



236 S. Water Street, Milwaukee, WI
DETAILED PLAN DEVELOPMENT PACKAGE

RIVIANNA DEVELOPMENT TEAM
 The Rivianna Group LLC, Madison, WI &
 Portland, OR

LEAD/DESIGN ARCHITECT
 3rd COAST DESIGN CONCEPTS, LLC
 Milwaukee, WI &
 Portland, OR

DESIGN/PRODUCTION ARCHITECT
 Dimension IV - Madison
 Madison, WI

DESIGN CONSULTANT /LANDSCAPE ARCHITECT
 Landscape Architects, Inc
 Milwaukee, WI

STRUCTURAL ENGINEER
 Arnold and O'Sheridan
 Milwaukee & Madison, WI

MECHANICAL ELECTRICAL, PLUMBING, FIRE PROTECTION AND TECHNOLOGY ENGINEERS
 Arnold and O'Sheridan
 Milwaukee & Madison, WI

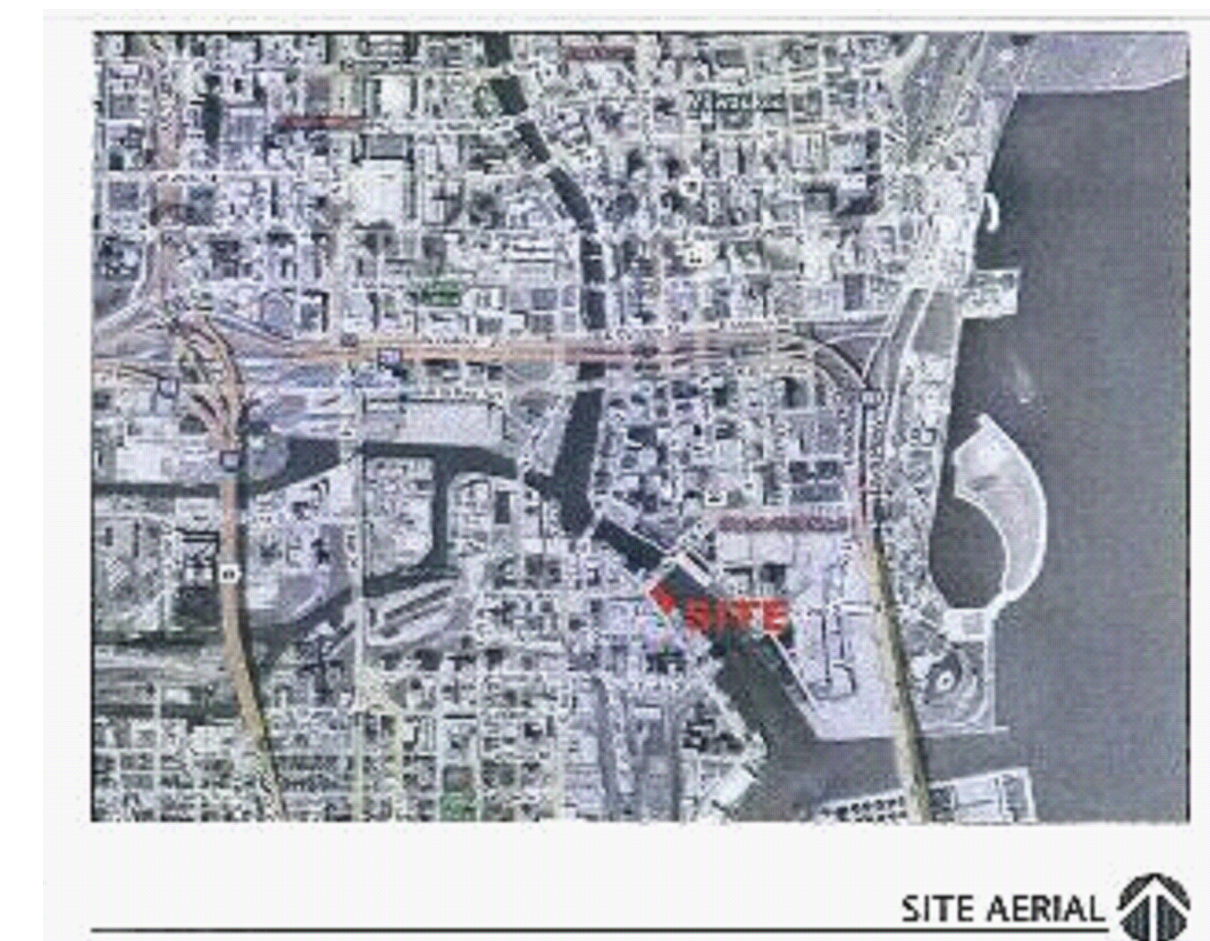
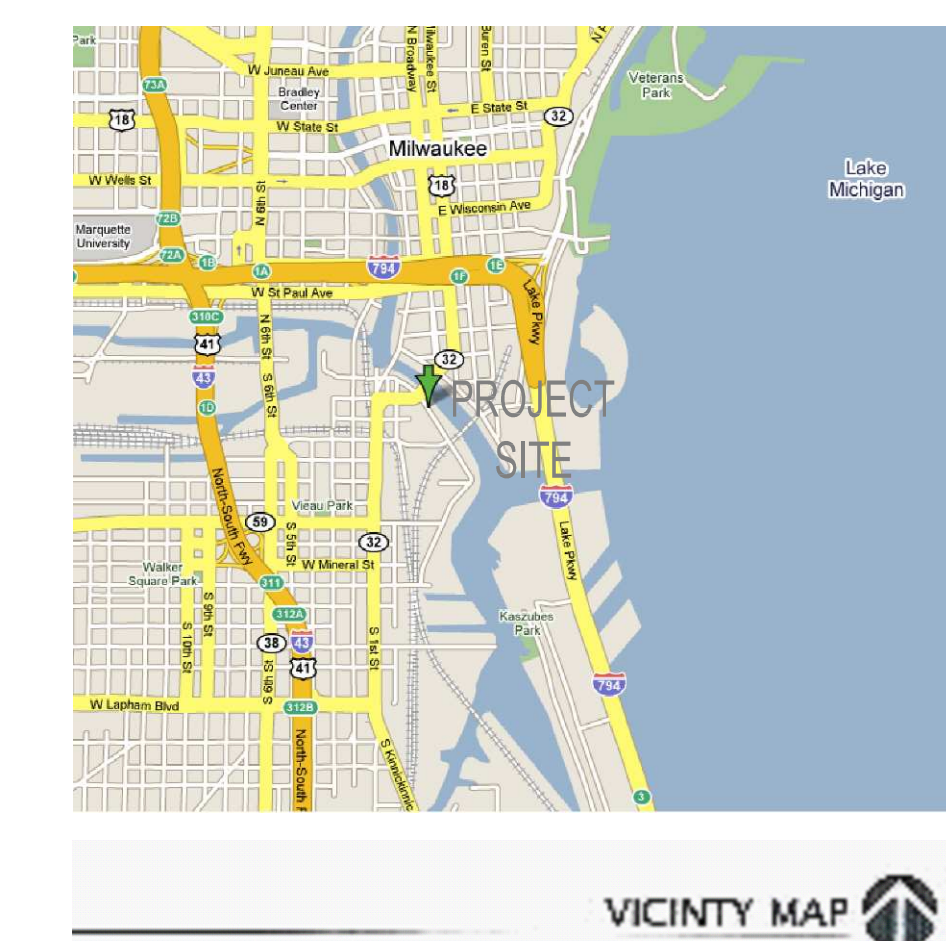
CIVIL ENGINEER
 C.J. Engineering Services
 Waukesha, WI

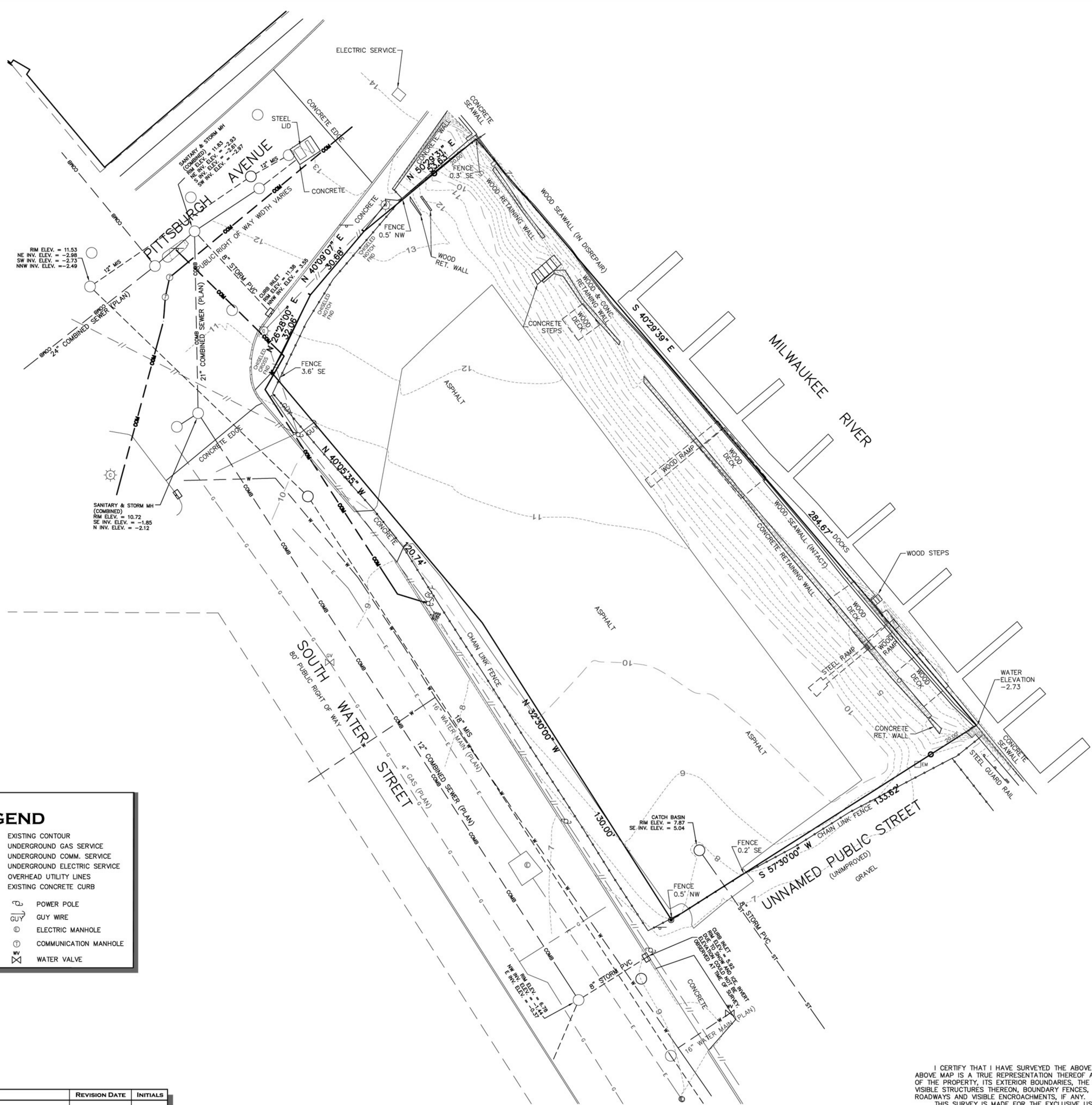
LEED CONSULTANT
 Josh Arnold, LEED
 Madison, WI

FURNITURE DESIGN CONSULTANT
 Jana Bell
 Glasgow, Scotland

SHEET INDEX

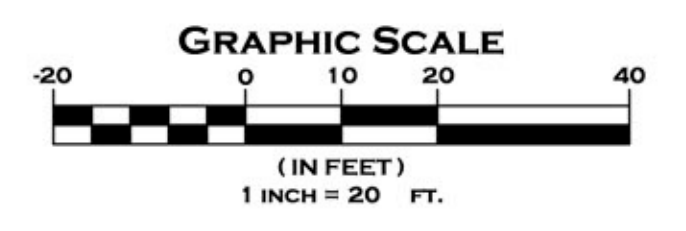
- PLAT OF SURVEY
 C1.0 SITE PLAN
 C2.0 GRADING PLAN
 C3.0 UTILITY PLAN
 C4.0 SITE DETAILS
 C5.0 EROSION CONTROL
- L1.0 CONCEPTUAL SITE / LANDSCAPE PLAN
- A1.0 PARKING SUB LEVEL 1 & 1.5 FLOOR PLAN
 A1.1 RIVERWALK & LOBBY LEVEL FLOOR PLAN
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 A2.0 SOUTH ELEVATION
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- G1.0 COMMERCIAL SIGNAGE
 G2.0 AWNING SIGNAGE
 G3.0 DEVELOPMENT SIGNAGE
 G4.0 LEGIBILITY SIGNAGE





