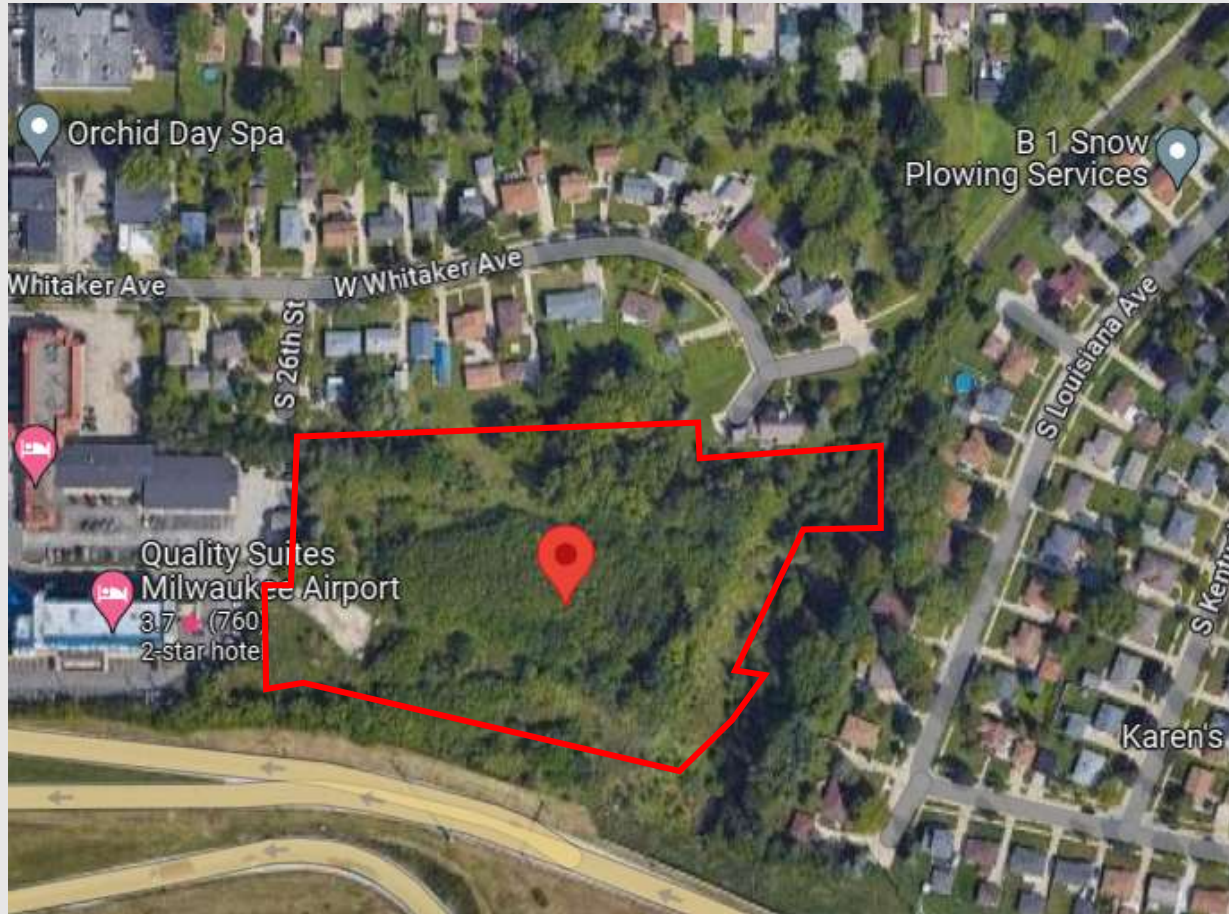
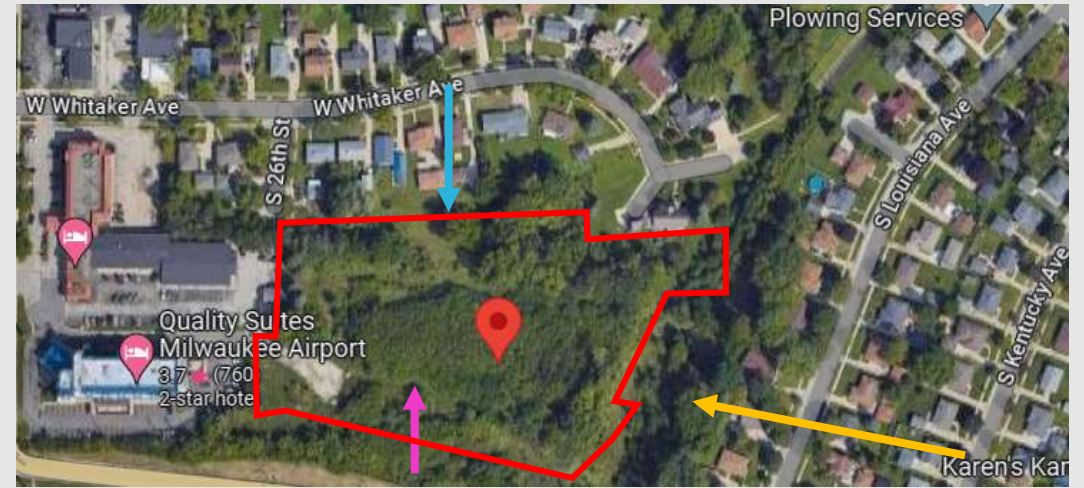


File No. 230627. A substitute resolution relating to a Minor Modification to the Detailed Planned Development known as Garden Apartments for changes to the previously approved residential development at 4450 South 27th Street, located on the east side of South 27th Street, south of West Whitaker Avenue, in the 13th Aldermanic District.



