



Certificate of Appropriateness

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

Property	814 W. HISTORIC MITCHELL ST.	Mitchell Street HD
Description of work	1. Storefront rehabilitation to increase interior floor space, reduce glazing, and create an entry more similar to the building's earliest years, while restoring portions of wall on west and south elevations to their original appearance with new wood clapboards matching existing reveal. 2. Replace entry area to upper apartment with new wood door and transom.	
Date issued	2/7/18	PTS ID 114349 COA: storefront rehab

In accordance with the provisions of Section 320-21 (11) and (12) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has granted a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

Side entry door and transom be all wood or wood veneer and to include recessed panels in the door. Paint is preferred to a varnish finish. Match existing reveal for new clapboards.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Historic Preservation staff as follows: Phone: (414) 286-5712 E-mail: HPC@milwaukee.gov.

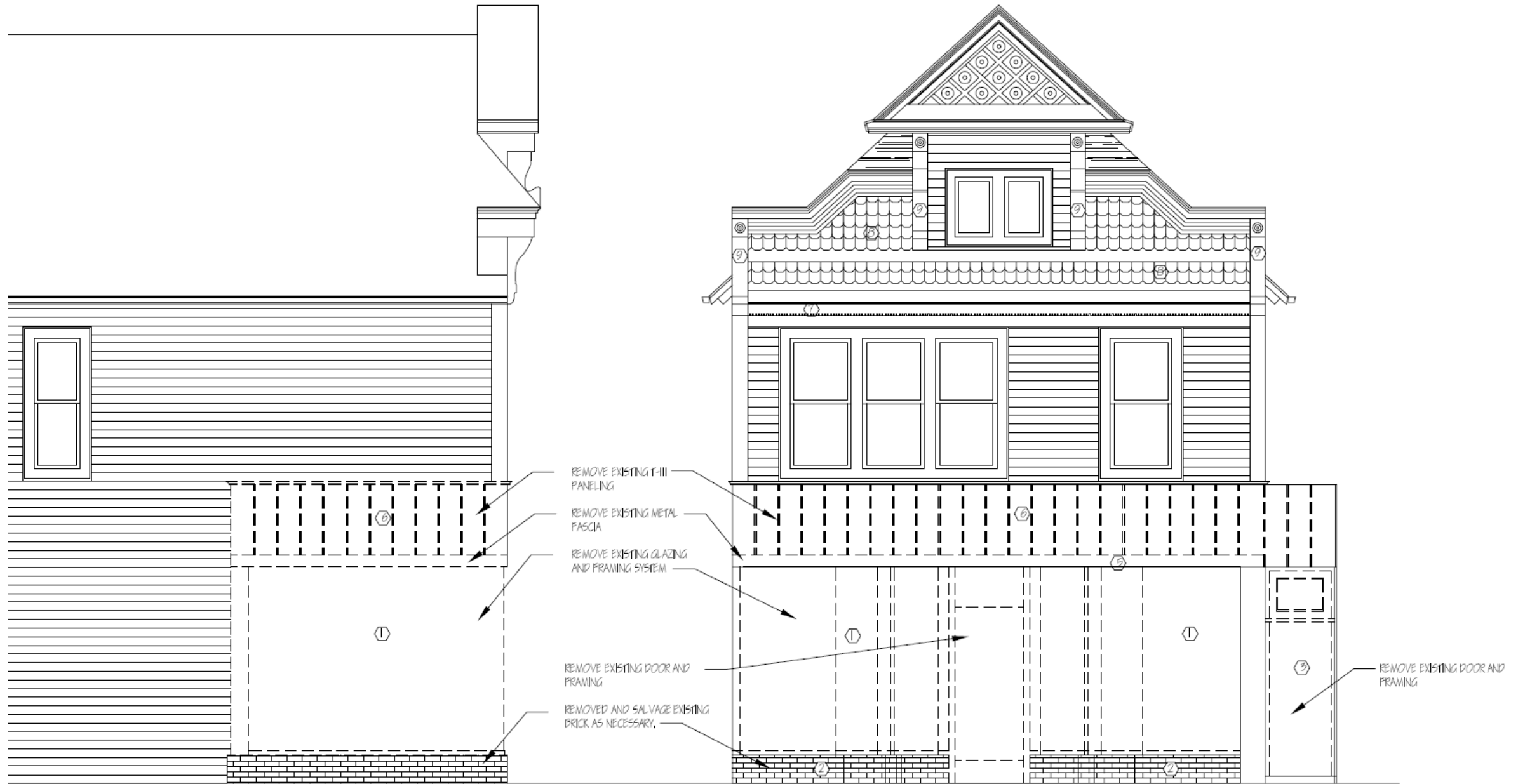
If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. For permit requirements, please consult the Development Center's web site, www.milwaukee.gov/build, or call (414) 286-8210.

