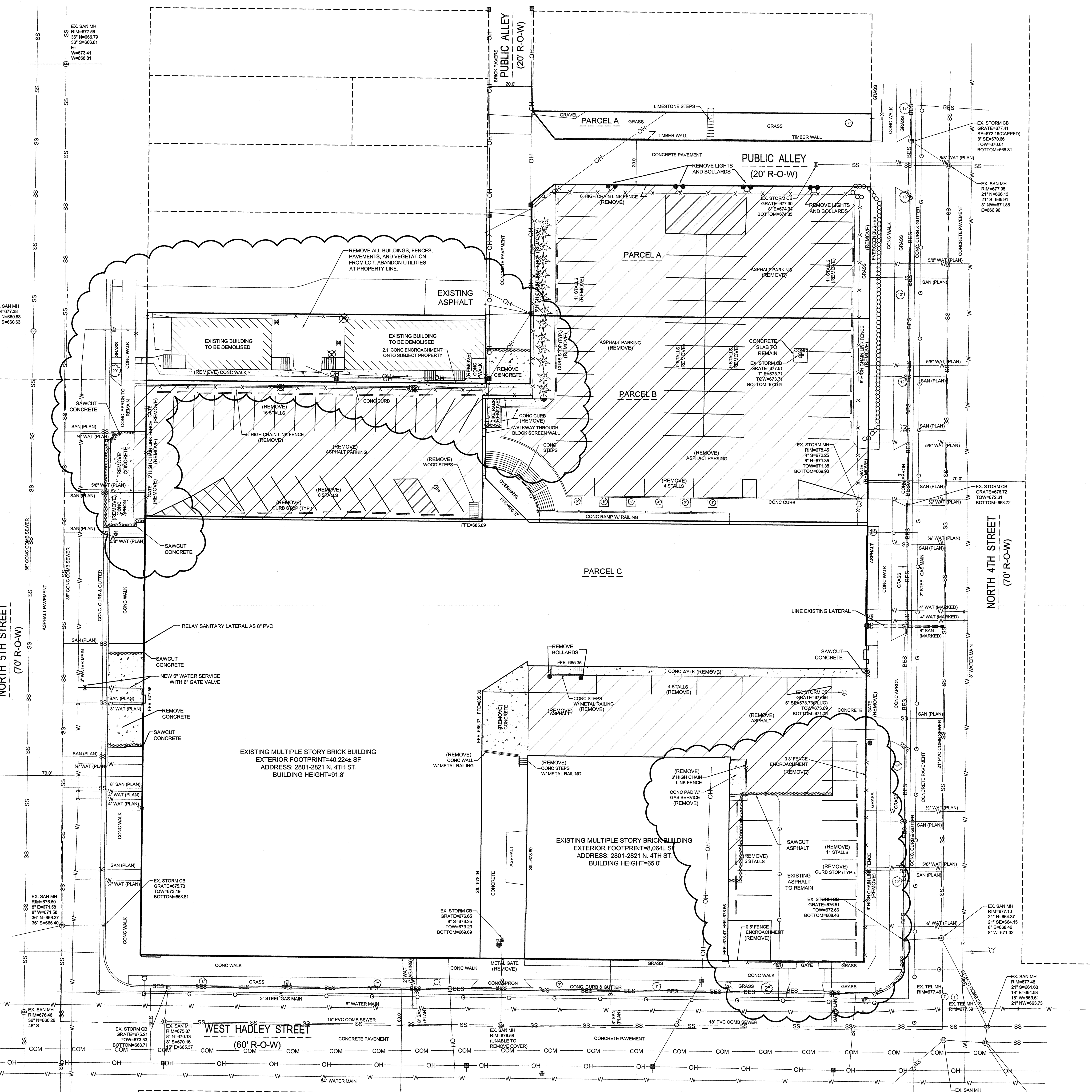
NOT FOR CONSTRUCTION
THESE DRAWINGS ARE RELEASED FOR DESIGN DEVELOPMENT PURPOSES ONLY. THEY ARE NOT TO BE USED FOR REGULATORY APPROVAL, PERMIT, OR CONSTRUCTION PURPOSES.

SCALE	VARIES
PROJECT NUMBER	160402
SET TYPE	
DATE ISSUED	08/25/17
SHEET NUMBER	A-SITE



LEGEND:

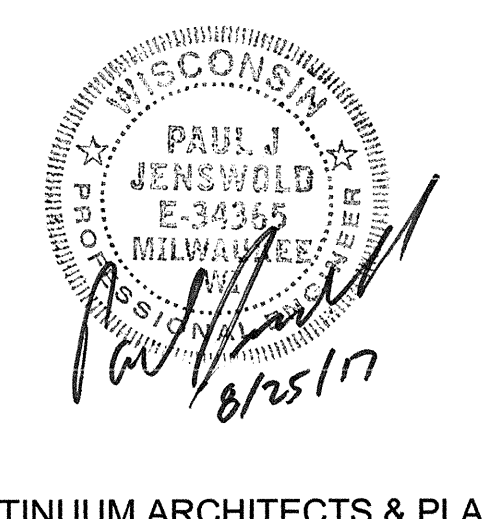
- REMOVE ASPHALT
- REMOVE CONCRETE



REFERENCE BENCHMARK: 687.55 (NGVD 29) TOP OF CONCRETE MONUMENT WITH BRASS CAP MARKING THE NORTHWEST CORNER OF THE NORTHEAST QUARTER (NE 1/4) OF SECTION 17, T7N, R22E.