File No. 230627. Context

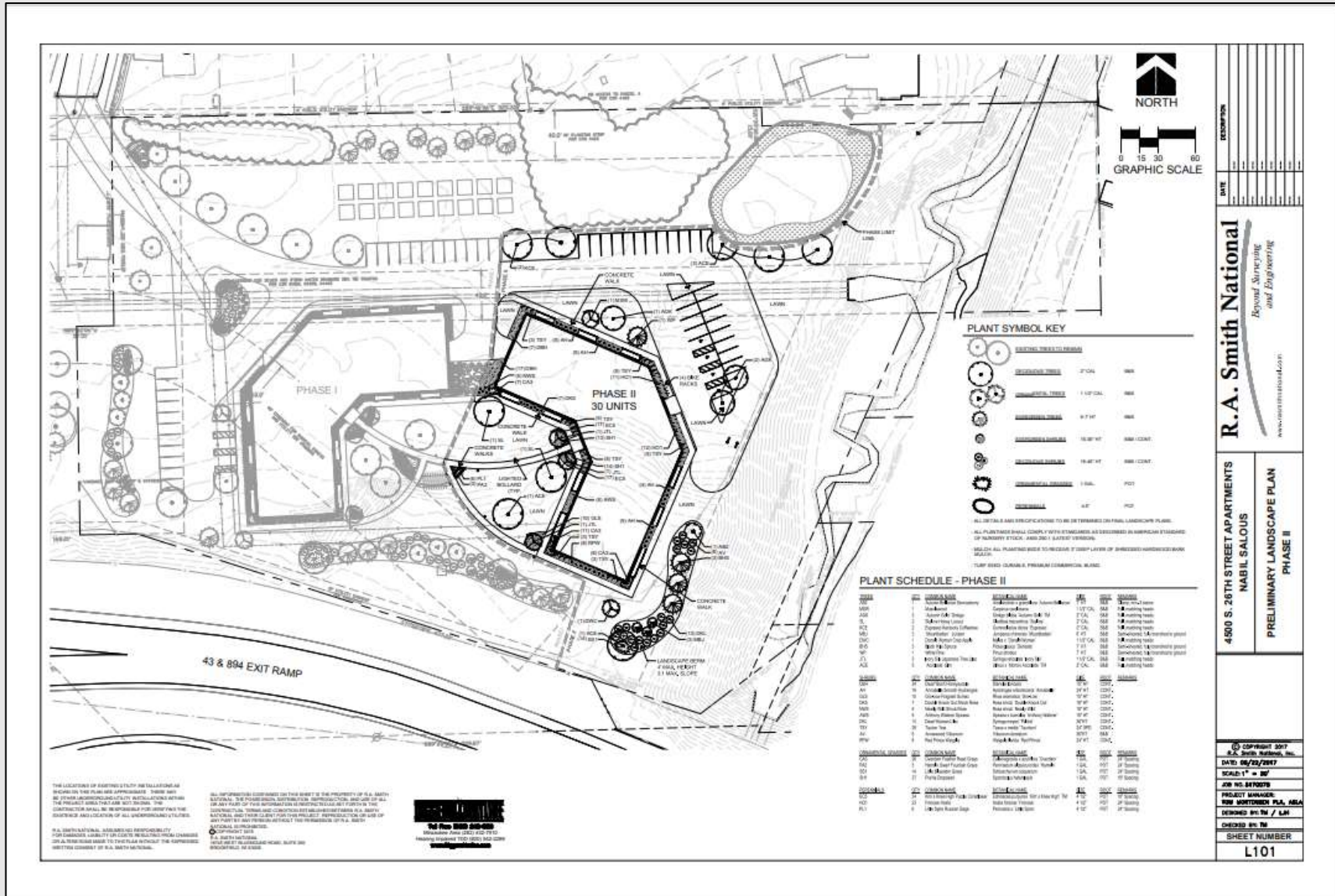


File No. 230627. Consistency with Comprehensive Plan



Southeast Side Plan

- Adopted in 2009, amended in 2017 with the South 27th Street Strategic Action Plan
- The plan recommends an increase in mixed use and denser development types to make S. 27th Street more attractive to a diverse set of patrons and visitors, and begins to transform its reputation as a primarily auto-centric corridor.
- Multi-family residential development, as a first for this corridor, is a step towards fulfilling this recommendation.
- The proposed minor modification is consistent with the Southeast Side Plan.



PLANT SYMBOL KEY

Symbol	Plant Name	Quantity	Notes
(Circle with dot)	Small Tree	10	Plant in 10' x 10' grid
(Circle with cross)	Medium Tree	5	Plant in 15' x 15' grid
(Circle with horizontal lines)	Large Tree	3	Plant in 20' x 20' grid
(Circle with vertical lines)	Shrub	20	Plant in 10' x 10' grid
(Circle with diagonal lines)	Flowering Shrub	15	Plant in 10' x 10' grid
(Circle with wavy lines)	Groundcover	100	Plant in 10' x 10' grid
(Circle with dots)	Small Tree	10	Plant in 10' x 10' grid
(Circle with cross)	Medium Tree	5	Plant in 15' x 15' grid
(Circle with horizontal lines)	Large Tree	3	Plant in 20' x 20' grid
(Circle with vertical lines)	Shrub	20	Plant in 10' x 10' grid
(Circle with diagonal lines)	Flowering Shrub	15	Plant in 10' x 10' grid
(Circle with wavy lines)	Groundcover	100	Plant in 10' x 10' grid

PLANT SCHEDULE - PHASE II

Code	Plant Name	Quantity	Notes
101	Small Tree	10	Plant in 10' x 10' grid
102	Medium Tree	5	Plant in 15' x 15' grid
103	Large Tree	3	Plant in 20' x 20' grid
201	Shrub	20	Plant in 10' x 10' grid
202	Flowering Shrub	15	Plant in 10' x 10' grid
301	Groundcover	100	Plant in 10' x 10' grid
401	Small Tree	10	Plant in 10' x 10' grid
402	Medium Tree	5	Plant in 15' x 15' grid
403	Large Tree	3	Plant in 20' x 20' grid
501	Shrub	20	Plant in 10' x 10' grid
502	Flowering Shrub	15	Plant in 10' x 10' grid
601	Groundcover	100	Plant in 10' x 10' grid

THE LOCATION OF EXISTING STUDY ARE INDICATED BY DASHED LINES AND APPROXIMATE. THERE ARE NO EXISTING UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA. THE LOCATION OF EXISTING UTILITY INSTALLATIONS SHALL BE RESPONSIBLE FOR THE DESIGNER. THE DESIGNER SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES. THE DESIGNER SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES. THE DESIGNER SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES.