City of Milwaukee Historic Preservation Staff

Copies to: Development Center, Ald. Jose Perez, Contractor



Existing conditions



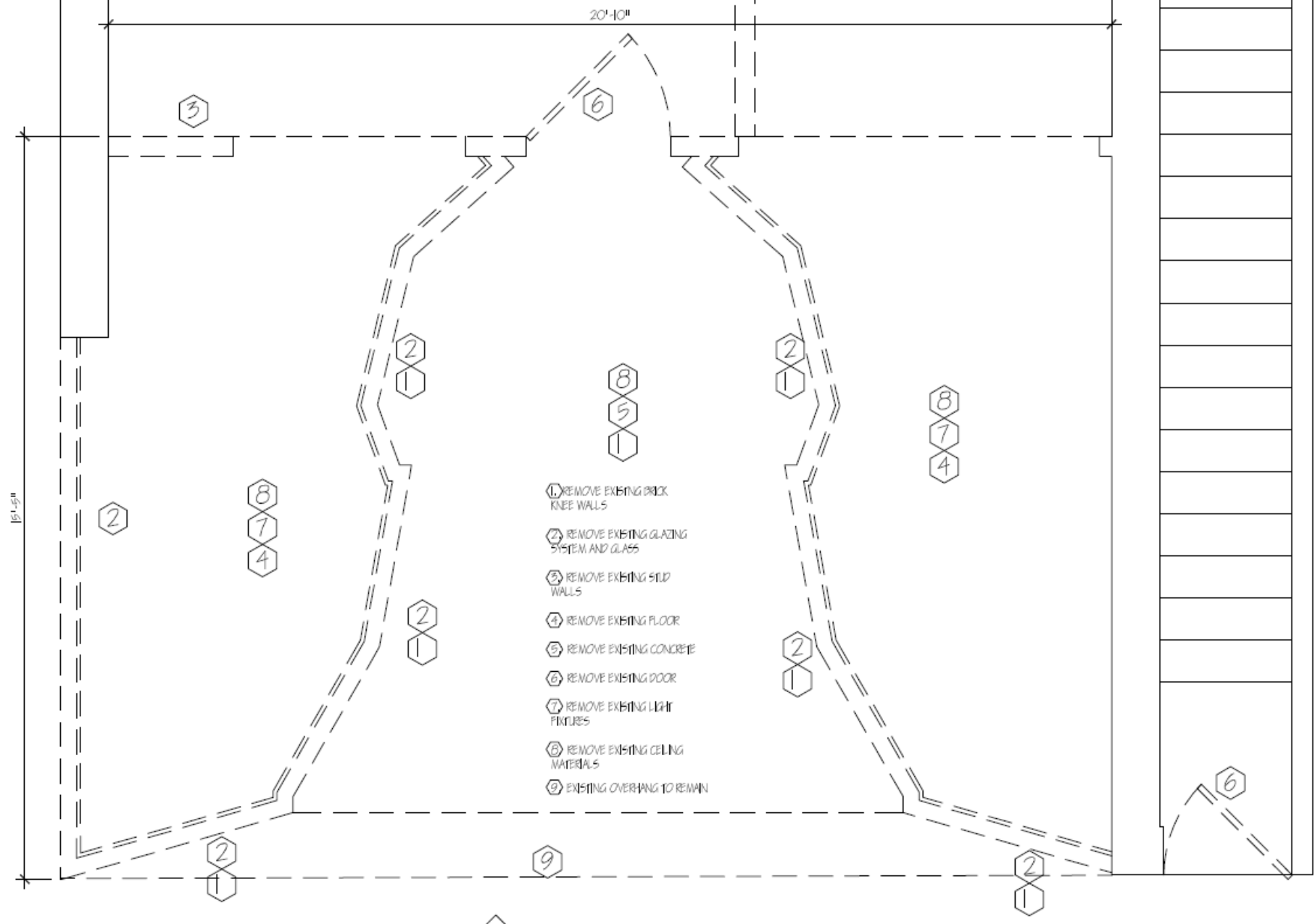
Elevation of demolition plan

GENERAL NOTES:

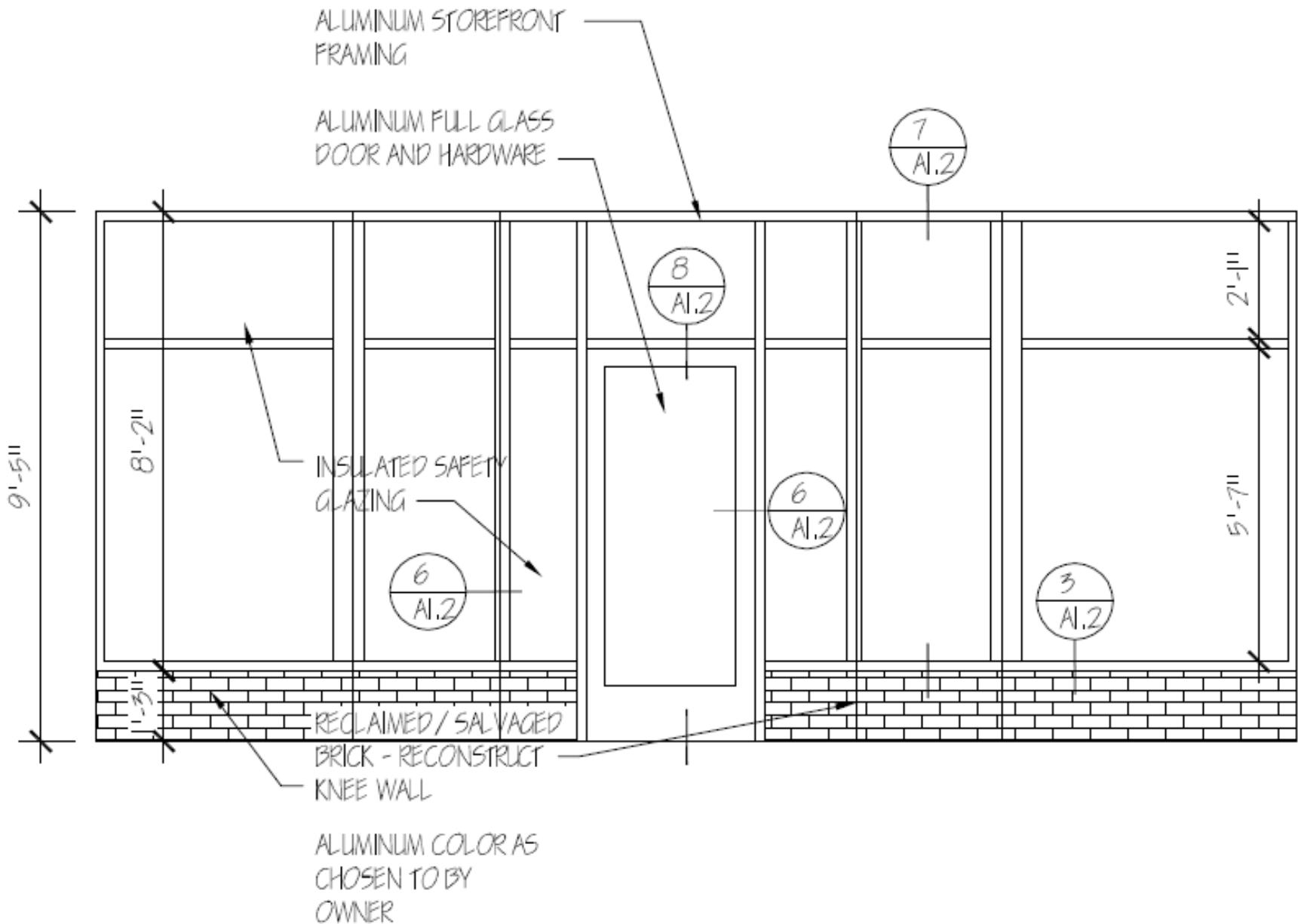
1. REMOVE EXISTING STOREFRONT SYSTEM AND GLAZING
2. REMOVE EXISTING BRICK KNEE WALL AND SALVAGE FOR REUSE.
3. REMOVE EXISTING WOOD DOOR FRAME AND TRANSOM
4. REMOVE EXISTING LAP SIDING ON SOUTH ELEVATION.
5. REMOVE EXISTING FLASHING MATERIAL
6. REMOVE EXISTING VERTICAL SIDING
7. REPAIR, REPLACE AND OR RESTORE EXISTING DENTIL DETAIL
8. REPAIR, REPLACE AND OR RESTORE EXISTING SHAKE SIDING.
9. REPAIR, REPLACE OR RESTORE EXISTING WOOD TRIM AND BRACKETS TO REMAIN.
10. PREPARE ALL EXISTING AND NEW WOOD TRIM AND SIDING TO BE PRIMED AND PAINTED (TWO FINISH COATS)
11. EXISTING WINDOW TRIM FOR SOUTH WINDOWS TO REMAIN AND TO BE PREPARED FOR REFINISHING - PRIME AND PAINT.
12. FURNISH AND INSTALL NEW STOREFRONT GLAZING SYSTEM AND DOORS AS DESIGNED.
13. RETAIN EXISTING HORIZONTAL TRIM ON SOUTH ELEVATION REMOVE ON WEST ELEVATION. EXTEND SAME DETAIL OVER APARTMENT ACCESS DOOR TO THE EAST.
14. EXTEND CORNER TRIM DOWN TO WHERE FLASHING WILL BE REPLACED.
15. REPLACE EXISTING FLASHING ABOVE TRIM
16. REPLACE EXISTING VERTICAL SIDING AND REMOVED SIDING ON SOUTH SIDE WITH NEW SIDING TO MATCH EXISTING SIDING
17. INFILL AREA ON WEST WALL WHERE GLAZING SYSTEM WAS REMOVED WITH NEW INSULATED STD WALL AND SIDING TO MATCH