- LEGEND:**
- SANITARY MANHOLE
 - SANITARY CLEANOUT
 - STORM MANHOLE
 - STORM CATCH BASIN
 - HYDRANT
 - SWANSE CONNECTION
 - WATER VALVE
 - HOUSE VALVE
 - COMMUNICATION MANHOLE
 - TELEPHONE MANHOLE
 - GAS VALVE
 - POWER POLE
 - GUY WIRE
 - BOLLARD
 - FLAG POLE
 - METAL POLE
 - SIGN
 - LIGHT POLE
 - DECIDUOUS TREE
 - CONIFEROUS TREE
 - SANITARY SEWER
 - WATER MAIN
 - COMMUNICATION LINE
 - BUREAU OF ELEC. SERVICE LINE
 - GAS MAIN
 - OVERHEAD WIRES
 - FENCE LINE
 - RAILING
 - BRUSH LINE

NOTE: The location and size of the underground structures and utilities shown hereon have been located to a reasonable degree of accuracy, but the Engineer and/or Surveyor does not guarantee their exact location or the location of others not shown. Contact Diggers Hotline, Inc., Etc.



C2.0

FOR: CONTINUUM ARCHITECTS & PLANNERS

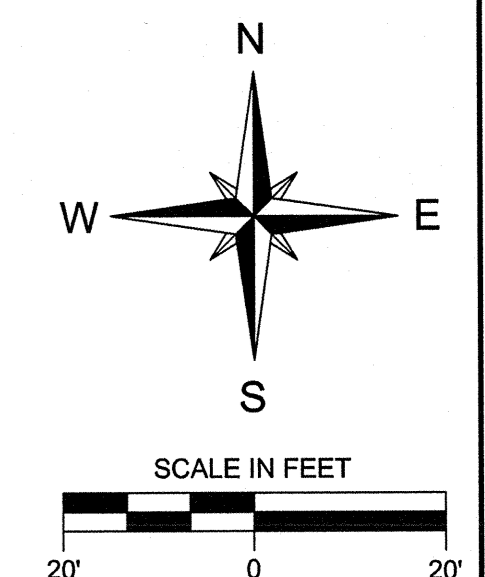
DEMOLITION PLAN
 RE: 2801-2821 NORTH 4TH STREET
 PART OF THE NE 1/4 OF SECTION 17, T7N, R22E
 CITY OF MILWAUKEE, MILWAUKEE COUNTY, WISCONSIN

JAHNKE & JAHNKE ASSOCIATES INC.
 PLANNERS & PROFESSIONAL ENGINEERS
 711 W. MORELAND BLVD. - WAUKESHA, WI 53188
 TEL. No. (262) 542-5797 FAX (262) 542-7698
 EMAIL: brohling@jahnkeandjahnke.com

REVISION DATE: AUGUST 25, 2017
 REVISION DATE: APRIL 11, 2017

SCALE: 1" = 20'
 DRAWN BY: P.J.J.
 BOOK NO.: MILWAUKEE 135

DATE: AUGUST 1, 2016
 FILE NO.: MILWAUKEE 963
 JOB: S-5461
 SHEET 2 OF 3



- CONSTRUCTION SEQUENCE:**
1. INSTALL INLET PROTECTION. CONTINUOUS INSPECTION THROUGHOUT THE PROJECT. ON SITE GENERAL CONTRACTOR SHALL INSPECT EROSION AND SEDIMENT CONTROL PRACTICES WEEKLY AND WITHIN 24 HOURS AFTER EVERY RAIN EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE IN A 24 HOUR PERIOD. WRITTEN DOCUMENTATION OF EACH INSPECTION SHALL BE MAINTAINED AT THE CONSTRUCTION SITE AND SHALL INCLUDE THE TIME, DATE AND LOCATION OF INSPECTION, THE PHASE OF LAND DISTURBANCE AT THE CONSTRUCTION SITE, PERSON CONDUCTING THE INSPECTION, ASSESSMENT OF CONTROL PRACTICES, AND DESCRIPTION OF ANY EROSION OR SEDIMENT CONTROL MEASURE INSTALLATION OR MAINTENANCE PERFORMED IN RESPONSE TO THE INSPECTION. THE WRITTEN EROSION CONTROL INSPECTION FORMS SHALL BE SUBMITTED WEEKLY TO THE CITY OF MILWAUKEE.
 2. REMOVE PAVEMENT, FENCE AND OTHER ITEMS SHOWN ON DEMOLITION PLAN.
 3. GRADE LOADING DOCK AND CURB RAMP. INSTALL STORM SEWER, RETAINING WALLS AND BASE AGGREGATE.
 4. GRADE THE CONNECTION BETWEEN THE 2 NORTH LOTS, INSTALL CURB AND BASE AGGREGATE.
 5. INSTALL PARKING LOT LIGHTING.
 6. INSTALL FENCE.
 7. POUR CONCRETE PAVEMENT.
 8. PAVE ASPHALT PAVEMENT.
 9. INSTALL LANDSCAPING AS SOON AS LANDSCAPING BEDS ARE READY. SEE LANDSCAPING PLAN.
 10. REMOVE AND DISPOSE EROSION CONTROL MEASURES.
- ESTIMATED START DATE: OCTOBER 1, 2016
ESTIMATED COMPLETION DATE: [blank]
ESTIMATED DISTURBED AREA: 0.97 ACRE