LEGEND	
---92---	EXISTING CONTOUR
---	UNDERGROUND GAS SERVICE
---	UNDERGROUND COMM. SERVICE
---	UNDERGROUND ELECTRIC SERVICE
---	OVERHEAD UTILITY LINES
---	EXISTING CONCRETE CURB
⊙	METAL SIGN
⊙	CONCRETE LIGHT POLE
⊙	WOOD LIGHT POLE
⊙	ELECTRIC METER
⊙	GAS VALVE
⊙	POWER POLE
⊙	GUY WIRE
⊙	ELECTRIC MANHOLE
⊙	COMMUNICATION MANHOLE
⊙	WATER VALVE

No.	DESCRIPTION	REVISION DATE	INITIALS

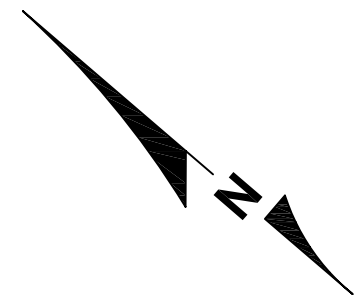


- NOTES
1. SUBJECT PROPERTY ZONED: PD, SEE CITY FOR ZONING RESTRICTIONS.
 2. LEGAL DESCRIPTION FROM DEEDS AND PLAT OF SURVEY BY INTERLINE SURVEY SERVICE DATED 5/20/97.
 3. THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, ON INFORMATION FURNISHED BY THE UTILITY COMPANIES, DIGGERS HOTLINE AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
 4. PORTIONS OF SUBJECT PROPERTY ARE IN THE 100 YEAR FLOOD PLAIN PER FLOOD INSURANCE RATE MAP - COMMUNITY PANEL #550278 0005 B, EFFECTIVE DATE MARCH 1, 1982.
 5. PROJECT BENCHMARK - S.W.R.P.C. BENCHMARK, HYDRANT AT NORTHWEST INTERSECTION OF E. MENOMONEE AND E EARLE ST.; FOUND CHISEL CROSS IN TOP OF S. SIDE HYDRANT FLANGE, ELEVATION: 13.02.
 6. SITE BENCHMARK - SANITARY MANHOLE RM IN THE INTERSECTION OF S. WATER ST. AND PITTSBURGH AVE. SOUTHWEST OF CONCRETE ISLAND, ELEVATION: 11.83.
 7. ELEVATIONS BASED ON INFORMATION FROM S.W.R.P.C. AND CITY OF MILWAUKEE AND ARE AT CITY OF MILWAUKEE DATUM.

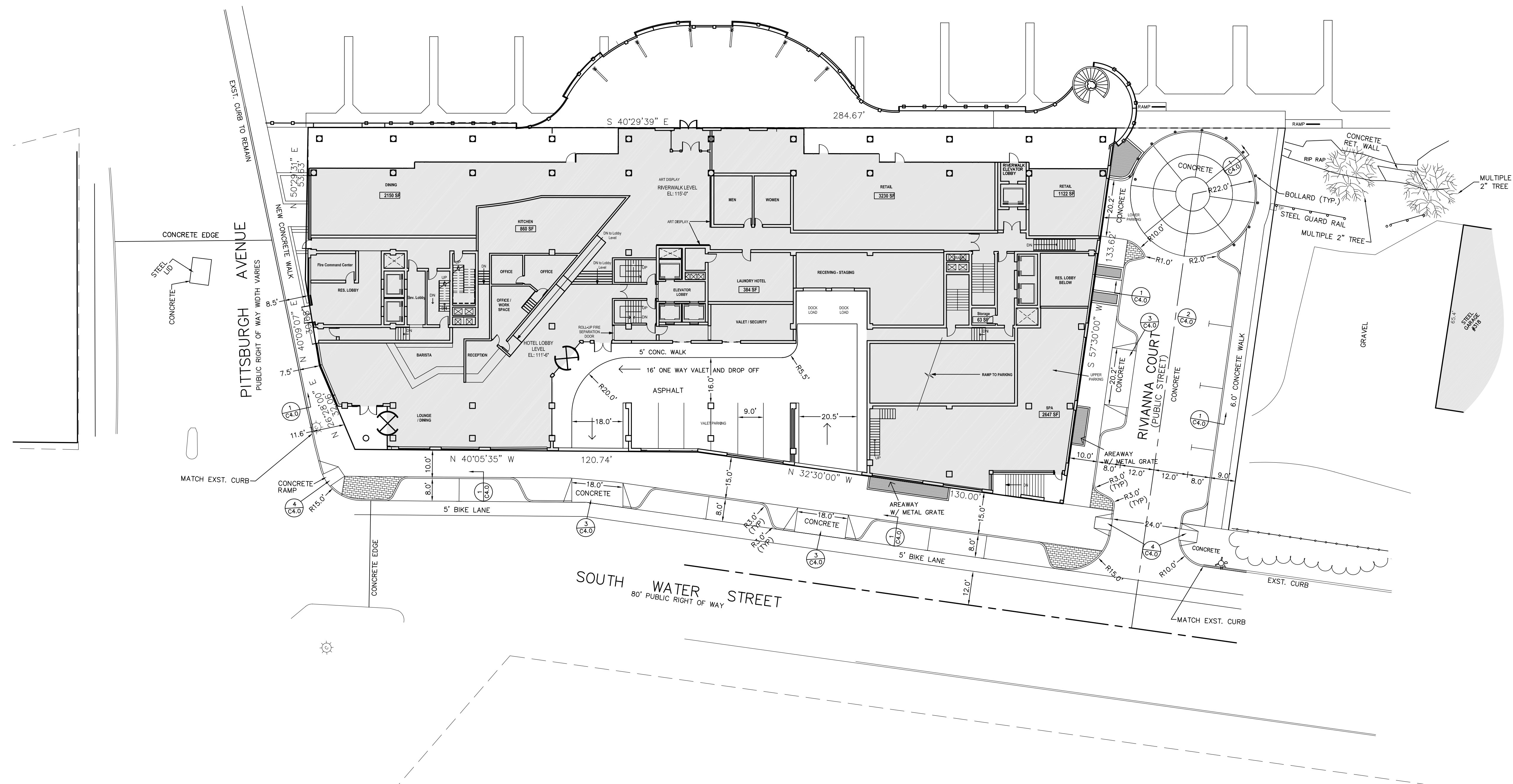
I CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY, AND THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION AND DIMENSIONS OF ALL VISIBLE STRUCTURES THEREON, BOUNDARY FENCES, APPARENT EASEMENTS AND ROADWAYS AND VISIBLE ENCROACHMENTS, IF ANY.
 THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERETO, WITHIN ONE (1) YEAR FROM DATE THEREOF.
 FEBRUARY 5, 2007
 DATE
 MICHAEL J. BERRY, R.L.S.
 REGISTERED LAND SURVEYOR S-2545

PLAT OF SURVEY
 FOR
C.J. ENGINEERING
 236 S. WATER ST.
 MILWAUKEE, WI.

DRAWN BY:	NJF	DATE:	2-5-07
CHECKED BY:	DHS	DRAWING No.	S07-11-0-P
CSE Job No.:	07-011	SHEET	1 OF 1

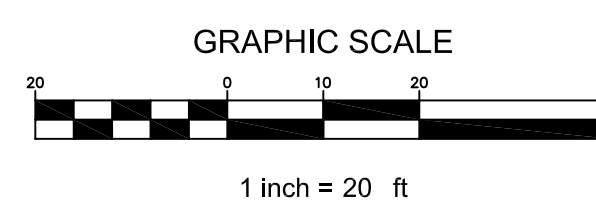


MILWAUKEE RIVER



RIVIANNA
 236 S. WATER STREET MILWAUKEE, WI

- NOTES:
1. FOR DETAILS, SEE SHEET C4.0, SITE DETAILS
 2. ALL EXISTING CONDITIONS ARE PER THE SURVEY BY CAPITOL SURVEY AND ENGINEERING DATED 02-05-07.

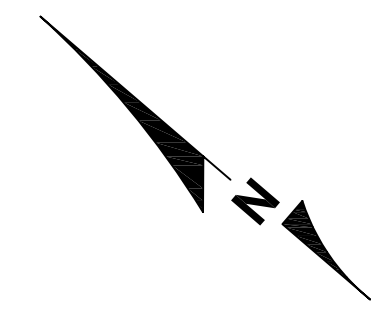


SITE PLAN

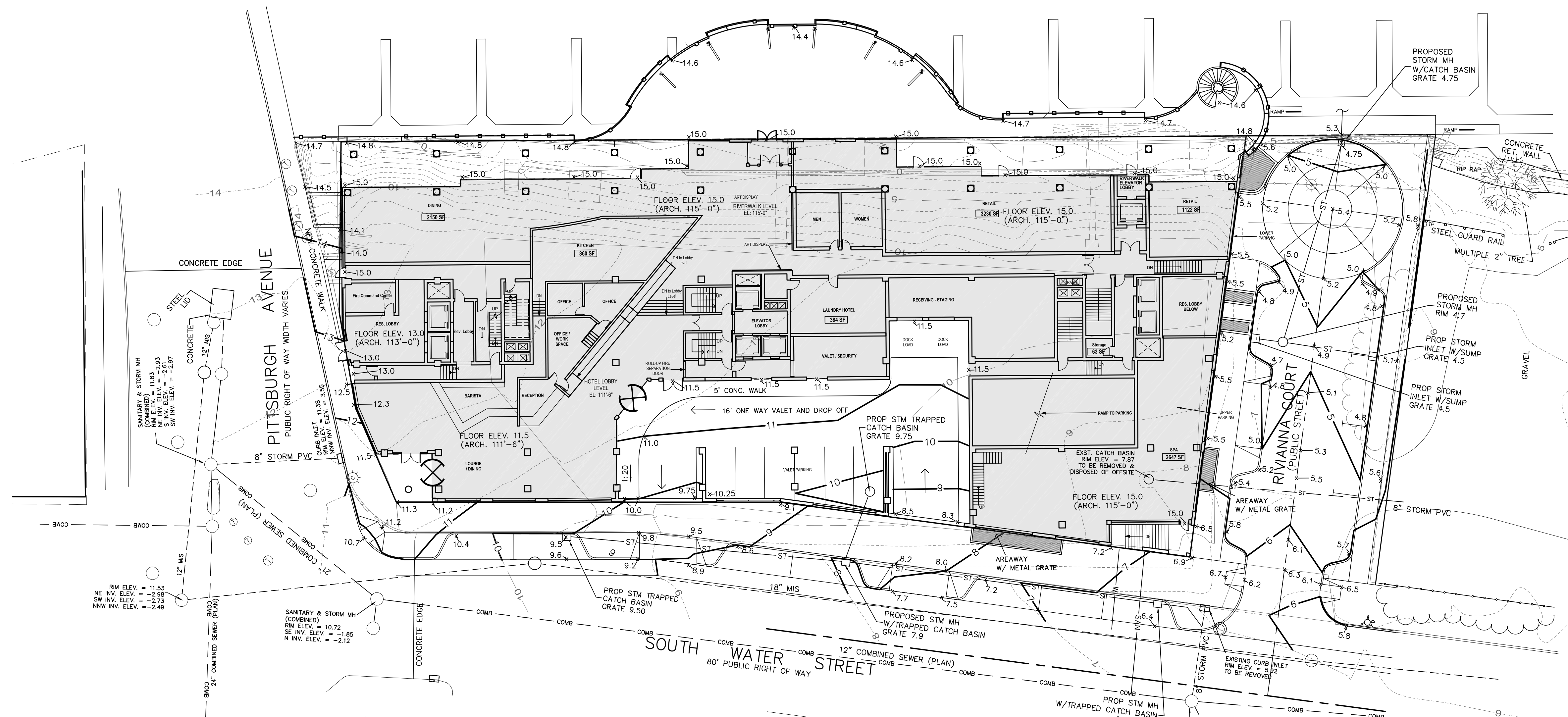
C1.0

SHEET 1 OF *

CJE NO.: 0605R4
 JUNE 19, 2009



MILWAUKEE RIVER

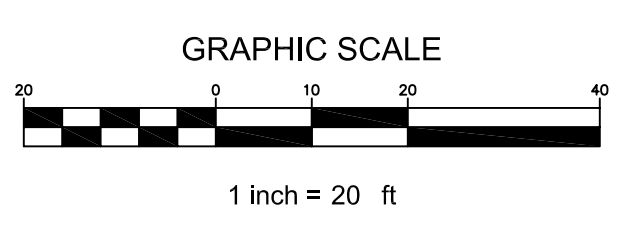


NOTES:

1. ALL PROPOSED GRADES ALONG THE CURB ARE AT THE BOTTOM OF THE CURB.
2. ALL EXISTING CONDITIONS PER THE SURVEY BY CAPITOL SURVEY AND ENGINEERING DATED 02-05-07.
3. STORM WATER MANAGEMENT REQUIREMENT:
 TOTAL SITE AREA EQUALS 0.74 ACRES. TOTAL INCREASE IN IMPERVIOUS SURFACE WILL BE 0.33 ACRES; THEREFORE A STORM WATER MANAGEMENT REPORT IS NOT REQUIRED PER 120-7-2 (2).