R.A. Smith National
Beyond Surveying
and Engineering
www.rasmithnational.com

**4300 S. 26TH STREET APARTMENTS
NAB II SALOUS
PRELIMINARY LANDSCAPE PLAN
PHASE II**

© Copyright 2017
R.A. Smith National, Inc.
DATE: 06/22/2017
SCALE: 1" = 30'
JOB NO: 230627
PROJECT MANAGER:
RIM WATSON, P.E., A.S.T.
DESIGNED BY: TM / LJM
CHECKED BY: TM
SHEET NUMBER
L101

File No. 230627. Previously Approved Building Design



APPROXIMATE VIEW FROM INNER COURTYARD

4500 S 26th Street Apartments - Nabil Salous
ZONING CHANGE PROPOSAL



Architect: Stephen Perry Smith
Client: Nabil Salous
2024.11



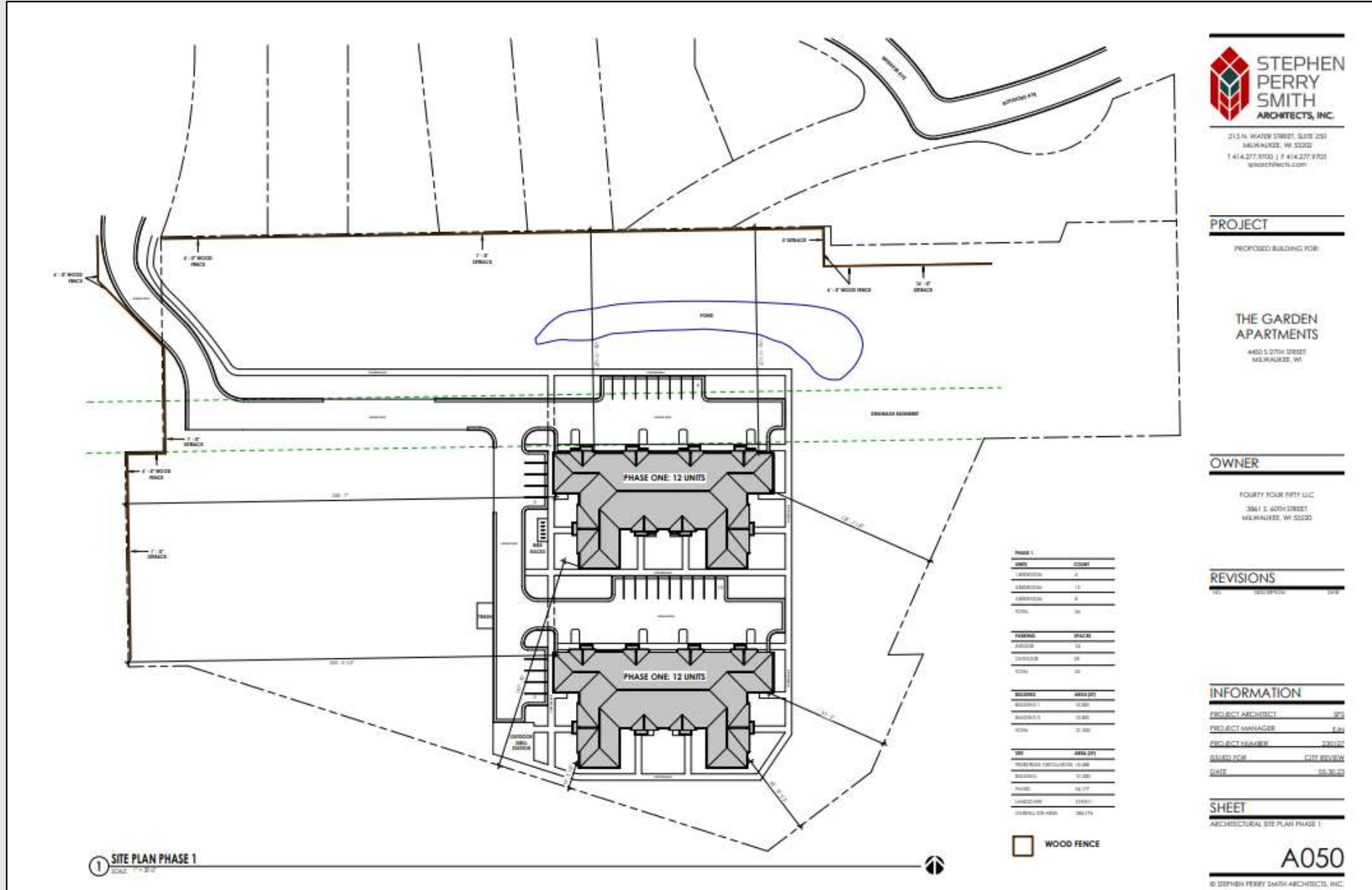
APPROXIMATE VIEW FROM NORTHERN PROPERTY BOUNDARY

4500 S 26th Street Apartments - Nabil Salous
ZONING CHANGE PROPOSAL



Architect: Stephen Perry Smith
Client: Nabil Salous
2024.11

File No. 230627. Modified Site Plan (Phase 1)



**STEPHEN
PERRY
SMITH
ARCHITECTS, INC.**

215 N. WATER STREET, SUITE 209
MILWAUKEE, WI 53202
1 414.277.9700 | F 414.277.9702
spsm@pssm.com

PROJECT

PROPOSED BUILDING FOR:

**THE GARDEN
APARTMENTS**

4450 S 27TH STREET
MILWAUKEE, WI

OWNER

FOURTY FOUR FIFTH LLC
3861 E. 40TH STREET
MILWAUKEE, WI 53209

REVISIONS

INFORMATION

PROJECT ARCHITECT: SP
PROJECT MANAGER: EAS
PROJECT NUMBER: 230627
ISSUED FOR: CITY REVIEW
DATE: 05.30.23

SHEET

ARCHITECTURAL SITE PLAN PHASE 1

A050

© STEPHEN PERRY SMITH ARCHITECTS, INC.