- GRADING AND EROSION CONTROL NOTE:**
1. ALL CONSTRUCTION PRACTICES TO COMPLY WITH THE CITY OF MILWAUKEE AND WISCONSIN DNR TECHNICAL STANDARDS.
 2. AFTER REMOVING PAVEMENT, KEEP EXISTING AGGREGATE BASE IN PLACE TO PREVENT CONSTRUCTION TRAFFIC FROM TRACKING MATERIAL OFF SITE. ADD ADDITIONAL 3/4" AGGREGATE BASE DENSE AS NEEDED. IN AREAS THAT REQUIRE GRADING, PLACE AGGREGATE AS SOON AS POSSIBLE TO PREVENT TRACKING AND EROSION.
 3. IN AREAS THAT ARE ALREADY LANDSCAPED ALONG 4TH STREET AND THE PUBLIC ALLEY, DO NOT GRADE LANDSCAPING BEDS. MERELY REPLACE VEGETATION AND MULCH. THESE AREAS ARE TO OTHERWISE NOT TO BE DISTURBED.
 4. ANY DEWATERING THAT MAY BE REQUIRED DUE TO UTILITY OR BUILDING CONSTRUCTION SHALL BE COMPLETED SO THAT THE WATER IS PUMPED INTO A TYPE I GEOTEXTILE BAG ON THE UPSLOPE SIDE OF THE SILT FENCE. FOLLOW DNR TECHNICAL STANDARD 1001.
 5. ALL BUILDING AND WASTE MATERIAL SHALL BE DISPOSED OF OFF SITE TO PREVENT RUNOFF OF MATERIAL INTO THE STORM SEWER SYSTEM.
 6. CONCRETE TRUCKS, IF NEEDED, ARE TO BE WASHED OUT IN SLASH OR PAVEMENT SUB-BASE AREAS.
 7. SOIL LAVIN AREA IMMEDIATELY AFTER GRADING.
 8. THE MASONRY UNIT RETAINING WALL GEOTEXTILE REINFORCEMENT SHALL BE DESIGNED BY THE RETAINING WALL MANUFACTURER PER THEIR SPECIFICATIONS. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO DELIVERY OF MATERIALS.
 9. THE SOUTHERN RETAINING WALL SHALL BE CAPPED WITH CONCRETE TO MATCH THE EXISTING PAVEMENT AND SHALL SLOPE AWAY FROM THE WALL TO THE SOUTH.
 10. THE NORTHERN RETAINING WALL SHALL BE CAPPED WITH DECORATIVE STONE ON WEEB BARBER AND SHALL BE SLOPED AT A 4% GRADE TOWARD THE RETAINING WALL.

- STORM SEWER NOTES:**
1. ALL WORK SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, SIXTH EDITION (STANDARD SPECS) AND ANY ADDENDUM THERETO, THE WISCONSIN ADMINISTRATIVE CODE, THE REQUIREMENTS OF THE CITY OF MILWAUKEE.
 2. CONTRACTORS SHALL CONTACT DIGGERS HOTLINE A MINIMUM OF 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
 3. ALL UTILITY WORK SHALL BE COORDINATED WITH THE GENERAL CONTRACTOR. UTILITY CONTRACTOR IS RESPONSIBLE FOR LEVELING THE EXCESS SPOIL MATERIAL FROM THE TRENCH UNLESS OTHERWISE DIRECTED BY THE GENERAL CONTRACTOR.
 4. ALL BEDDING AND COVER MATERIAL SHALL BE CRUSHED STONE CHIPS PER THE STANDARD SPECS, SECTION 8.4.2.
 5. GRANULAR BACKFILL SHALL BE USED IN ALL PAVED AND CONCRETE AREAS AND WITHIN FIVE FEET OF SAND AREAS PER THE STANDARD SPEC. SECTION 8.4.4.
 6. THE STORM SEWER PIPE SHALL CONFORM TO ASTM 891, SCHEDULE 40. JOINTS SHALL BE MADE BY THE USE OF AN ELASTOMERIC SEAL CONFORMING TO ASTM D3212.
 7. ALL STORM SEWER MANHOLES SHALL BE PRECAST METEING FILE NO. 12 OF THE STANDARD SPECIFICATIONS. THE MINIMUM SIZE SHALL CONFORM TO ASTM D3212.
 8. THE FRAME AND COVER FOR THE STORM MANHOLES SHALL BE HENKAM R-2601, WHICH HAS AN ACCESS OPENING OF 24" X 18".