Notes for previous page

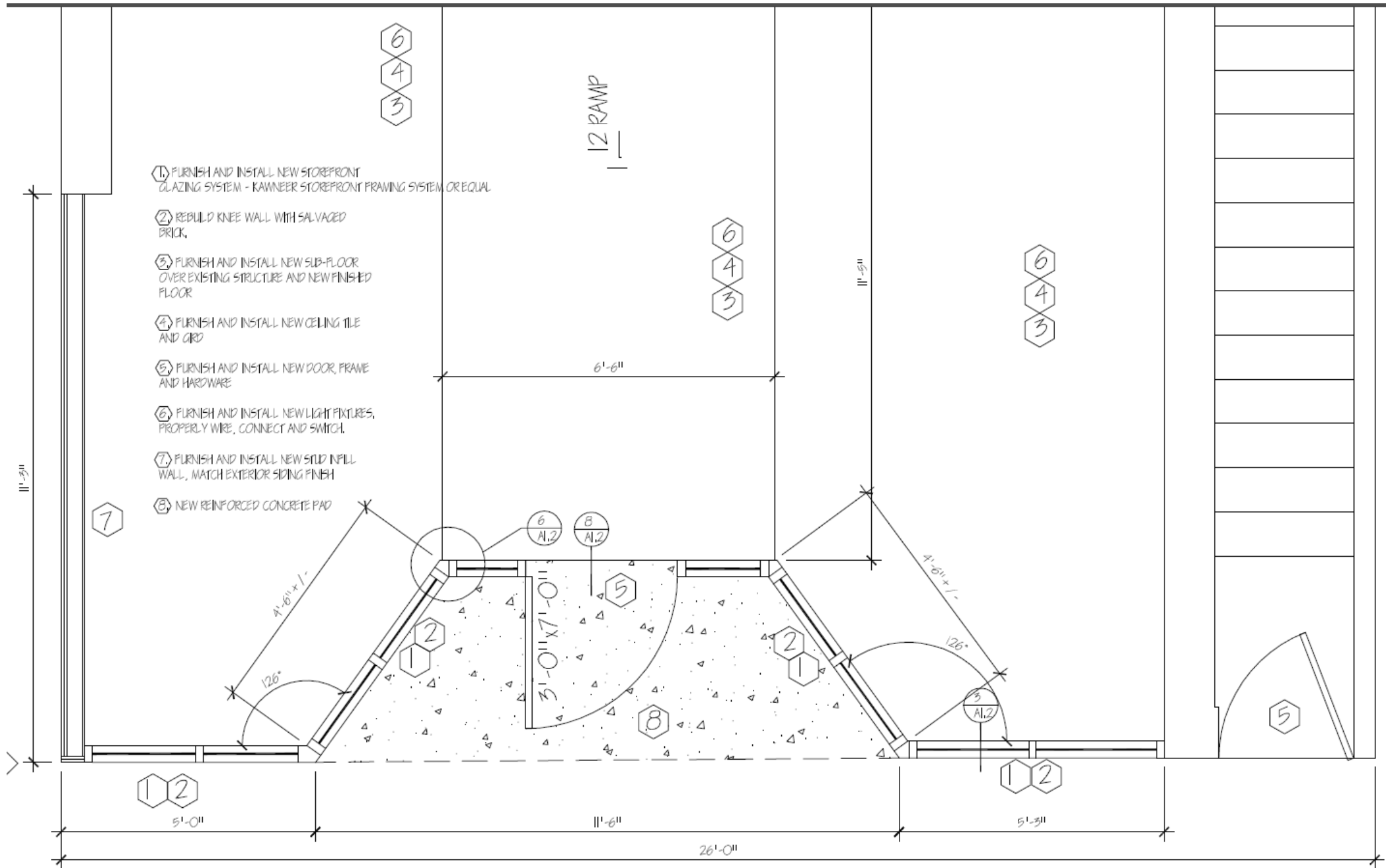
Plan view of
demolition plan



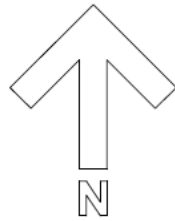
New storefront system. Color is specified as black anodized.



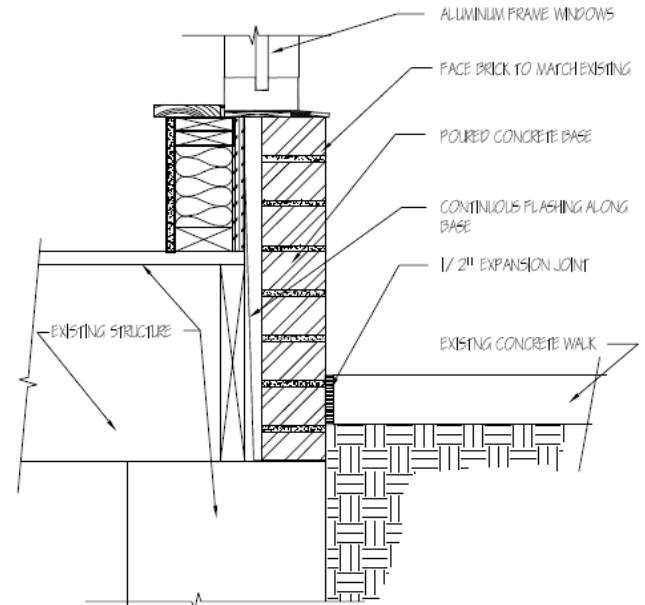