PHASE 1	
AREA	COUNT
APARTMENT	12
STORAGE	12
OFFICE	0
TOTAL	24

PARKING	
SPACE	SPACES
RESIDENT	12
COMMERCIAL	0
TOTAL	12

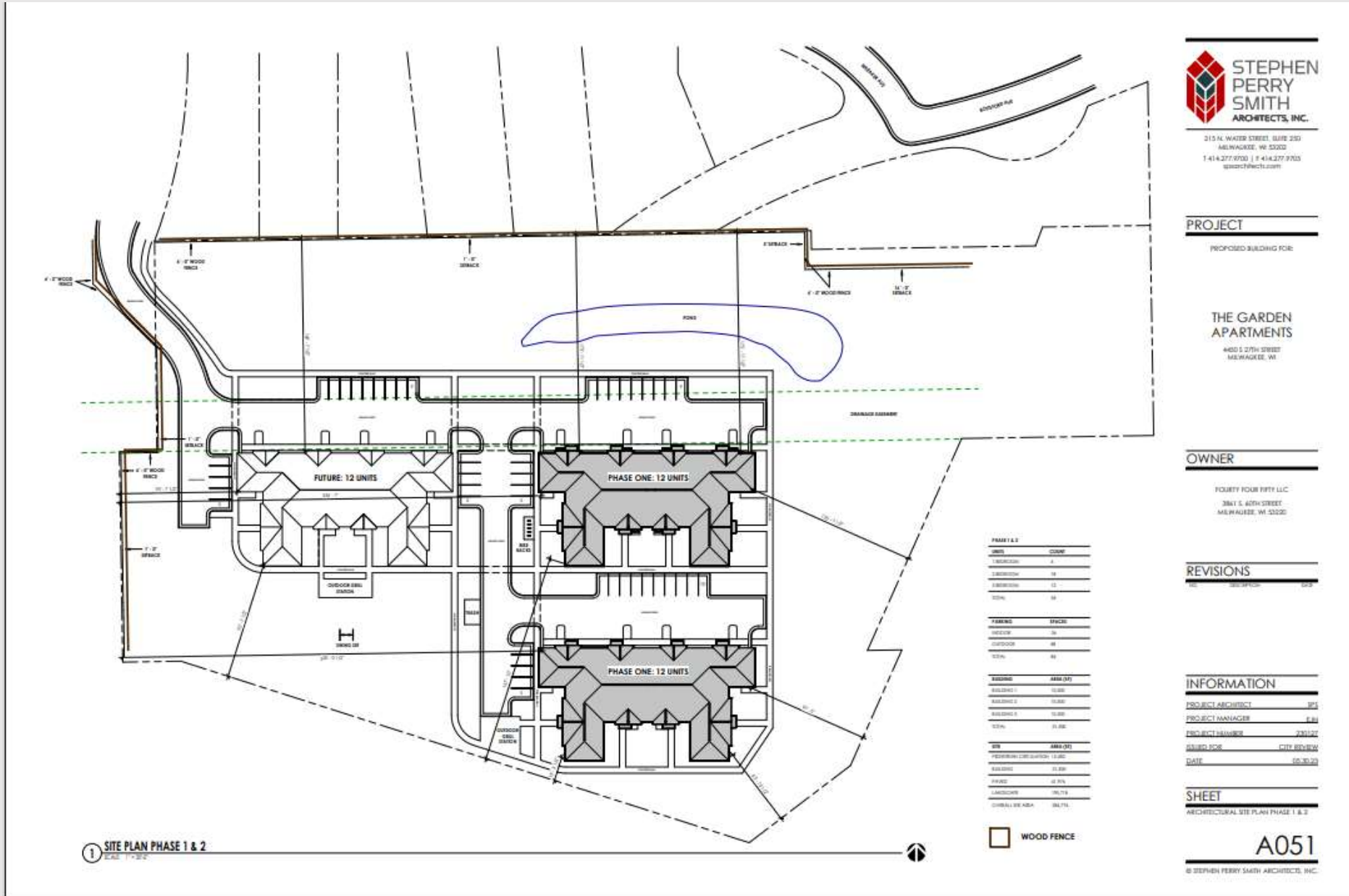
BUILDING	
AREA (SQ)	AREA (SQ)
BUILDING 1	10,000
BUILDING 2	10,000
TOTAL	20,000

SITE	
AREA (SQ)	AREA (SQ)
TOTAL BUILDING FOOTPRINT	20,000
BUILDING	20,000
PAVING	10,000
LANDSCAPE	10,000
OVERALL SITE AREA	40,000

□ WOOD FENCE

1 SITE PLAN PHASE 1
SCALE: 1" = 30'

File No. 230627. Modified Site Plan (Phase 2)



STEPHEN PERRY SMITH ARCHITECTS, INC.
 215 N. WATER STREET, SUITE 250
 MILWAUKEE, WI 53202
 T 414.277.9700 | F 414.277.9703
 spsarchitect.com