- PAVING NOTES:**
1. ALL WORK SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, 2016 EDITION.
 2. AGGREGATE BASE SHALL BE 3/4" AGGREGATE BASE DENSE PER SECTION 305 OF THE STANDARD SPECIFICATIONS.
 3. CONCRETE PAVEMENT, DRIVEWAYS, SIDEWALKS AND CONCRETE PADS SHALL BE CONSTRUCTED PER SECTIONS 415 AND 416 OF THE STANDARD SPECIFICATIONS.
 4. ASPHALT PAVEMENT SHALL BE HMA PAVEMENT E-0.3 WITH PG 64-28 ASPHALT MATERIAL PER SECTIONS 455-456 OF THE STANDARD SPECIFICATIONS.
 5. PAVEMENT THICKNESS SHALL BE AS FOLLOWS:
- | | | |
|-----------------------------------|-----------------|-------------------|
| CONCRETE LOADING DOCK: | 4" CONCRETE | 4" AGGREGATE BASE |
| DRIVEWAY: | 7" CONCRETE | 4" AGGREGATE BASE |
| SIDEWALK: | 4" CONCRETE | 4" AGGREGATE BASE |
| CONCRETE DUMPSTER PAD: | 7" CONCRETE | 4" AGGREGATE BASE |
| ASPHALT PAVEMENT (TYP.): | 3 1/2" CONCRETE | 8" AGGREGATE BASE |
| ASPHALT PAVEMENT BY LOADING DOCK: | 5" CONCRETE | 8" AGGREGATE BASE |
- PARKING LOTS HAVE BEEN DESIGNED TO HAVE SIMILAR GRADES AND DRAINAGE PATTERNS AS THE EXISTING LOTS. WHERE POSSIBLE, USE EXISTING AGGREGATE BASE. ADD ADDITIONAL BASE AS NEEDED.

REFERENCE BENCHMARK: 687.55 (NGVD 29) TOP OF CONCRETE MONUMENT WITH BRASS CAP MARKING THE NORTHWEST CORNER OF THE NORTHEAST QUARTER (NE 1/4) OF SECTION 17, T7N, R22E.

- LEGEND:**
- STORM CATCH BASIN
 - STORM CATCH BASIN
 - HYDRANT
 - SIAMESE CONNECTION
 - WATER VALVE
 - HOUSE VALVE
 - COMMUNICATION MANHOLE
 - TELEPHONE MANHOLE
 - GAS VALVE
 - POWER POLE
 - GUY WIRE
 - BOLLARD
 - METAL POLE
 - SIGN
 - LIGHT POLE
 - DECIDUOUS TREE
 - CONIFEROUS TREE
 - SS SANITARY SEWER
 - W WATER MAIN
 - COM COMMUNICATION LINE
 - BES BUREAU OF ELEC. SERVICE LINE
 - G GAS MAIN
 - OH OVERHEAD WIRES
 - SW SWALE
 - X FENCE LINE
 - R RAILING
 - BRUSH LINE
 - 680 1-FOOT CONTOUR LINE
 - 600 5-FOOT CONTOUR LINE