Plan view of alteration plan



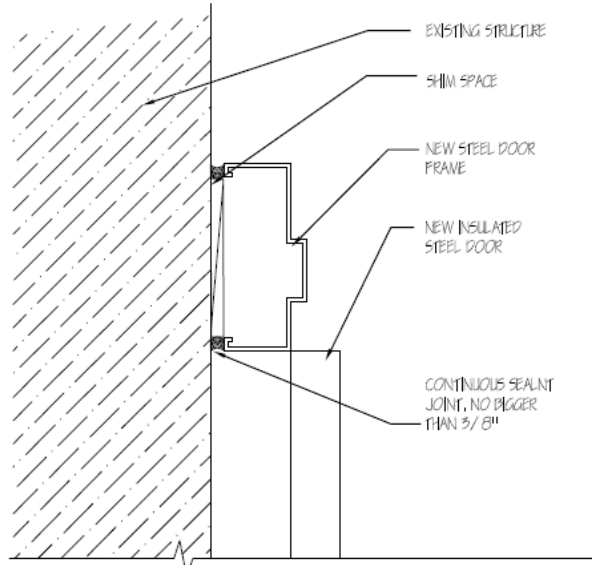
1 PARTIAL DEMOLITION FLOOR PLAN
SCALE: 1/2" = 1'-0"



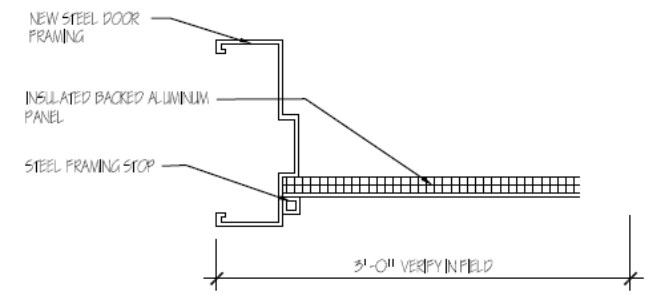
2 PARTIAL ALTERATION FL
SCALE: 1/2" = 1'-0"