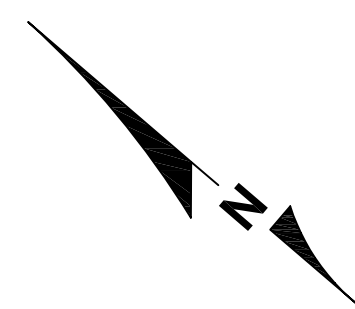
TO OBTAIN LOCATIONS OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
 1-800-242-8811
 TOLL FREE
 WIS. STATUTE 103.01(2)(12)(14) REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU DIG DATE: MILWAUKEE AREA 259-1181

LEGEND	
---	EXISTING CONTOUR
—	PROPOSED CONTOUR
x6.5	PROPOSED ELEVATION
—ST—	PROPOSED STORM SEWER

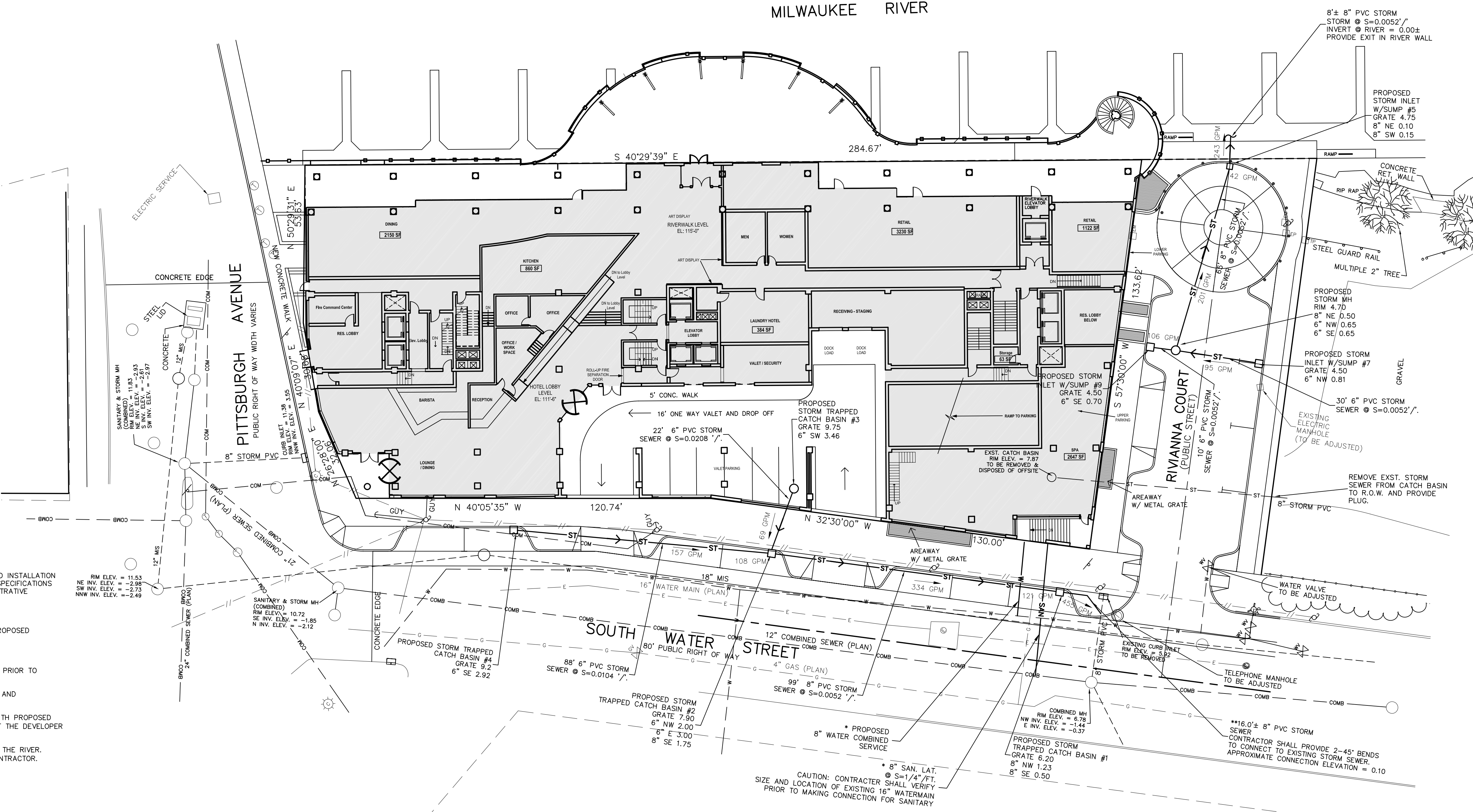


RIVIANNNA
 236 S. WATER STREET MILWAUKEE, WI

CJE NO.: 0605R4
 JUNE 19, 2009

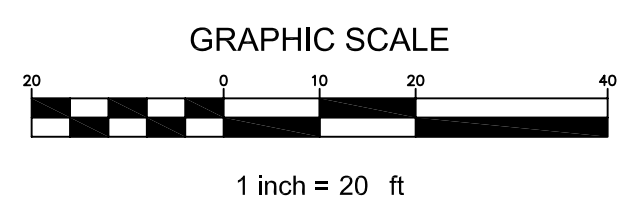


MILWAUKEE RIVER



- NOTES:**
1. ALL STORM SEWER, SANITARY SEWER, AND WATER MAIN MATERIALS AND INSTALLATION PER APPLICABLE SECTIONS OF THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, WISCONSIN ADMINISTRATIVE PLUMBING CODE AND THE CITY OF MILWAUKEE REQUIREMENTS.
 2. ALL TRENCHES IN PAVEMENT AREAS SHALL HAVE GRAVEL BACKFILL.
 3. * EXACT SIZE AND LOCATION OF SANITARY AND WATER SERVICE TO PROPOSED BUILDINGS BY PLUMBING CONSULTANT/CONTRACTOR.
 4. PROPOSED WATER MAIN SHALL HAVE A MINIMUM 6 FEET OF COVER.
 5. THE CONTRACTOR SHALL VERIFY ALL SEWER AND WATER CONNECTIONS PRIOR TO UTILITY CONSTRUCTION. NOTIFY THE ENGINEER WITH ANY DISCREPANCIES.
 6. ALL EXISTING CONDITIONS ARE PER THE SURVEY BY CAPITOL SURVEY AND ENGINEERING DATED 02-05-07.
 7. ALL ABOVE AND BELOW GROUND ELECTRICAL UTILITIES IN CONFLICT WITH PROPOSED CONDITIONS SHALL BE REMOVED AND/OR RELOCATED AT THE EXPENSE OF THE DEVELOPER AND IN COORDINATION WITH THE UTILITY COMPANY.
 8. ALL ROOF WATER SHALL BE DIRECTED AND DISCHARGED DIRECTLY TO THE RIVER. EXACT SIZE AND LOCATION OF DISCHARGE BY PLUMBING CONSULTANT/CONTRACTOR.

LEGEND	
---	EXISTING STORM SEWER
—ST—	PROPOSED STORM SEWER
---	EXISTING SANITARY SEWER
—SAN—	PROPOSED SANITARY SEWER
---	EXISTING WATER MAIN
—W—	PROPOSED WATER MAIN



**NOTE FOR CONNECTION:
 CONTRACTOR SHALL LOCATE, INSPECT AND VERIFY EXISTING 8" STORM SEWER AND PROVIDE CONNECTION PER CITY OF MILWAUKEE STANDARDS. REMAINING STORM SEWER AND CATCH BASIN SHALL BE ABANDONED OR REMOVED AND DISPOSED OF OFFSITE.

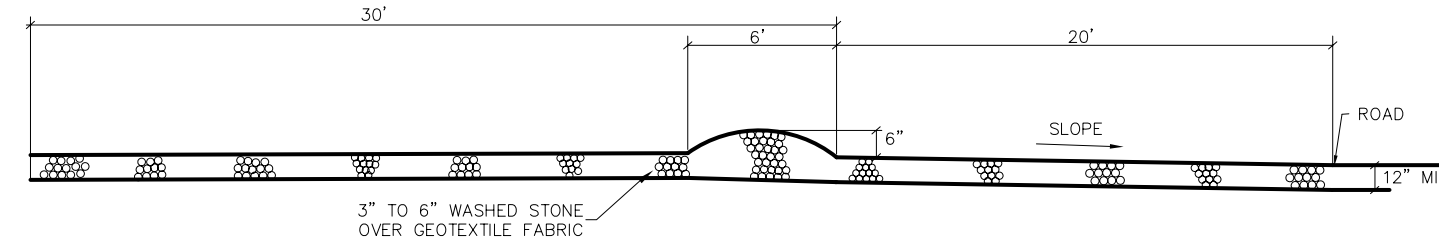
CAUTION: CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF EXISTING 16" WATERMAIN PRIOR TO MAKING CONNECTION FOR SANITARY

CONSTRUCTION SCHEDULE

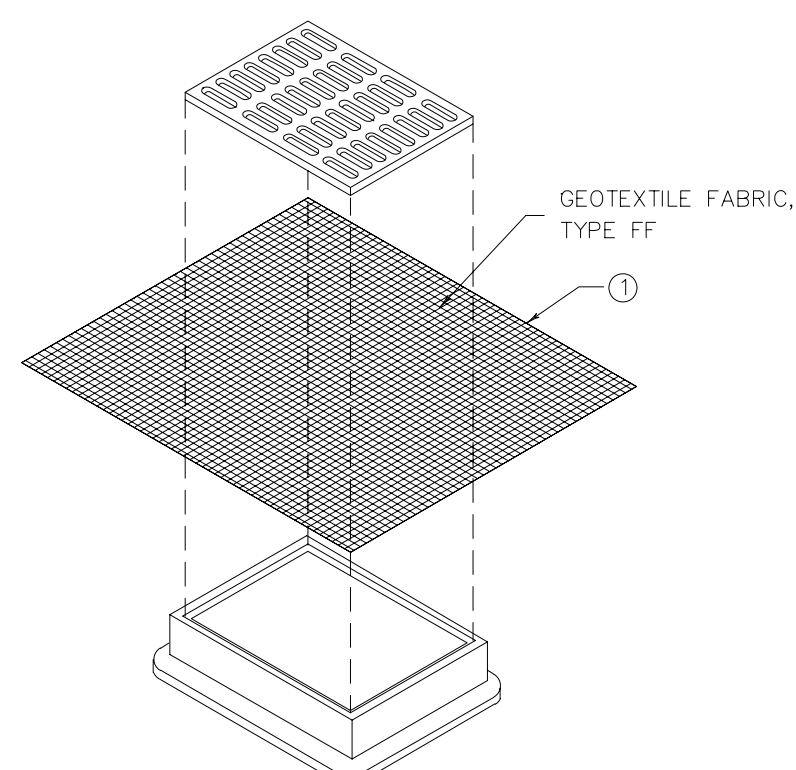
- OBTAIN PLAN APPROVAL AND OTHER APPLICABLE PERMITS.
- FLAG THE WORK LIMIT AND BUFFER AREA FOR PROTECTION.
- INSTALL SILT FENCE.
- INSTALL CONSTRUCTION EXIT.
- INSTALL INLET PROTECTION IN ALL EXISTING INLETS.
- BEGIN SITE PREPARATION INCLUDING ASPHALT REMOVAL, GRADING, ETC.
- BEGIN BUILDING CONSTRUCTION.
- REMOVE SILT FENCE AROUND BUILDING AREA ONCE SITE IS STABILIZED AND CONSTRUCTION HAS BEGUN.
- INSTALL UTILITIES.
- INSTALL INLET PROTECTION IN REMAINING INLETS.
- INSTALL BASE COURSE OF ASPHALT PAVEMENT.
- ALL EROSION CONTROL PRACTICES WILL BE INSPECTED WEEKLY AND AFTER RAINFALL, NEEDED REPAIRS WILL BE PERFORMED IMMEDIATELY.