C3.0

FOR: CONTINUUM ARCHITECTS & PLANNERS

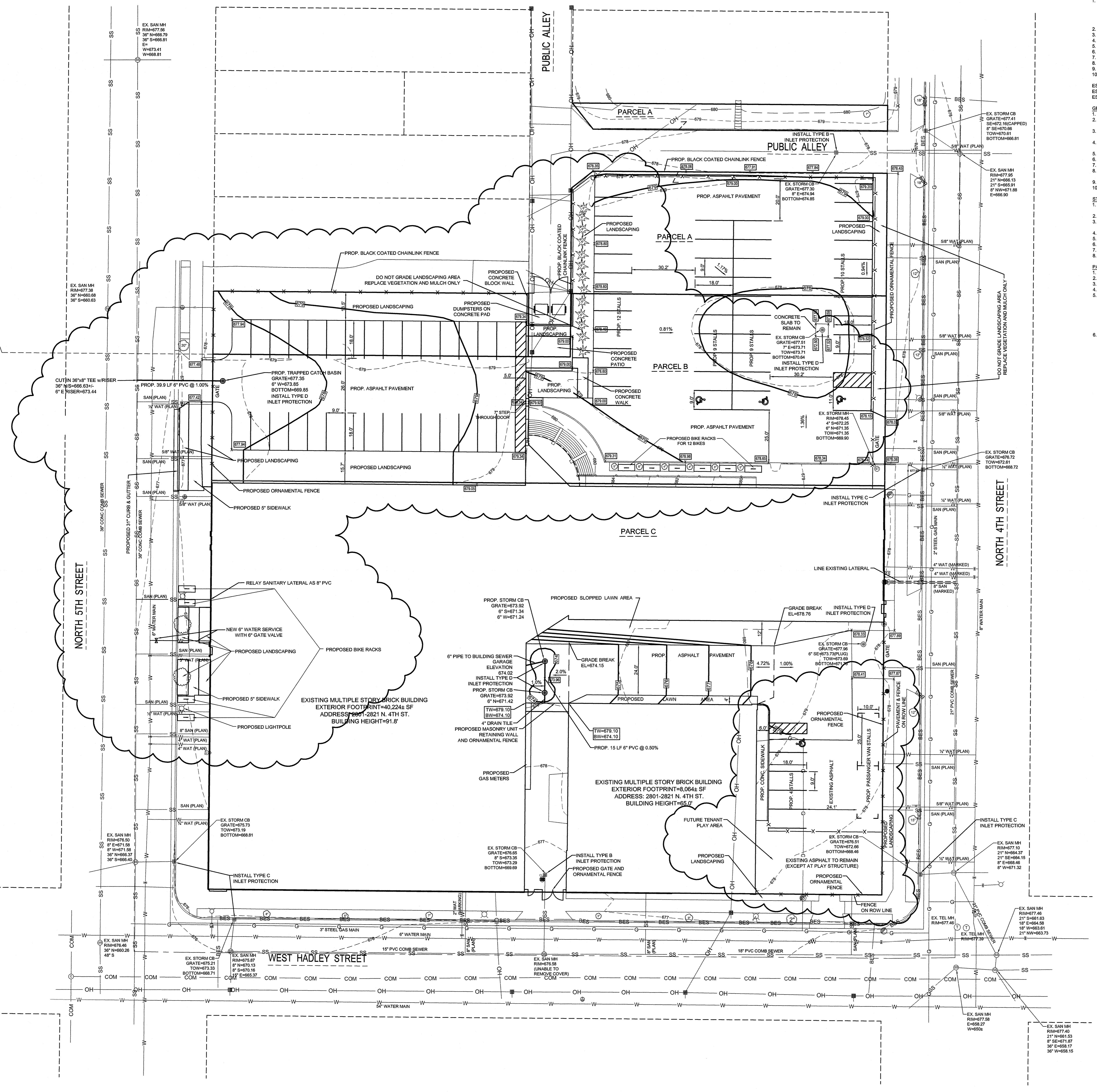
SITE GRADING, EROSION CONTROL AND STORM SEWER PLAN
RE: 2801-2821 NORTH 4TH STREET
PART OF THE NE 1/4 OF SECTION 17, T7N, R22E
CITY OF MILWAUKEE, MILWAUKEE COUNTY, WISCONSIN

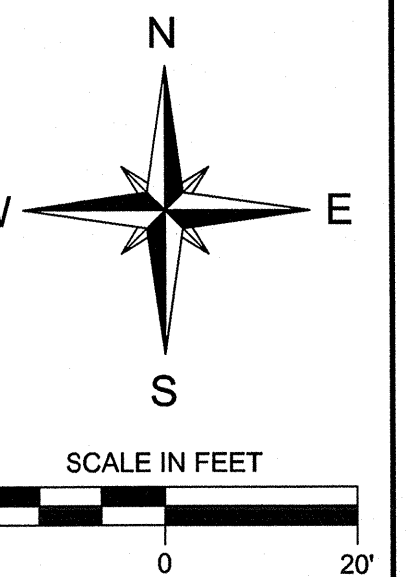
JAHNKE & JAHNKE ASSOCIATES INC.
PLANNERS & PROFESSIONAL ENGINEERS
711 W. MORELAND BLVD. - WAUKESHA, WI 53188
TEL. NO. (262) 542-5797 FAX (262) 542-7698
EMAIL: b.jahnke@jahnkeandjahnke.com

SCALE: 1" = 20'
DRAWN BY: B.R. CHECKED BY: P.J.J. FILE NO.: MILWAUKEE 963
BOOK NO.: MILWAUKEE 135 JOB: S-8481 SHEET 3 OF 3