3 BASE SILL DETAIL
SCALE: 1/2" = 1'-0"

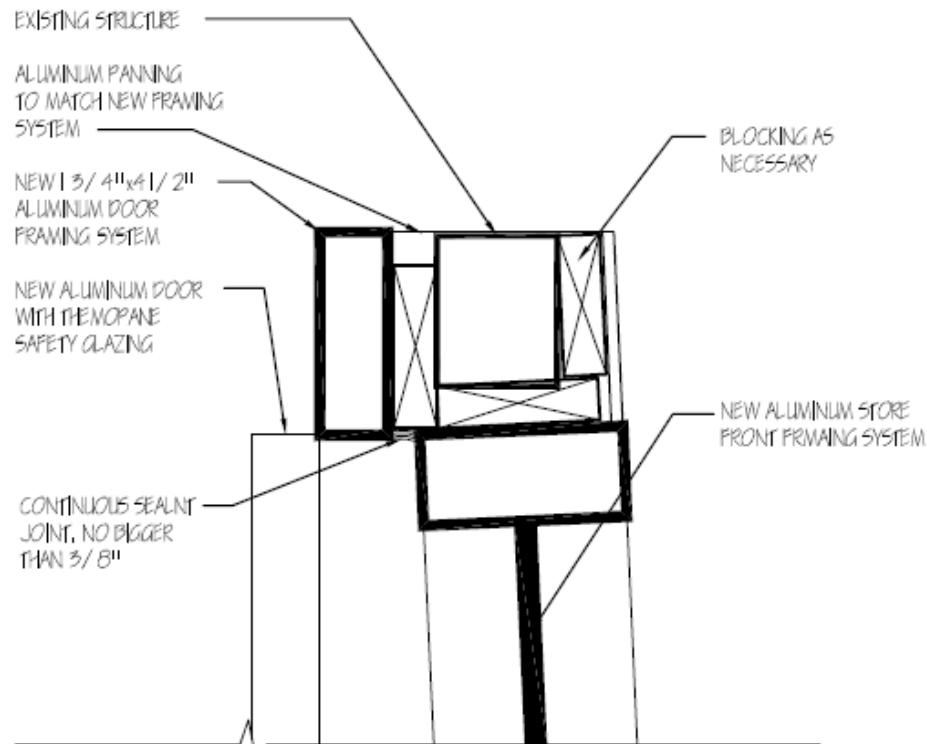


4 DOOR JAMB
SCALE: 3/8" = 1'-0"

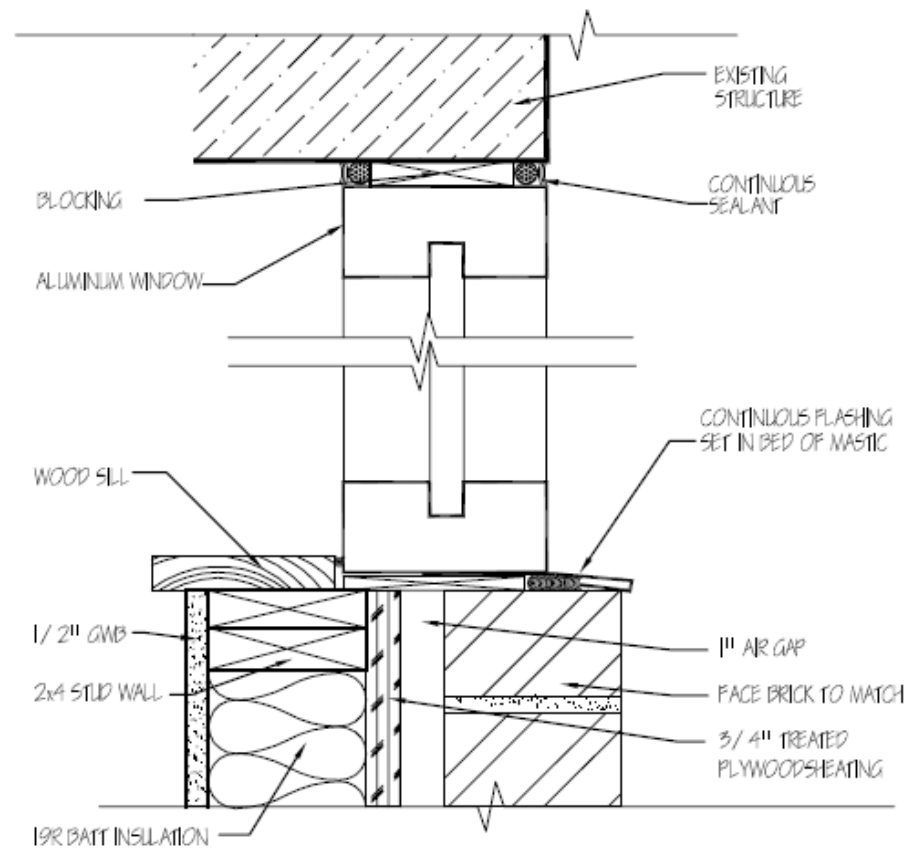


5 JAMB/INFILL PANEL
SCALE: 3/8" = 1'-0"

Detail drawings

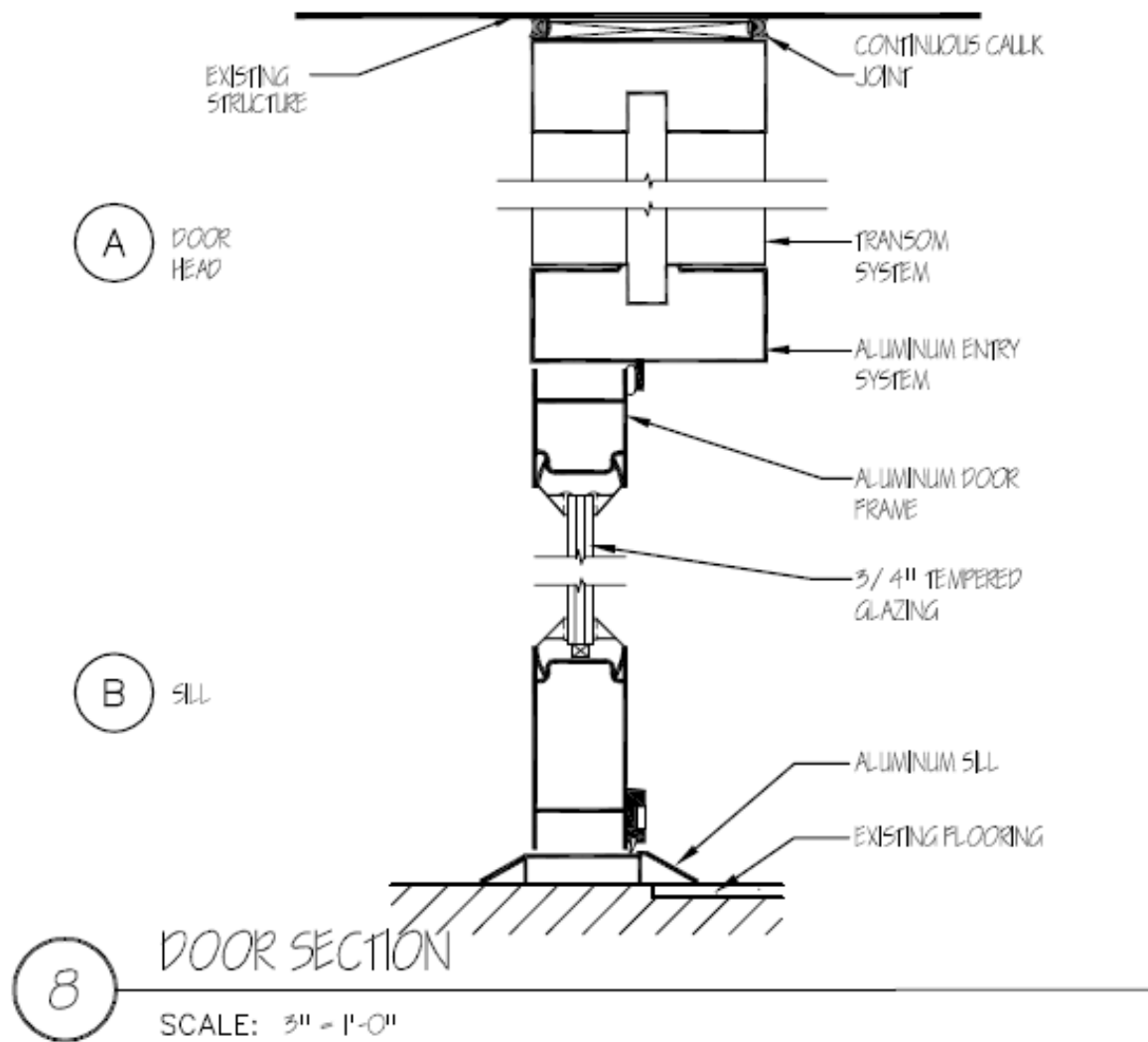


6 DOOR/WINDOW JAMB
SCALE: 3" = 1'-0"

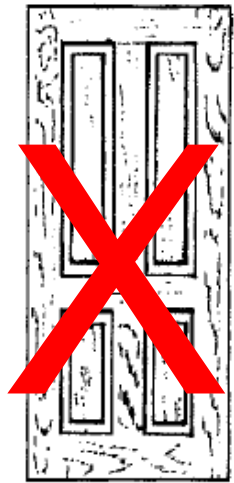


7 SILL DETAIL
SCALE: 3" = 1'-0"

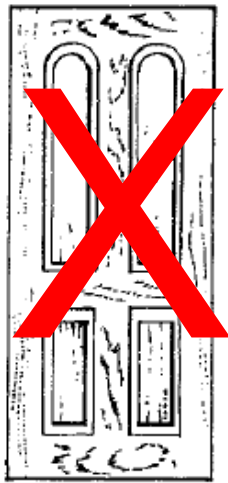
Detail drawings



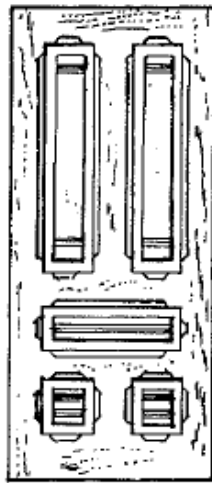
Detail drawings



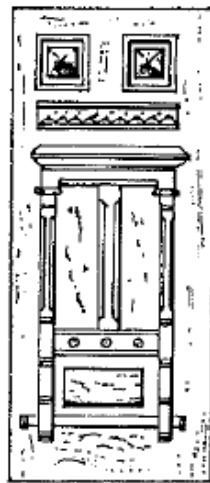