MAINTENANCE PLAN

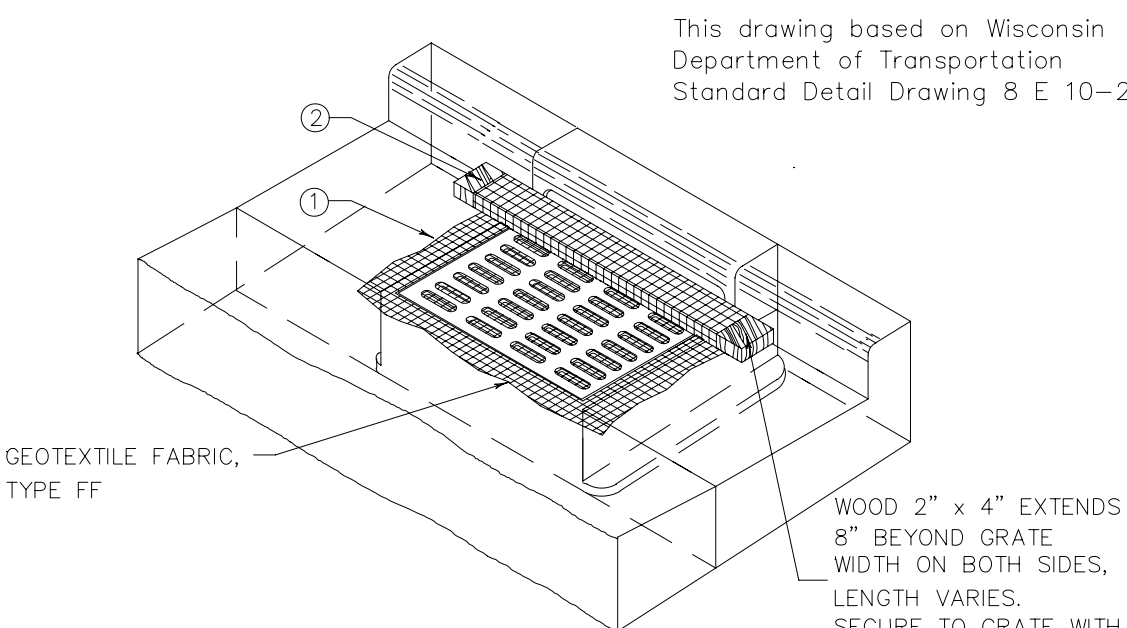
- ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCTION RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
- SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE WHEN IT BECOMES ABOUT 0.5 FT. DEEP AT THE FENCE. THE SILT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER.
- ALL SEEDED AREAS WILL BE FERTILIZED, RESEED AS NECESSARY, AND MULCHED TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
- ANY SEDIMENT OR MATERIAL REACHING PITTSBURGH AVE. OR SOUTH WATER ST. SHALL BE REMOVED IMMEDIATELY.



2 CONSTRUCTION EXIT
 NOT TO SCALE



INLET PROTECTION, TYPE B (WITHOUT CURB BOX)
 (CAN BE INSTALLED IN ANY INLET WITHOUT A CURB BOX)



INLET PROTECTION, TYPE C (WITH CURB BOX)

INSTALLATION NOTES

- TYPE B & C
 TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
 THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

3 INLET PROTECTION
 NOT TO SCALE

GENERAL NOTES

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.
 WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

- FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
- FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
- FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.



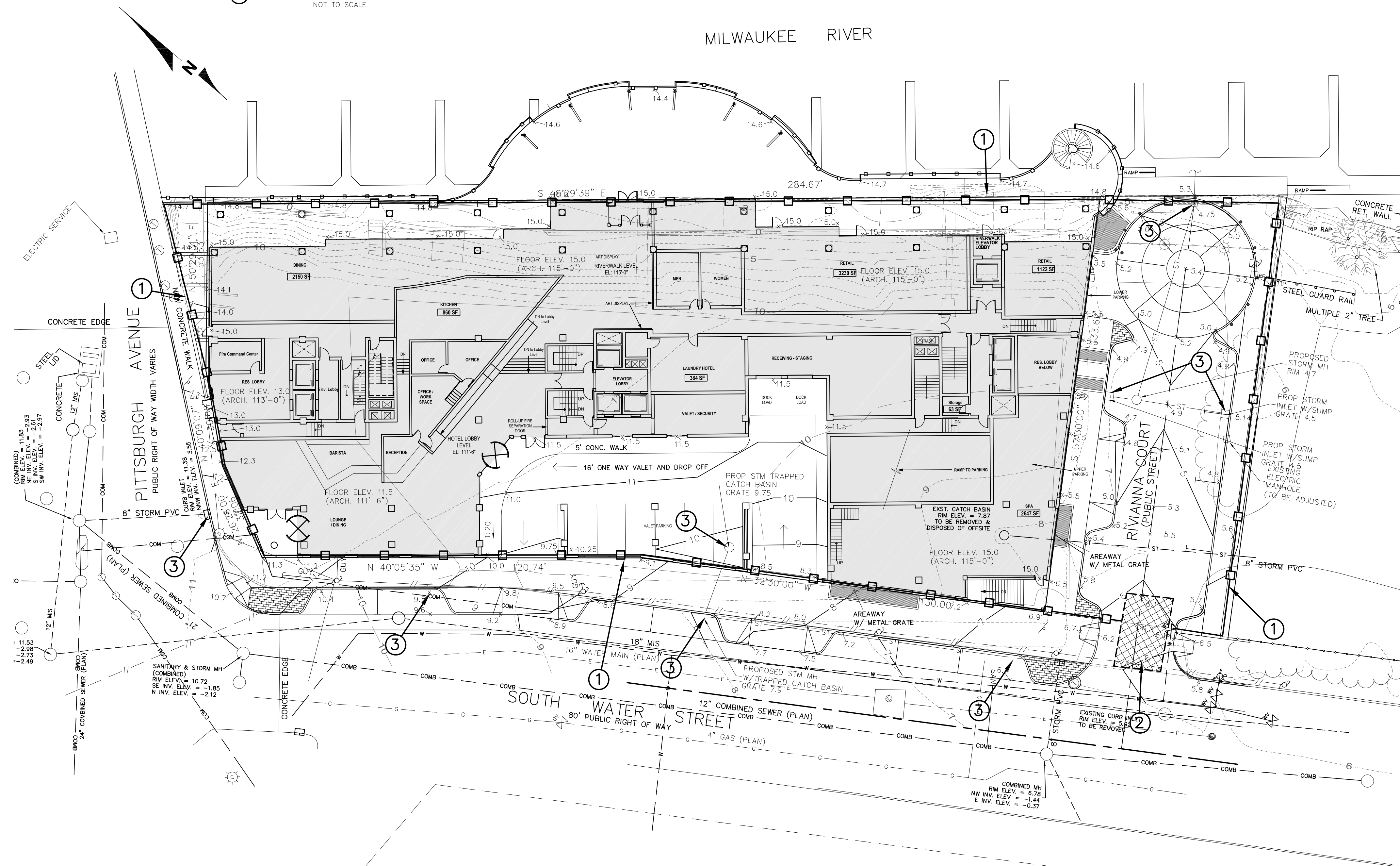
NOTES:

- ALL EXISTING CONDITIONS PER THE SURVEY BY CAPITOL SURVEY AND ENGINEERING DATED 02-05-07.

LEGEND

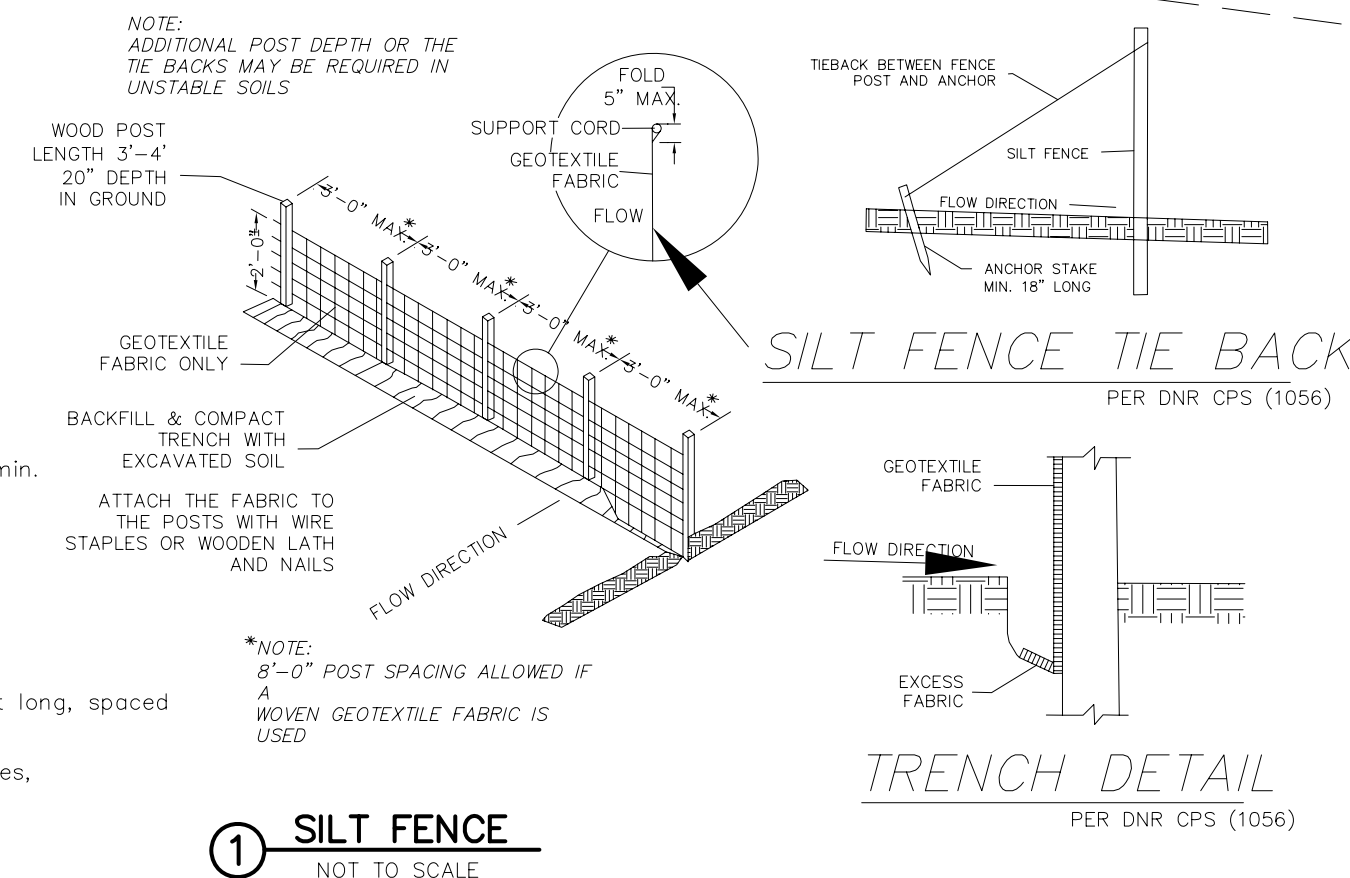
---	12	EXISTING CONTOUR
---	10	PROPOSED CONTOUR
---	x6.5	PROPOSED ELEVATION
---	ST	PROPOSED STORM SEWER

MILWAUKEE RIVER

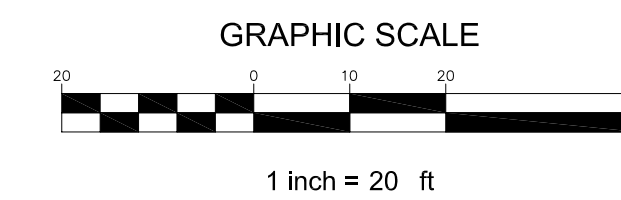


SILT FENCE CONSTRUCTION SPECIFICATIONS
 PER DNR CPS (1056)

- Construction silt fence around the disturbed areas as shown on Erosion Control Plan, to prevent sediment from being washed into the drainage system.
- Locate posts per DNR CPS (1056)
- When joints are necessary, refer to DNR CPS (1056).
- Filter fabric to be of nylon, polyester, propylene or ethylene yarn with extra strength - 50 LB/lin. in. (Minimum) - and with a flow rate of at least 0.3 gal./sq. ft./min. Fabric should contain ultraviolet ray inhibitors and stabilizers.
- The filter fabric shall be anchored by spreading at least 8 inches of fabric in a 4" x 6" trench.
- The filter fabric shall be stapled and/or nailed to the upslope side of the posts.
- Post to be 1 1/8" x 1 1/8" hickory or oak, 3 feet long, spaced a maximum of 5 feet apart.
- Use wire reinforcement in unstabilized minor swales, ditches or diversions.