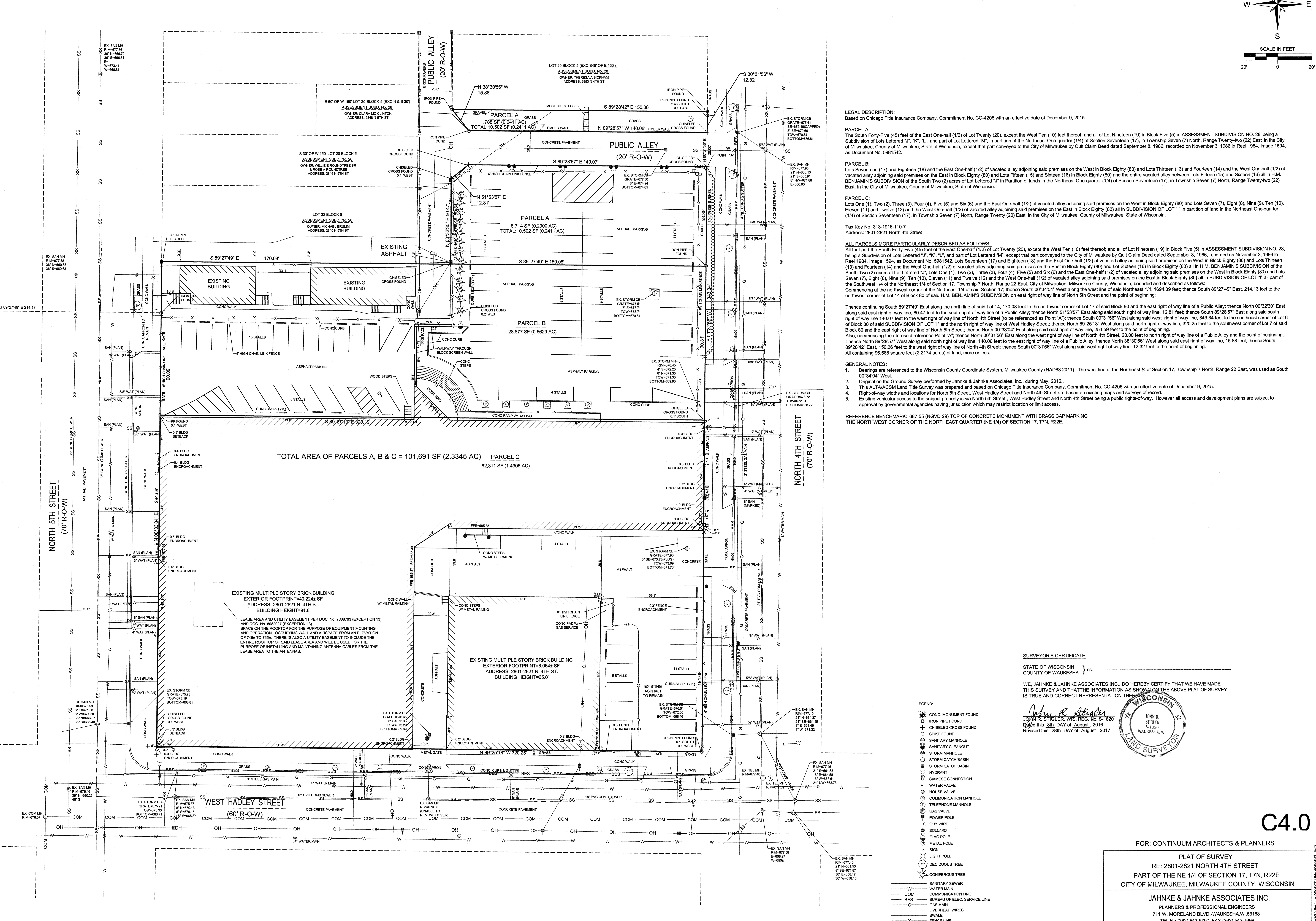
NOTE: The location and size of the underground structures and utilities shown herein have been located to a reasonable degree of accuracy, but the Engineer and/or Surveyor does not guarantee their exact location or the location of others not shown.
Contact Diggers Hotline, Inc., etc.

REVISION DATE: AUGUST 25, 2017
REVISION DATE: MARCH 10, 2017
REVISION DATE: MARCH 13, 2017
REVISION DATE: MARCH 23, 2017
REVISION DATE: APRIL 11, 2017





NW COR OF THE NE 1/4 OF SEC. 17-22 CONC. MON. WITH BRASS CAP FOUND



LEGAL DESCRIPTION: Based on Chicago Title Insurance Company, Commitment No. CO-4205 with an effective date of December 9, 2015.

PARCEL A: The South Forty-Five (45) feet of the East One-half (1/2) of Lot Twenty (20), except the West Ten (10) feet thereof, and all of Lot Nineteen (19) in Block Five (5) in ASSESSMENT SUBDIVISION NO. 28, being a Subdivision of Lots Lettered "J", "K", "L", and part of Lot Lettered "M", in part of the Northeast One-quarter (1/4) of Section Seventeen (17), in Township Seven (7) North, Range Twenty-two (22) East, in the City of Milwaukee, County of Milwaukee, State of Wisconsin, except that part conveyed to the City of Milwaukee by Quit Claim Deed dated September 8, 1986, recorded on November 3, 1986 in Reel 1984, Image 1594, as Document No. 9981542.