All styles
1860-1910



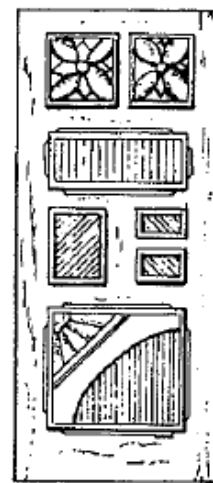
Italianate
1860-1875



Victorian Gothic
1875-1885



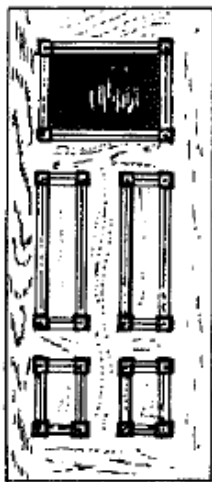
Victorian Gothic,
Queen Anne
1875-1885



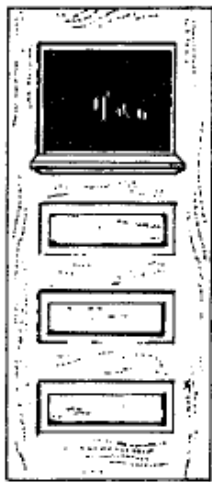
Queen Anne
1885-1895



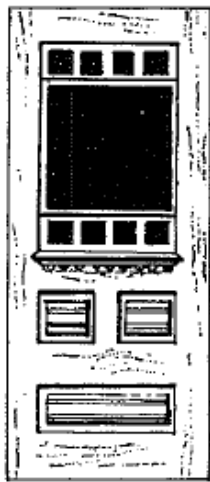
All styles
1860-1910



Victorian Gothic
1875-1885



Queen Anne
1885-1895



Queen Anne,
Colonial Revival
1885-1910



Colonial Revival
1895-1910

Options for apartment door and transom.