PROJECT
 PROPOSED BUILDING FOR:
THE GARDEN APARTMENTS
 400 S. 27TH STREET
 MILWAUKEE, WI

OWNER
 FORTY FOUR FIFTY LLC
 3841 S. 40TH STREET
 MILWAUKEE, WI 53208

REVISIONS

NO.	DESCRIPTION	DATE

FRONT & SIDE

UNIT	COUNT
1-BEDROOM	4
2-BEDROOM	16
3-BEDROOM	12
TOTAL	32

TERRACE

TYPE	SQ. FT.
INDOOR	56
OUTDOOR	48
TOTAL	104

AREA

AREA	SQ. FT.
BUILDING 1	15,800
BUILDING 2	15,800
BUILDING 3	15,800
TOTAL	47,400

GR

AREA	SQ. FT.
PERFORATED CURB CURB	13,200
BUILDING	47,400
TOTAL	60,600

PERCENT

PERCENT	SQ. FT.
FRONT	42.9%
LANDSCAPE	10.7%
OVERALL SEE AREA	53.6%

INFORMATION

PROJECT ARCHITECT	SPS
PROJECT MANAGER	SPS
PROJECT NUMBER	230627
ISSUED FOR	CITY REVIEW
DATE	05.20.23

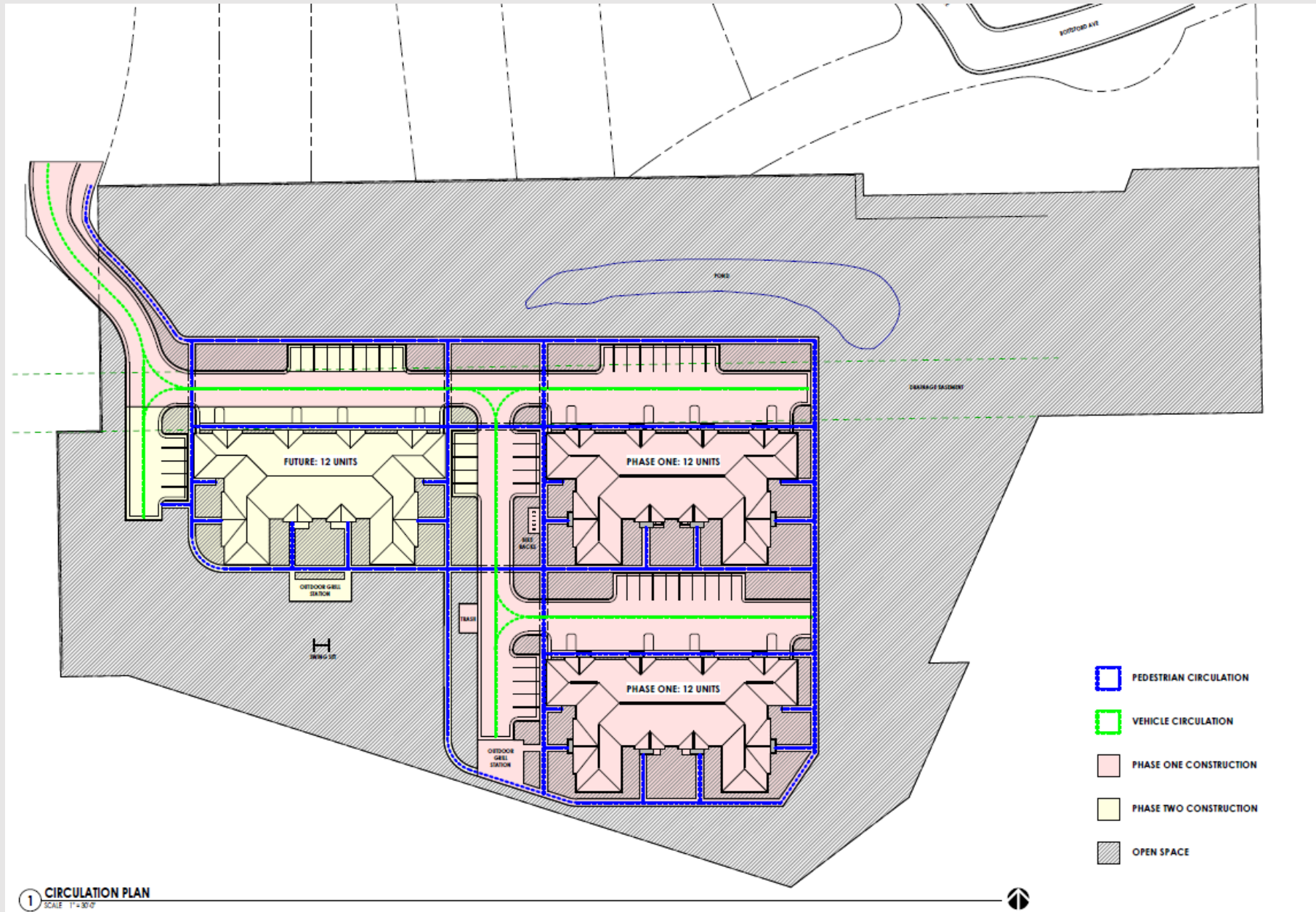
SHEET
 ARCHITECTURAL SITE PLAN PHASE 1 & 2

A051

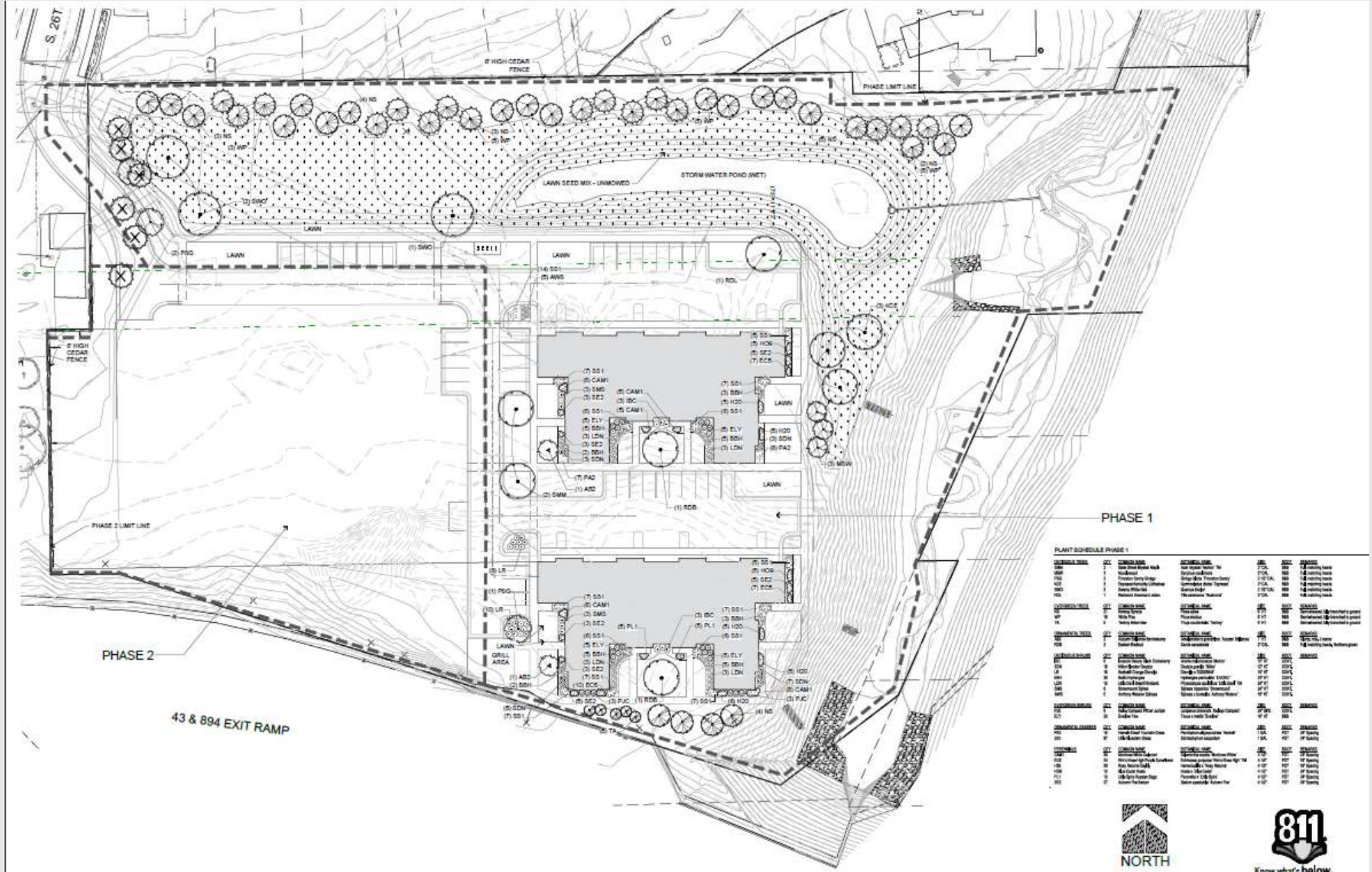
© STEPHEN PERRY SMITH ARCHITECTS, INC.