PARCEL B: Lots Seventeen (17) and Eighteen (18) and the East One-half (1/2) of vacated alley adjoining said premises on the West in Block Eighty (80) and Lots Thirteen (13) and Fourteen (14) and the West One-half (1/2) of vacated alley adjoining said premises on the East in Block Eighty (80) and Lots Fifteen (15) and Sixteen (16) in Block Eighty (80) and the entire vacated alley between Lots Fifteen (15) and Sixteen (16) all in H.M. BENJAMIN'S SUBDIVISION OF THE SOUTH TWO (2) ACRES OF LOT LETTERED "J" IN PARTITION OF LANDS IN THE NORTHEAST ONE-QUARTER (1/4) OF SECTION SEVENTEEN (17), IN TOWNSHIP SEVEN (7) NORTH, RANGE TWENTY-TWO (22) EAST, IN THE CITY OF MILWAUKEE, COUNTY OF MILWAUKEE, STATE OF WISCONSIN.

PARCEL C: Lots One (1), Two (2), Three (3), Four (4), Five (5) and Six (6) and the East One-half (1/2) of vacated alley adjoining said premises on the West in Block Eighty (80) and Lots Seven (7), Eight (8), Nine (9), Ten (10), Eleven (11) and Twelve (12) and the West One-half (1/2) of vacated alley adjoining said premises on the East in Block Eighty (80) all in SUBDIVISION OF LOT "I" IN PARTITION OF LANDS IN THE NORTHEAST ONE-QUARTER (1/4) OF SECTION SEVENTEEN (17), IN TOWNSHIP SEVEN (7) NORTH, RANGE TWENTY (20) EAST, IN THE CITY OF MILWAUKEE, COUNTY OF MILWAUKEE, STATE OF WISCONSIN.

Tax Key No. 313-1916-110-7 Address: 2801-2821 North 4th Street

ALL PARCELS MORE PARTICULARLY DESCRIBED AS FOLLOWS: All that part the South Forty-Five (45) feet of the East One-half (1/2) of Lot Twenty (20), except the West Ten (10) feet thereof, and all of Lot Nineteen (19) in Block Five (5) in ASSESSMENT SUBDIVISION NO. 28, being a Subdivision of Lots Lettered "J", "K", "L", and part of Lot Lettered "M", except that part conveyed to the City of Milwaukee by Quit Claim Deed dated September 8, 1986, recorded on November 3, 1986 in Reel 1984, Image 1594, as Document No. 9981542, Lots Seventeen (17) and Eighteen (18) and the East One-half (1/2) of vacated alley adjoining said premises on the West in Block Eighty (80) and Lots Thirteen (13) and Fourteen (14) and the West One-half (1/2) of vacated alley adjoining said premises on the East in Block Eighty (80) and Lot Sixteen (16) in Block Eighty (80) all in H.M. BENJAMIN'S SUBDIVISION OF THE SOUTH TWO (2) ACRES OF LOT LETTERED "J", Lots One (1), Two (2), Three (3), Four (4), Five (5) and Six (6) and the East One-half (1/2) of vacated alley adjoining said premises on the East in Block Eighty (80) and Lots Seven (7), Eight (8), Nine (9), Ten (10), Eleven (11) and Twelve (12) and the West One-half (1/2) of vacated alley adjoining said premises on the East in Block Eighty (80) all in SUBDIVISION OF LOT "I" all part of the Southwest 1/4 of the Northeast 1/4 of Section 17, Township 7 North, Range 22 East, City of Milwaukee, Milwaukee County, Wisconsin, bounded and described as follows: Commencing at the northwest corner of the Northeast 1/4 of said Section 17; thence South 00°34'04" East along the west line of said Northeast 1/4, 1694.39 feet; thence South 89°27'49" East, 214.13 feet to the northwest corner of Lot 14 of Block 80 of said H.M. BENJAMIN'S SUBDIVISION on east right of way line of North 5th Street and the point of beginning;

Thence continuing South 89°27'49" East along the north line of said Lot 14, 170.08 feet to the northwest corner of Lot 17 of said Block 80 and the east right of way line of a Public Alley; thence North 00°32'30" East along said east right of way line, 80.47 feet to the south right of way line of a Public Alley; thence North 51°53'57" East along said south right of way line, 12.81 feet; thence South 89°28'57" East along said south right of way line 140.07 feet to the west right of way line of North 4th Street, (to be referenced as Point "A"); thence South 00°31'56" West along said right of way line, 343.34 feet to the southeast corner of Lot 6 of Block 80 of said SUBDIVISION OF LOT "I" and the north right of way line of West Hadley Street; thence North 89°25'18" West along said north right of way line, 320.25 feet to the southwest corner of Lot 7 of said Block 80 and the east right of way line of North 5th Street; thence North 00°33'04" East along said east right of way line, 254.59 feet to the point of beginning. Also, commencing at the aforesaid reference Point "A"; thence North 00°31'56" East along the west right of way line of North 4th Street, 20.00 feet to north right of way line of a Public Alley and the point of beginning; Thence North 89°28'57" West along said north right of way line, 140.06 feet to the east right of way line of a Public Alley; thence North 38°30'56" West along said east right of way line, 15.88 feet; thence South 89°28'42" East, 150.06 feet to the west right of way line of North 4th Street; thence South 00°31'56" West along said west right of way line, 12.32 feet to the point of beginning. All containing 96,588 square feet (2.2174 acres) of land, more or less.