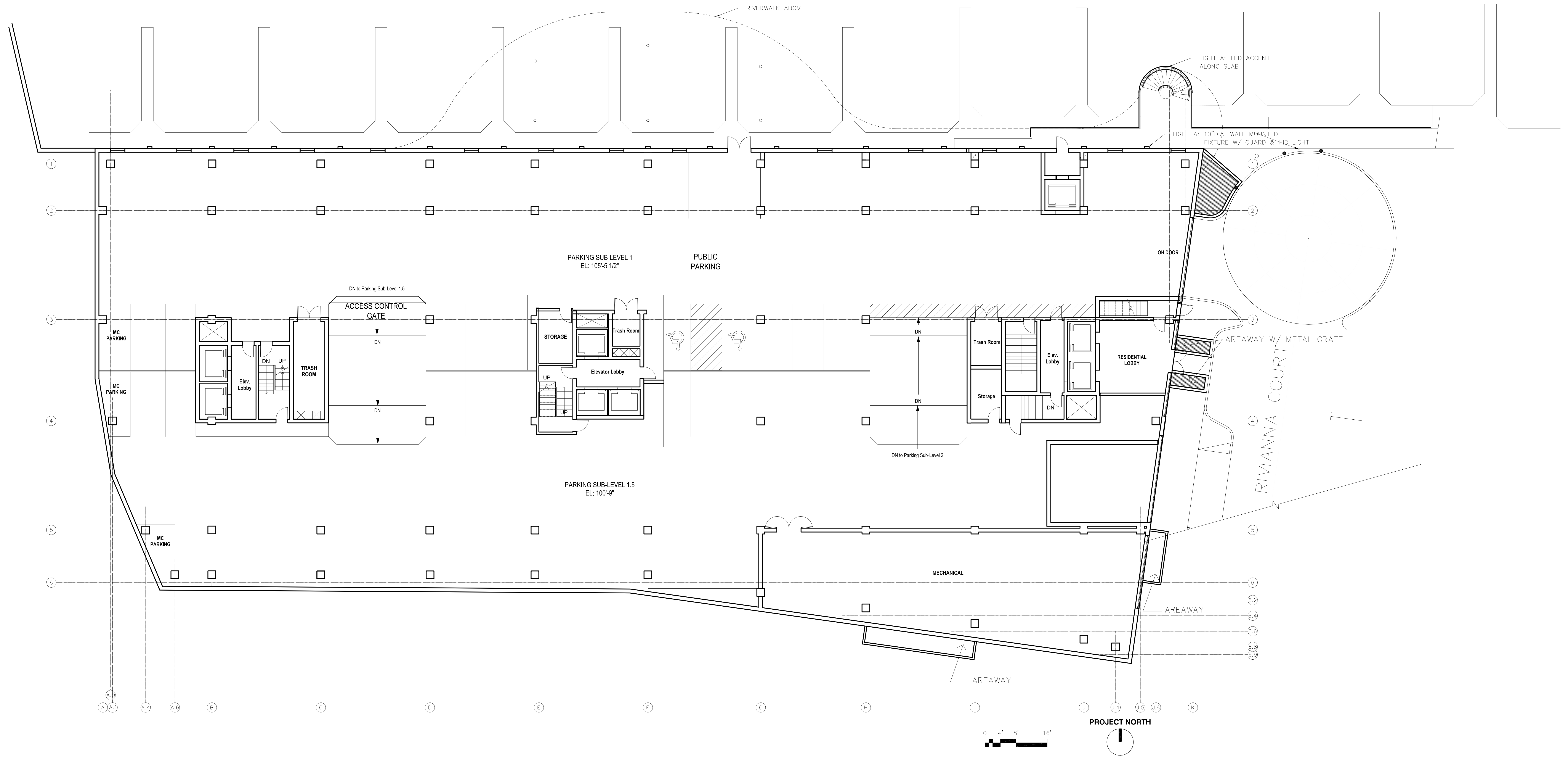


1 SILT FENCE
 NOT TO SCALE



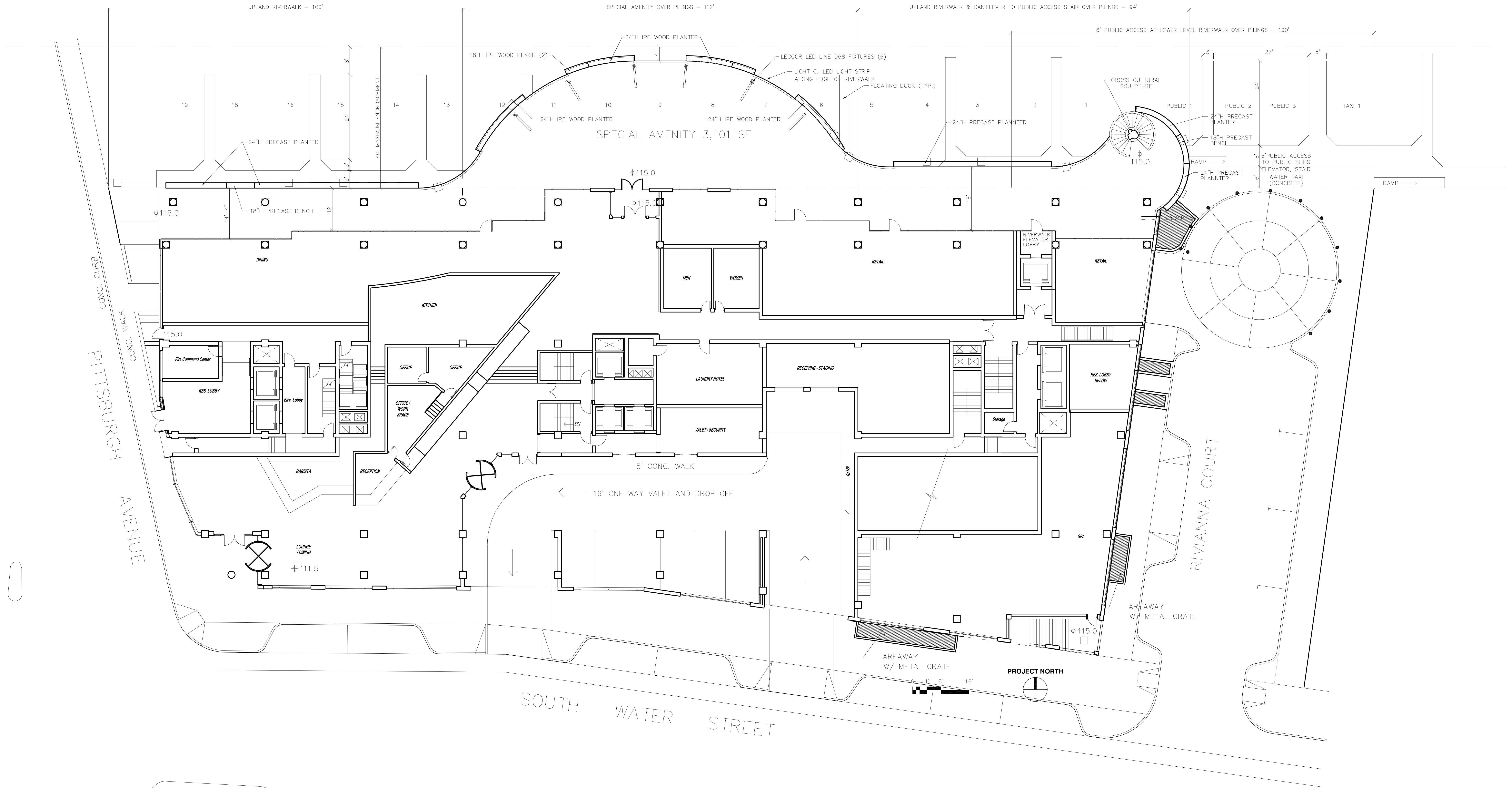
CJE NO.: 0605R4
 JUNE 19, 2009

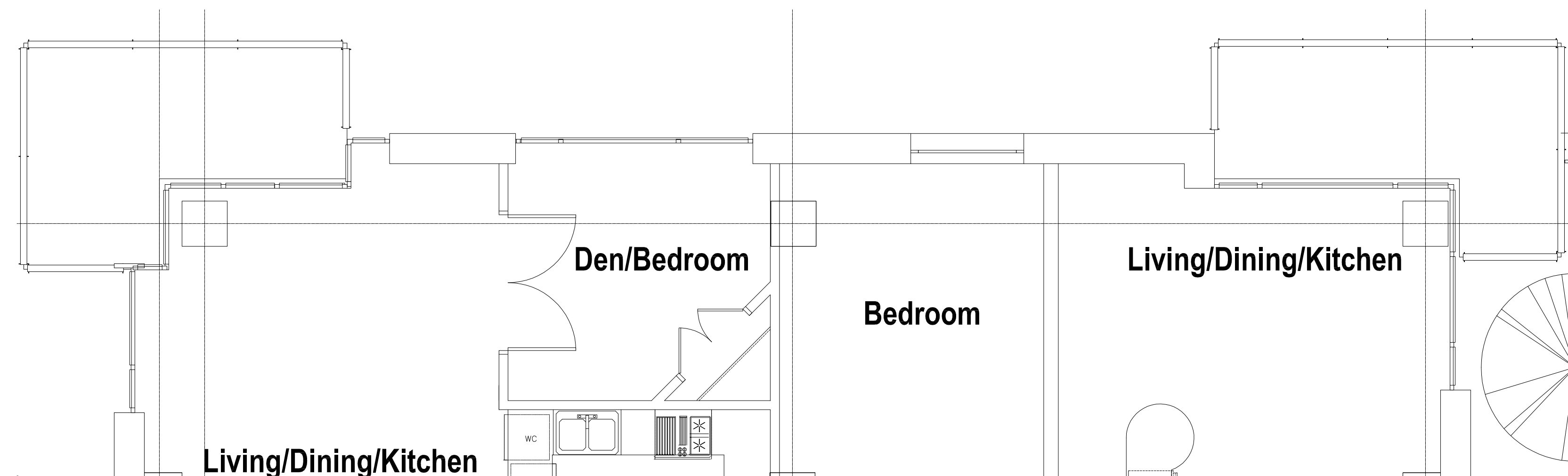
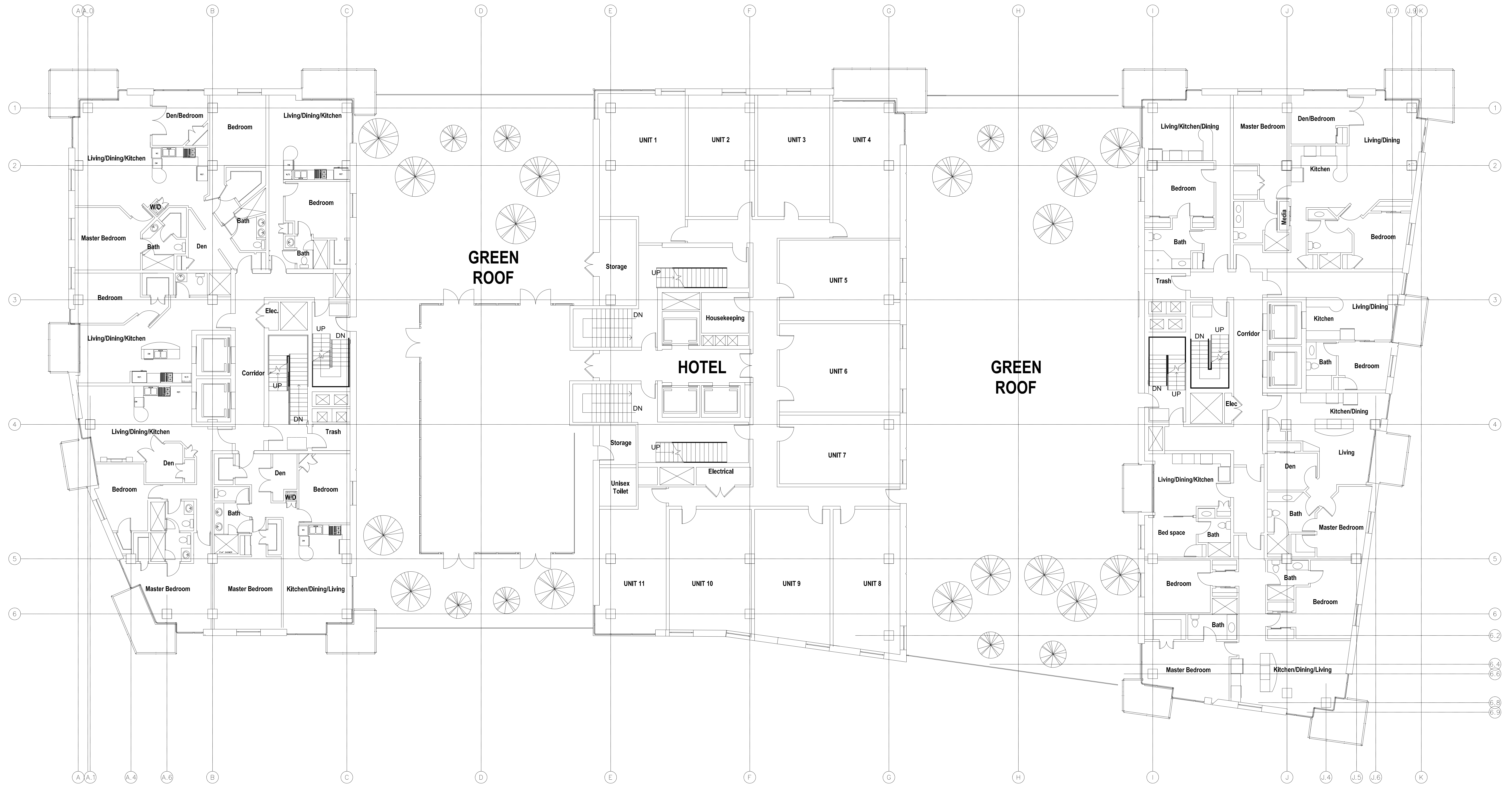
RIVIANNA
 236 S. WATER STREET MILWAUKEE, WI