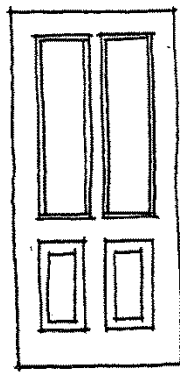
Door must be wood or wood-veneer with recessed paneling. A window in the door is optional, but encouraged. A transom window is required.



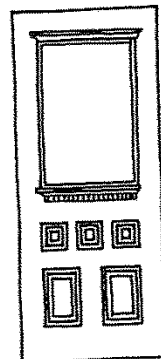
Additional possible door details



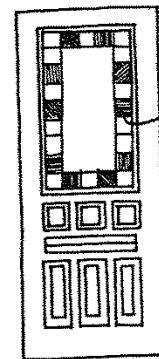
COTTAGE DOORS



1870-1940

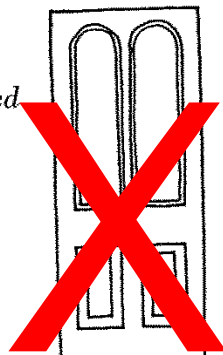


Panel and Glass

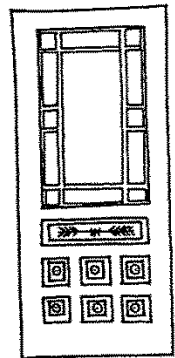


6 Panel with Queen Anne Lights

Colored Lights



8 Panel with Circle-top lights



Decorative Panel