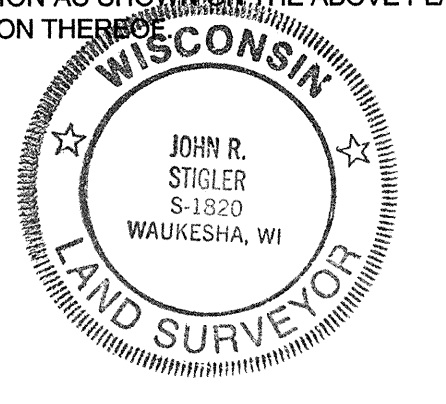
- GENERAL NOTES: 1. Bearings are referenced to the Wisconsin County Coordinate System, Milwaukee County (NAD83 2011). The west line of the Northeast 1/4 of Section 17, Township 7 North, Range 22 East, was used as South 00°34'04" West. 2. Original on the Ground Survey performed by Jahnke & Jahnke Associates, Inc., during May, 2016. 3. This ALTA/ACSM Land Title Survey was prepared and based on Chicago Title Insurance Company, Commitment No. CO-4205 with an effective date of December 9, 2015. 4. Right-of-way widths and locations for North 5th Street, West Hadley Street and North 4th Street are based on existing maps and surveys of record. 5. Existing vehicular access to the subject property is via North 5th Street, West Hadley Street and North 4th Street being a public rights-of-way. However all access and development plans are subject to approval by governmental agencies having jurisdiction which may restrict location or limit access.

REFERENCE BENCHMARK: 687.55 (NGVD 29) TOP OF CONCRETE MONUMENT WITH BRASS CAP MARKING THE NORTHWEST CORNER OF THE NORTHEAST QUARTER (NE 1/4) OF SECTION 17, T7N, R22E.

SURVEYOR'S CERTIFICATE STATE OF WISCONSIN COUNTY OF WAUKESHA

WE, JAHNKE & JAHNKE ASSOCIATES INC., DO HEREBY CERTIFY THAT WE HAVE MADE THIS SURVEY AND THAT THE INFORMATION AS SHOWN ON THE ABOVE PLAT OF SURVEY IS TRUE AND CORRECT REPRESENTATION THEREOF.

John R. Stigler JOHN R. STIGLER, WIS. REG. NO. S-1820 Dated this 8th DAY of August, 2016 Revised this 28th DAY of August, 2017



- LEGEND: CONC. MONUMENT FOUND, IRON PIPE FOUND, CHISELED CROSS FOUND, SPIKE FOUND, SANITARY MANHOLE, SANITARY CLEANOUT, STORM MANHOLE, STORM CATCH BASIN, HYDRANT, SWANE CONNECTION, WATER VALVE, HOUSE VALVE, COMMUNICATION MANHOLE, TELEPHONE MANHOLE, GAS VALVE, POWER POLE, GUY WIRE, BOLLARD, FLAG POLE, METAL POLE, SIGN, LIGHT POLE, DECIDUOUS TREE, CONIFEROUS TREE, SANITARY SEWER, WATER MAIN, COMMUNICATION LINE, BUREAU OF ELEC. SERVICE LINE, GAS MAIN, OVERHEAD WIRES, SWALE, FENCE LINE, RAILING, BRUSH LINE, 1-FOOT CONTOUR LINE, 5-FOOT CONTOUR LINE

FOR: CONTINUUM ARCHITECTS & PLANNERS PLAT OF SURVEY RE: 2801-2821 NORTH 4TH STREET PART OF THE NE 1/4 OF SECTION 17, T7N, R22E CITY OF MILWAUKEE, MILWAUKEE COUNTY, WISCONSIN JAHNKE & JAHNKE ASSOCIATES INC. PLANNERS & PROFESSIONAL ENGINEERS 711 W. MORELAND BLVD.-WAUKESHA, WI 53188 TEL No. (262) 542-5797 FAX (262) 542-7698 EMAIL: brohling@jahnkeandjahnke.com SCALE: 1" = 20' DATE: AUGUST 8, 2016 DRAWN BY: B.R. CHECKED BY: A.S.Z. FILE NO.: MILWAUKEE 963 BOOK NO.: MILWAUKEE 135 JOB: S-8491 SHEET 3 OF 4

C4.0