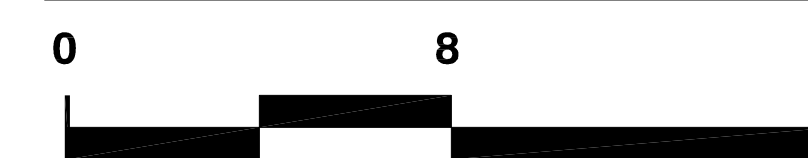
NOTE: Refuse collection rooms at this parking level

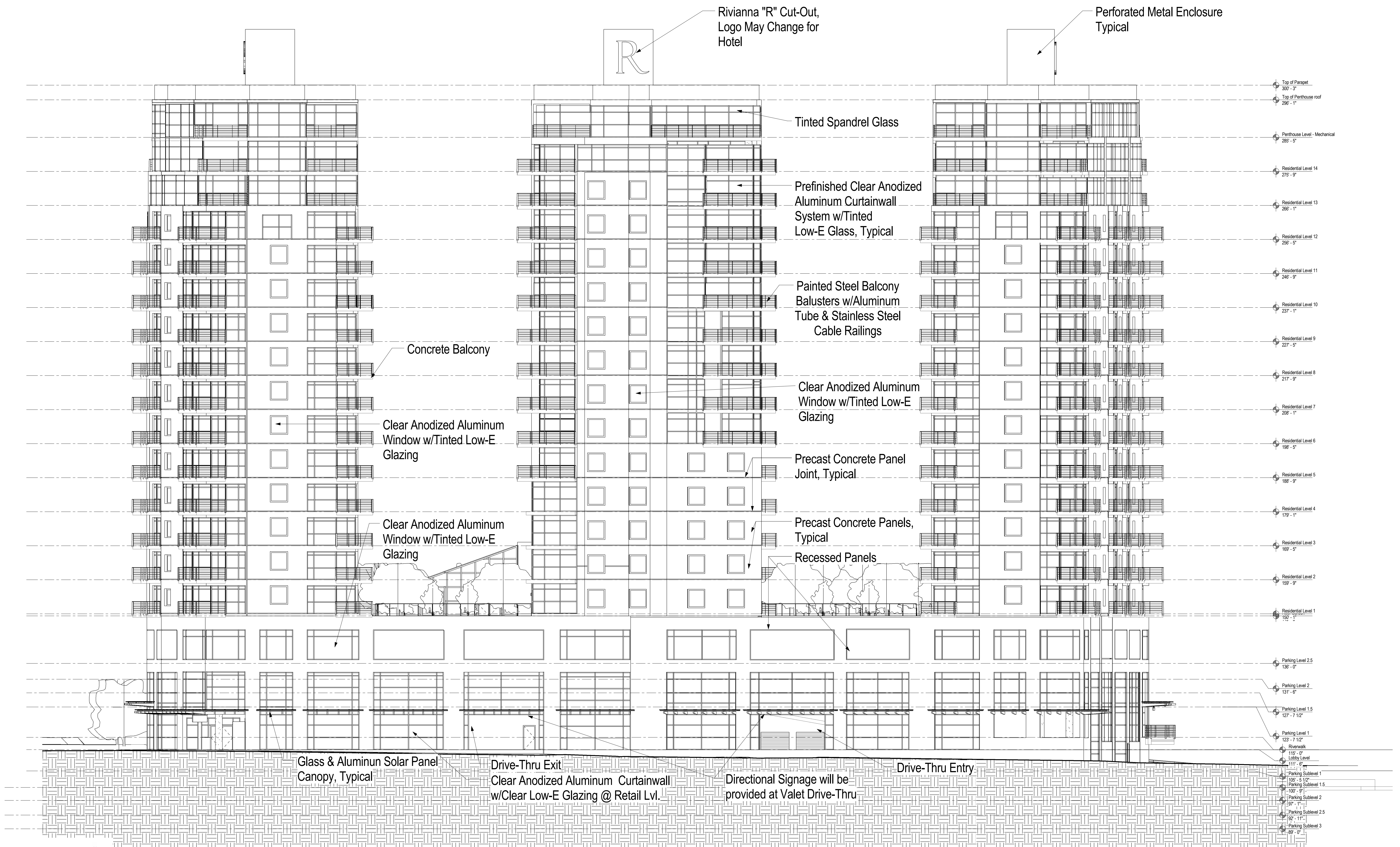
MILWAUKEE RIVER





2. ENLARGED BALCONY PLAN



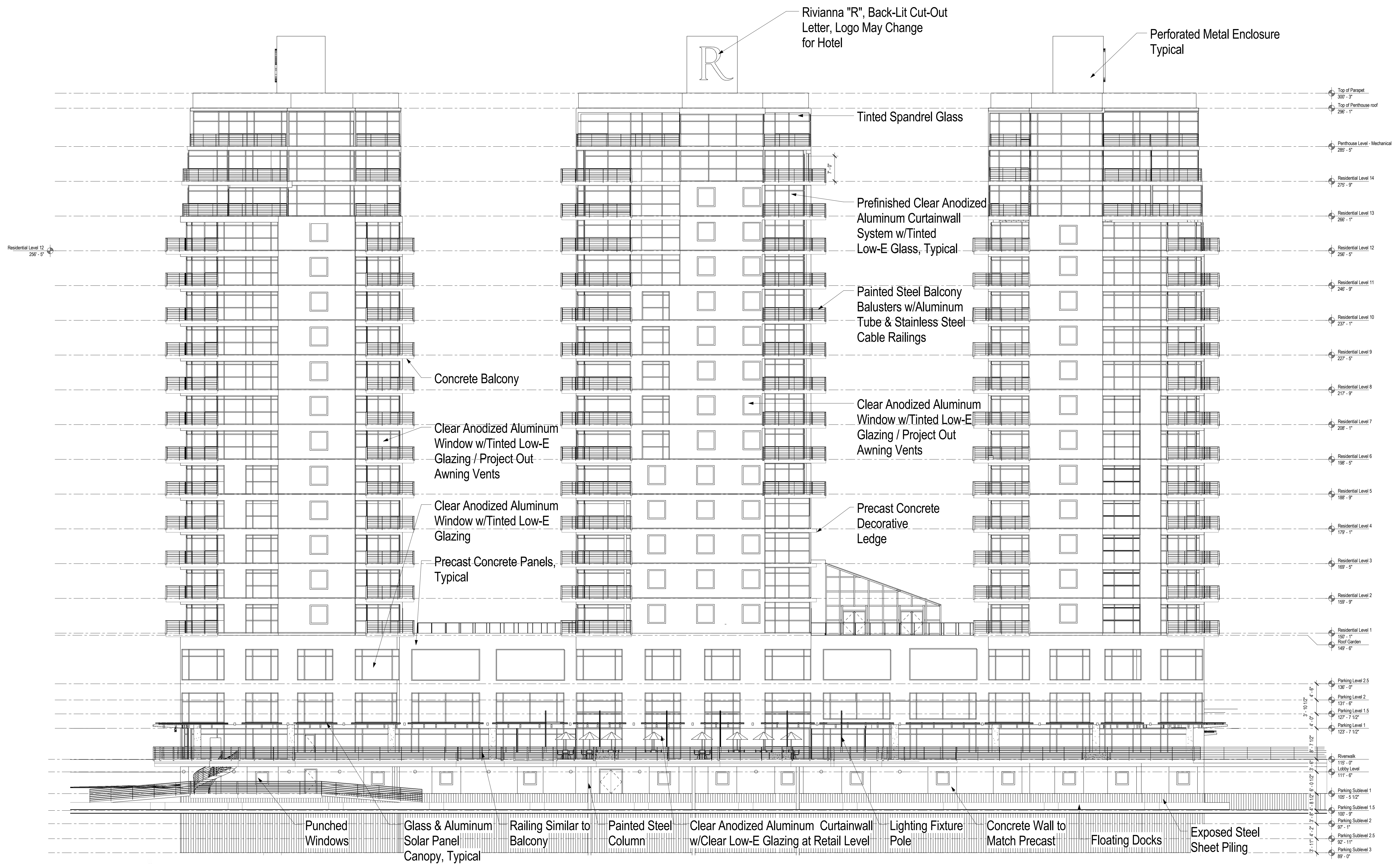


SOUTH ELEVATION

6515 Grand Teton Plaza, Suite 120
Madison, Wisconsin 53719
p 608.829.4444 • f 608.829.4445
dimensionivmadison.com

Rivianna
Milwaukee, WI

South Elev 300x42 A2.0
25_JUNE 2009
Project Number 07052

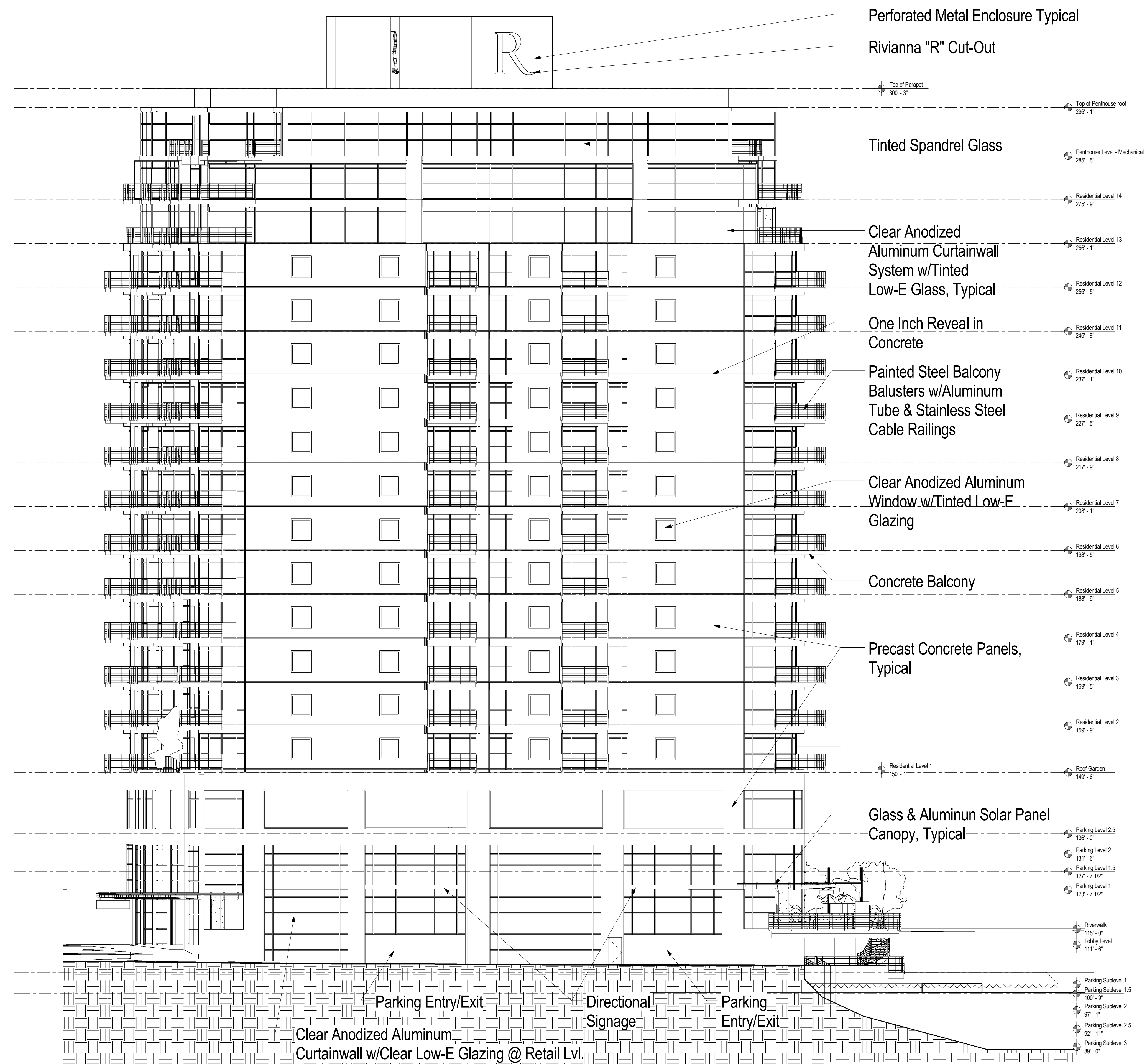


NORTH ELEVATION

6515 Grand Teton Plaza, Suite 120