1 SITE PLAN PHASE 1 & 2
 DATE: 11.17.22

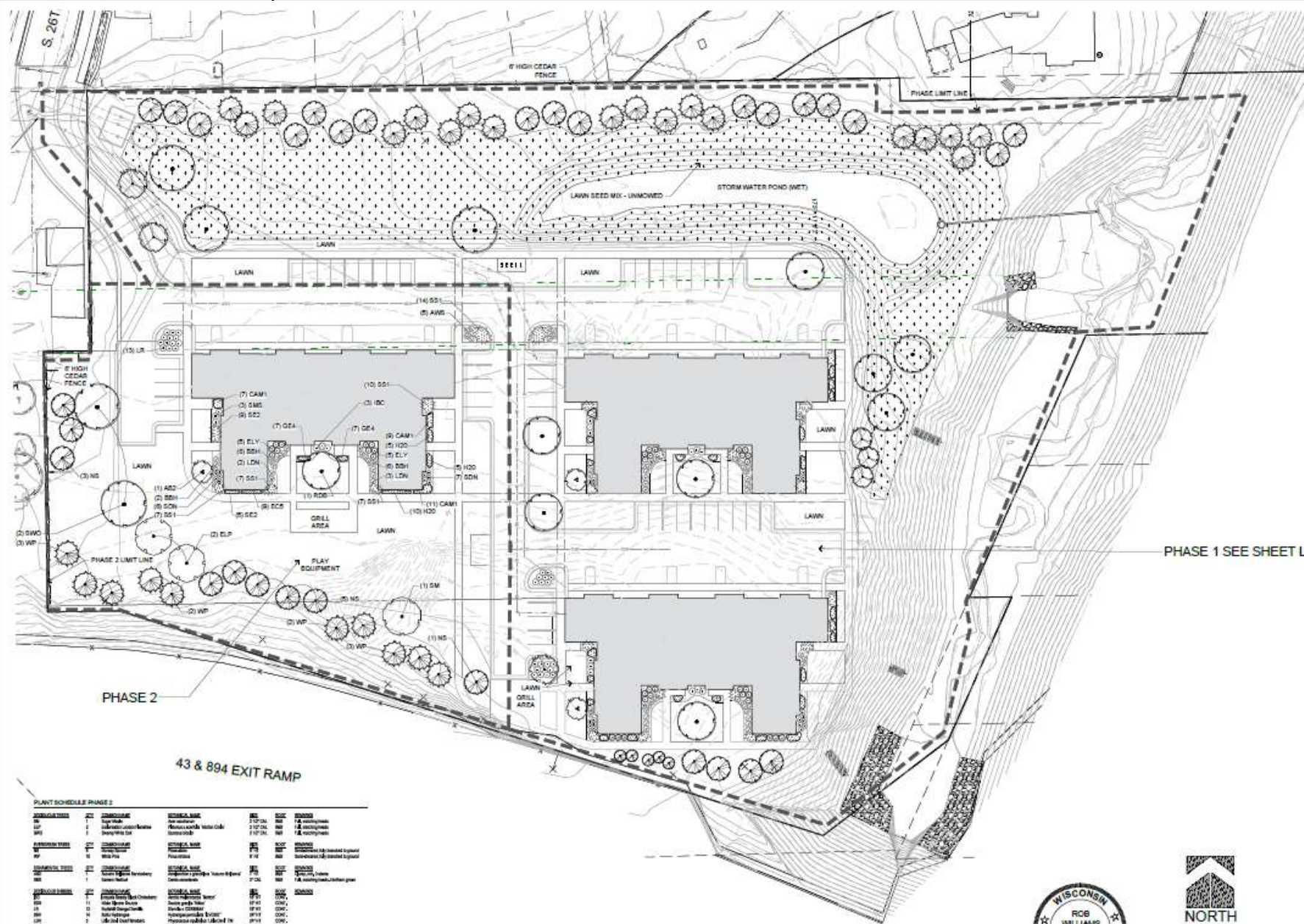
File No. 230627. Circulation Plan



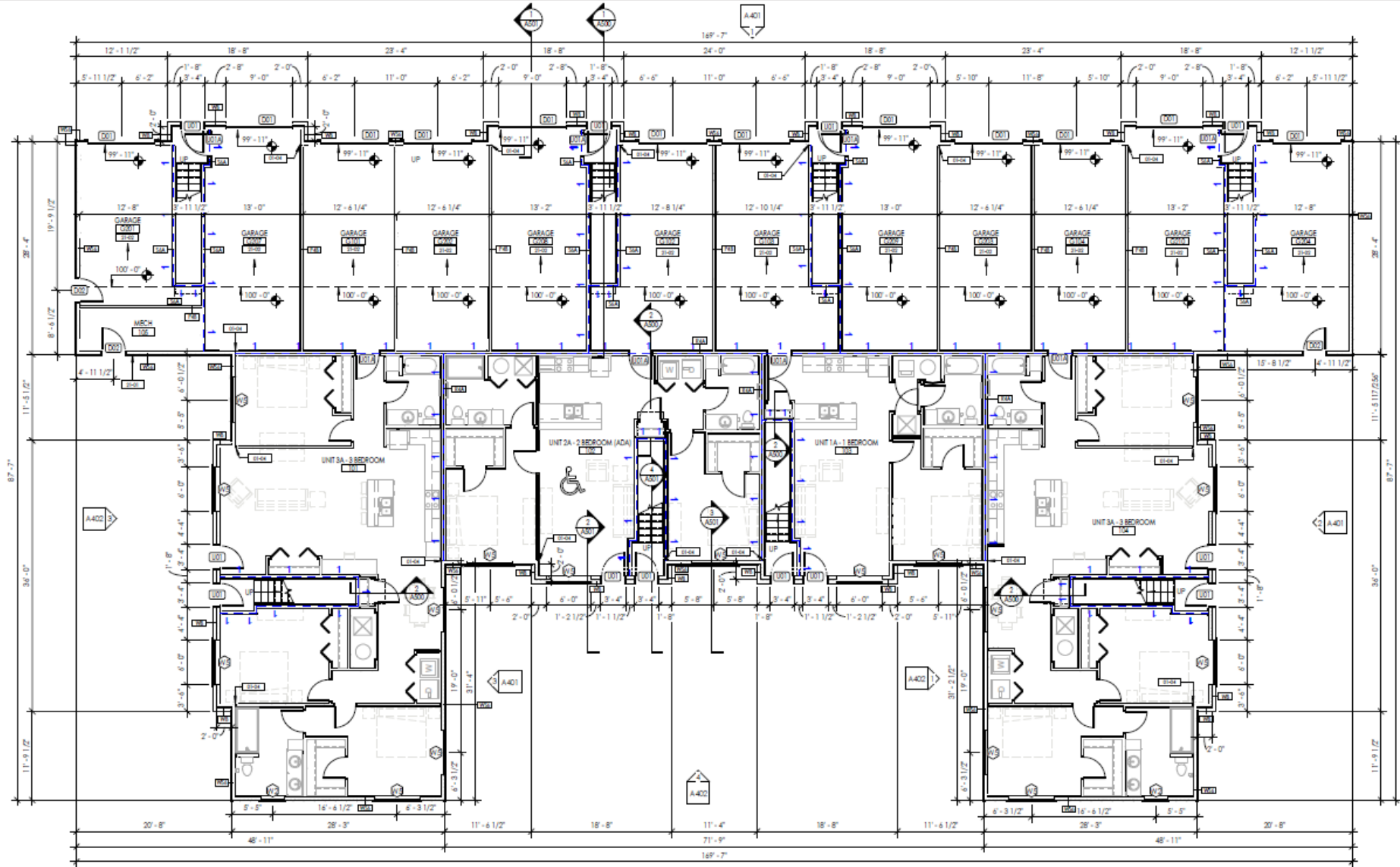
File No. 230627. Phase 1 Landscape Plan



File No. 230627. Phase 2 Landscape Plan

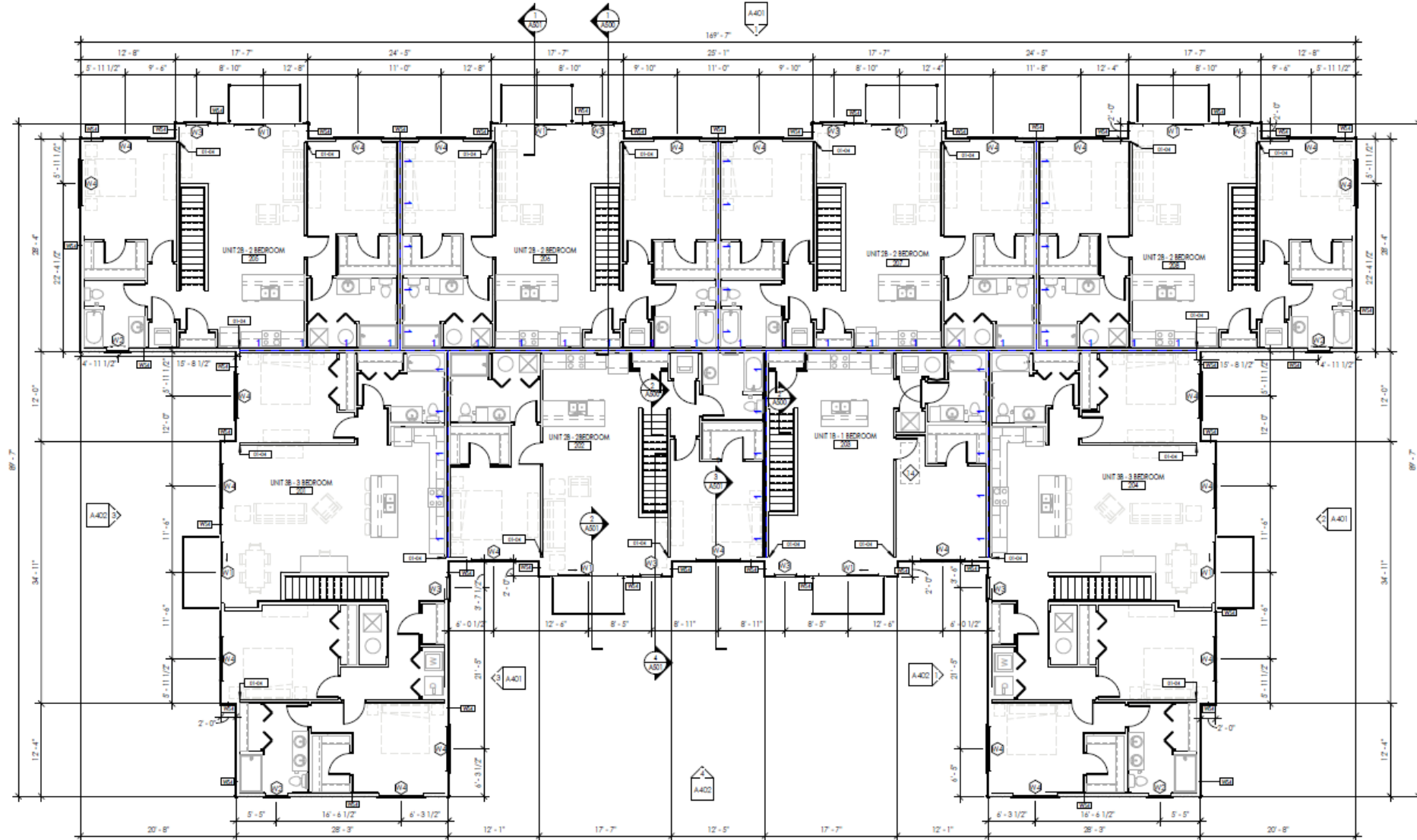


File No. 230627. 1st Floor Plan



1 CONSTRUCTION PLAN-1ST FLOOR
SCALE 1/8" = 1'-0"

File No. 230627. 2nd Floor Plan