 Madison, Wisconsin 53719
 p 608.829.4444 • f 608.829.4445
 dimensionivmadison.com

Rivianna
 Milwaukee, WI

North Elevation
 25 JUNE 2009
 Project Number 07052

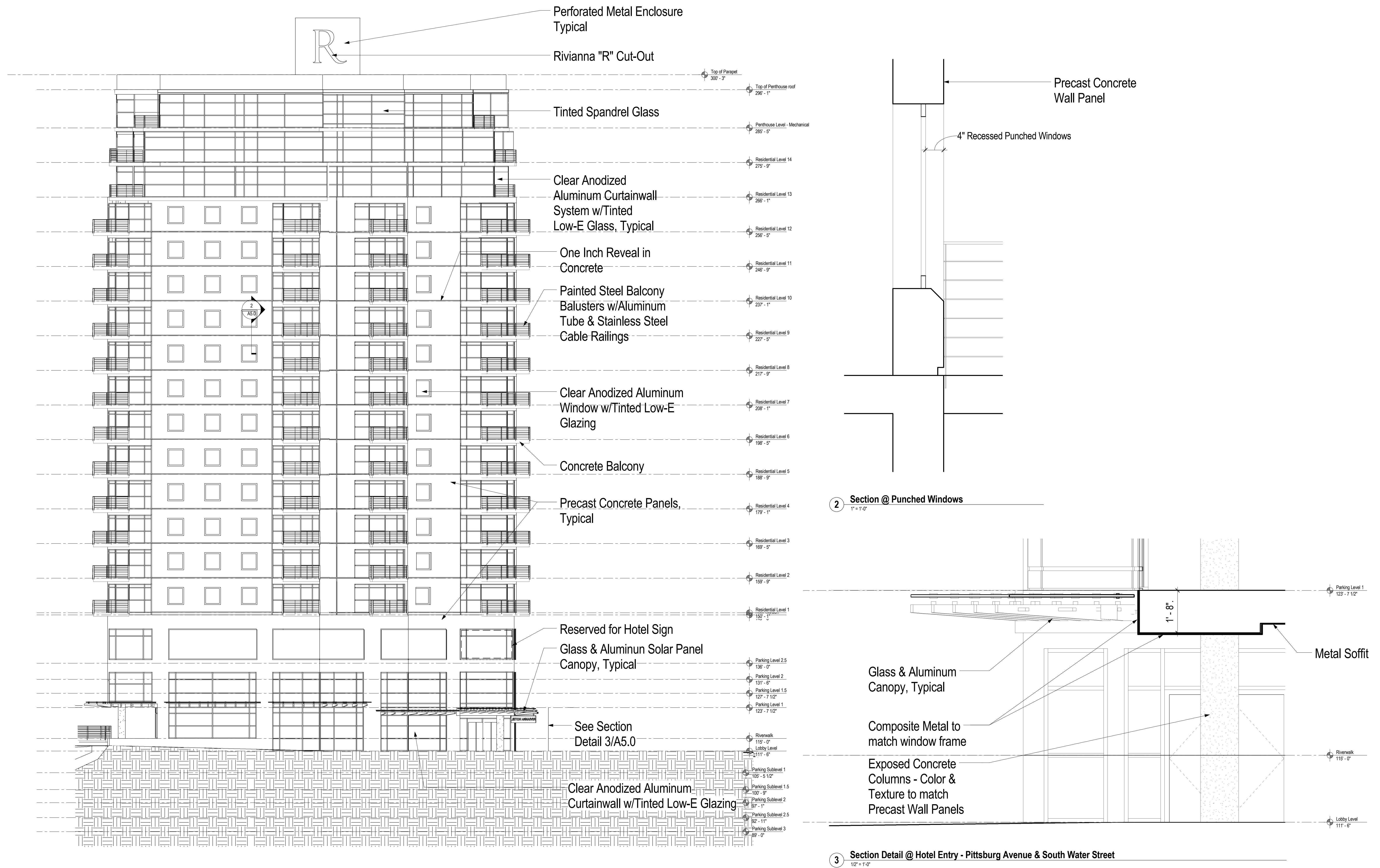


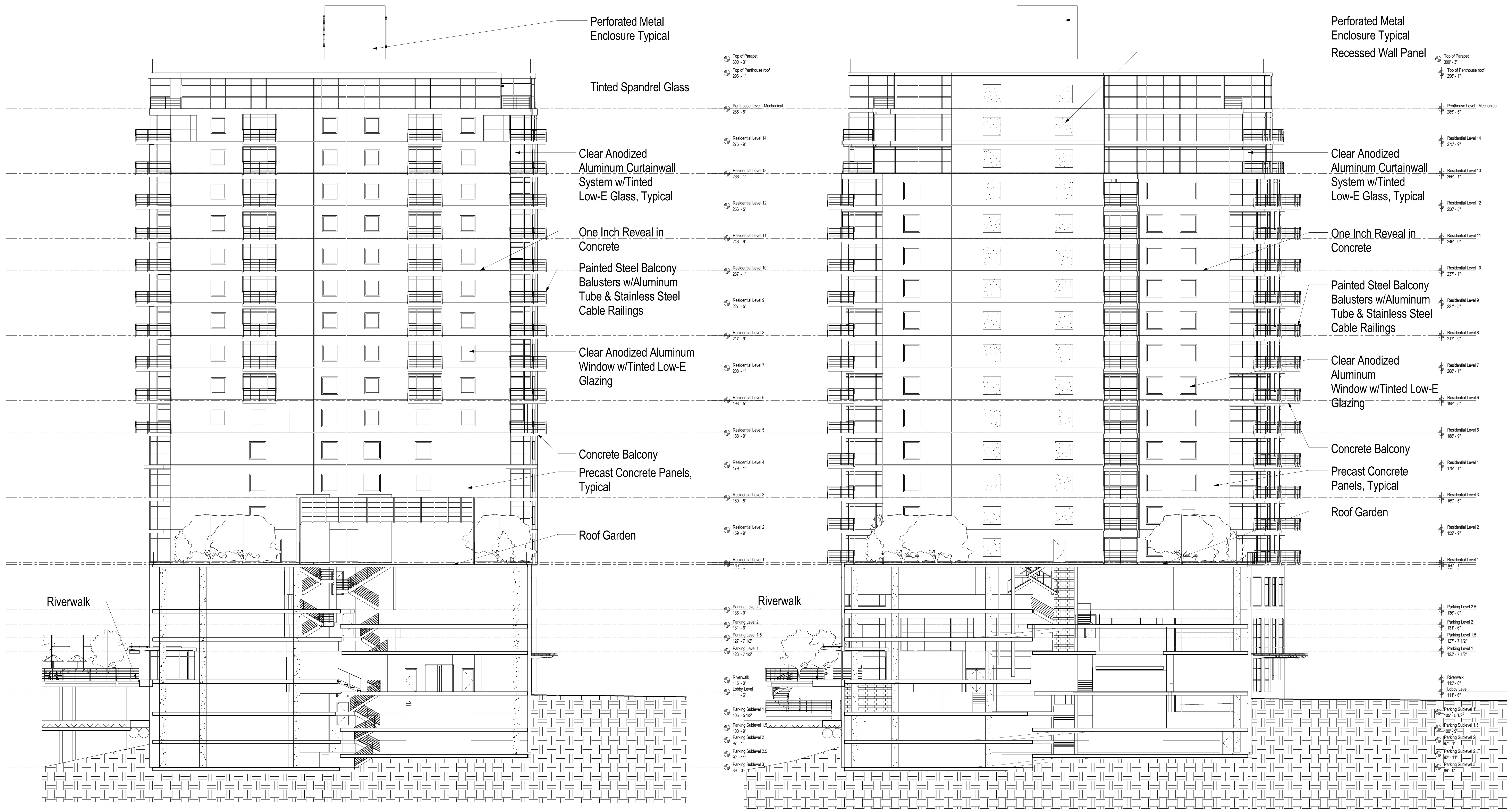
EAST ELEVATION

6515 Grand Teton Plaza, Suite 120
 Madison, Wisconsin 53719
 p 608.829.4444 • f 608.829.4445
 dimensionivmadison.com

Rivianna
 Milwaukee, WI

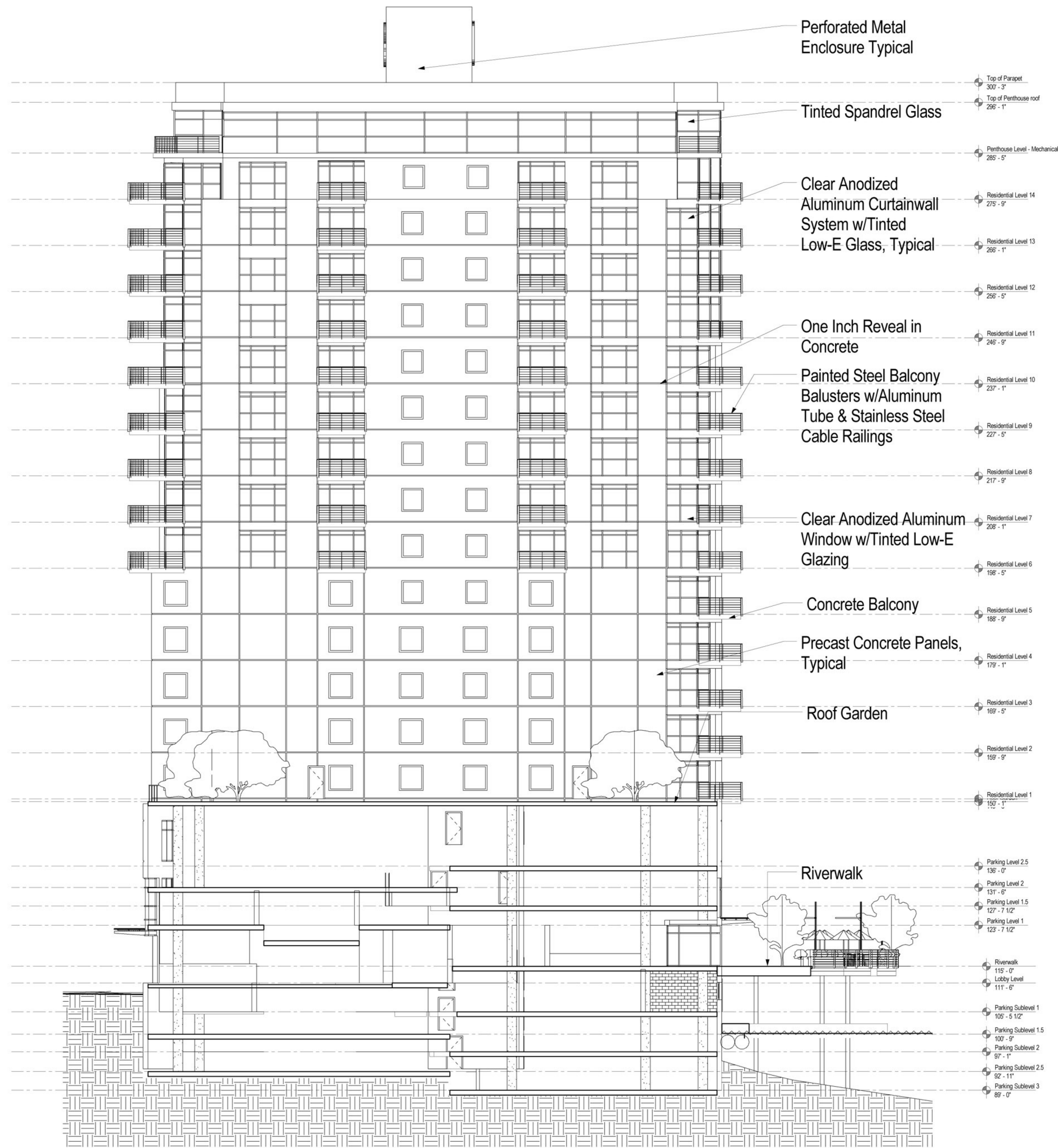
East Elevation 30x42 A4.0
 25_JUNE 2009
 Project Number 07052