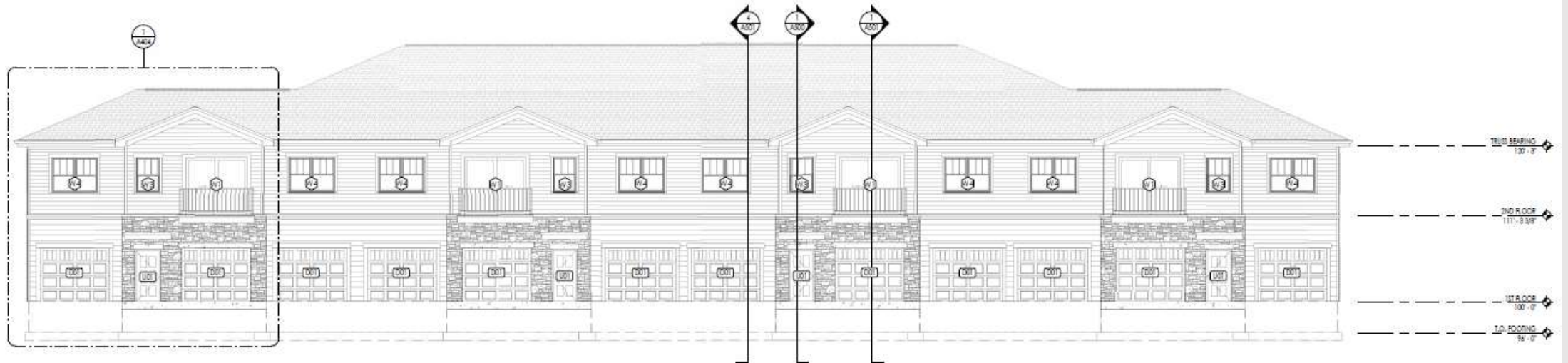
File No. 230627. Elevations



2 EAST ELEVATION
SCALE 1/8" = 1'-0"

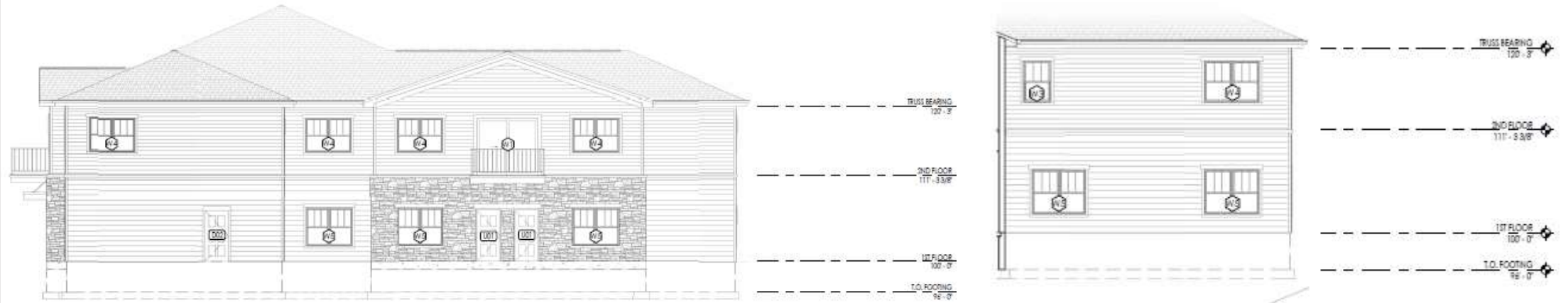


3 EAST INLET ELEVATION
SCALE 1/8" = 1'-0"



1 NORTH ELEVATION
SCALE 1/8" = 1'-0"

File No. 230627. Elevations



3 WEST ELEVATION
SCALE 1/8" = 1'-0"

1 WEST INLET ELEVATION
SCALE 1/8" = 1'-0"



4 SOUTH ELEVATION
SCALE 1/8" = 1'-0"

File No. 230627. Elevations



4 WEST ELEVATION
SCALE 1/8" = 1'-0"



3 EAST ELEVATION
SCALE 1/8" = 1'-0"



2 SOUTH ELEVATION
SCALE 1/8" = 1'-0"



1 NORTH ELEVATION
SCALE 1/8" = 1'-0"



SIDING COLORS - JAMES HARDIE



STONE - KENSINGTON



BALCONY EXAMPLE



CEDAR FENCE EXAMPLE



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PERRY
SMITH
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