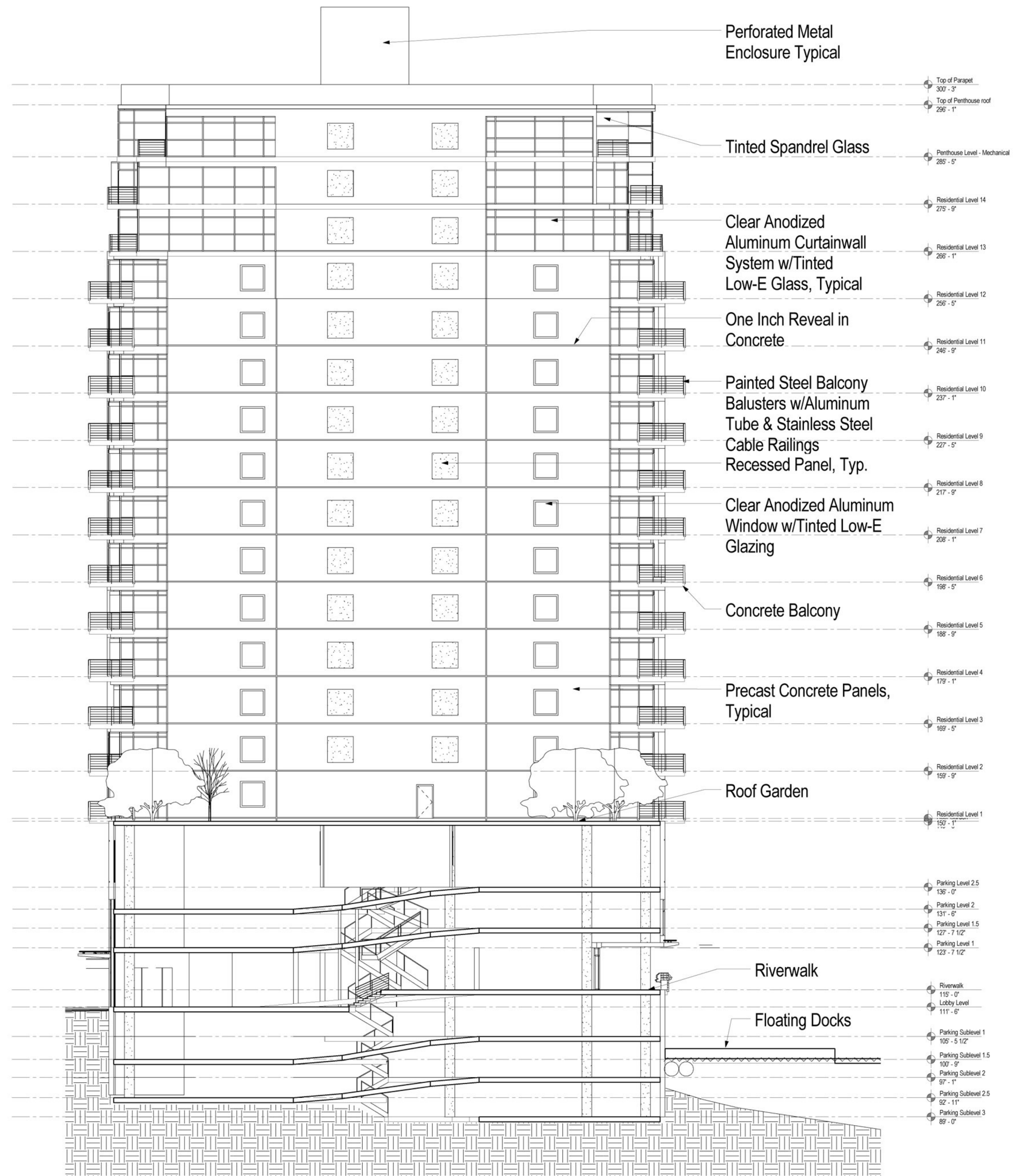


CENTER TOWER WEST ELEVATION

EAST TOWER WEST ELEVATION



CENTER TOWER EAST ELEVATION



WEST TOWER EAST ELEVATION



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Madison, Wisconsin 53719
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dimensionivmadison.com

Rivianna
Milwaukee, WI

West Tower East Elevation Center Tower East Elevation A7.0

25 JUNE 2009
Project Number 07052





Concrete Color and Texture



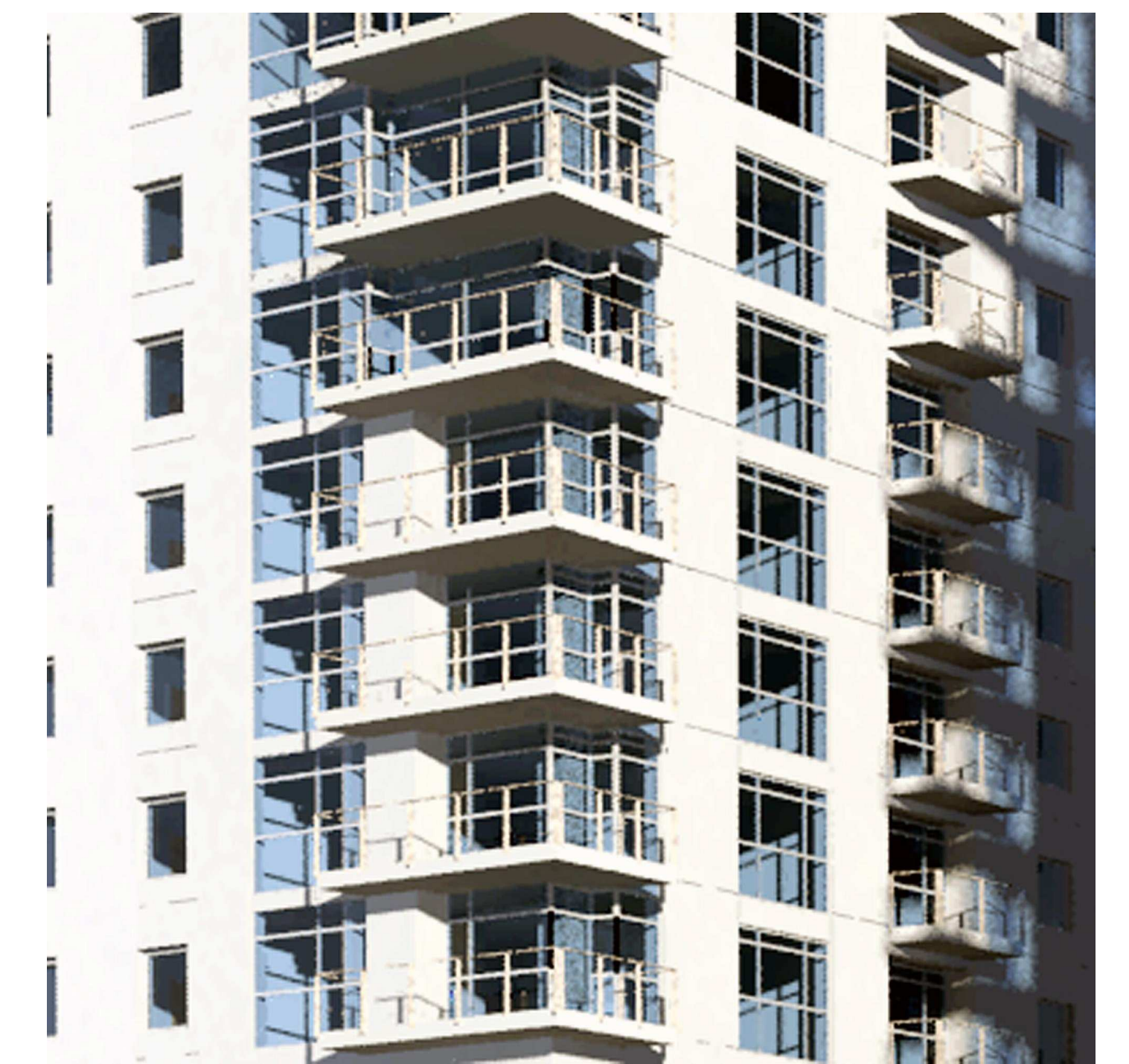
Canopy at Pedestrian Level



Hotel Entry



View from Pittsburg Ave



Balcony Inset and Curtain Wall Detail



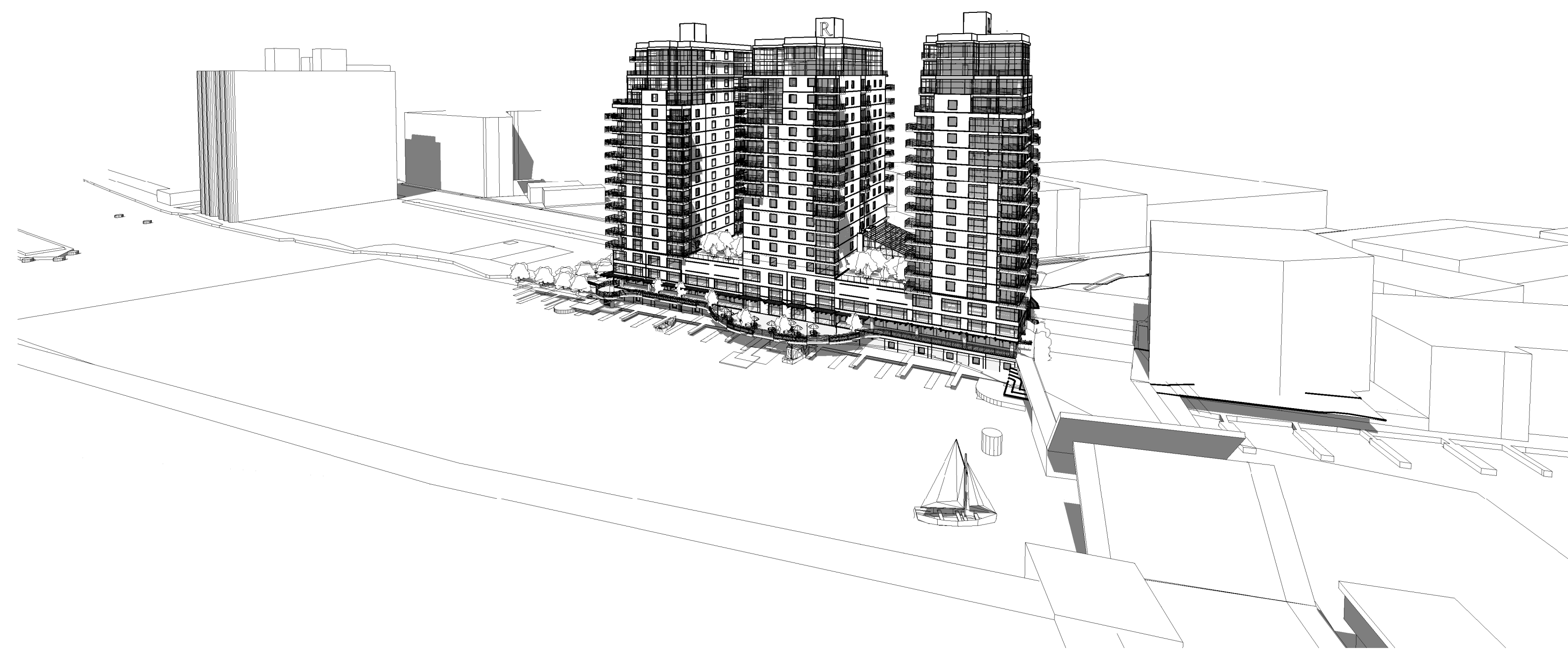
Canopy at Riverwalk



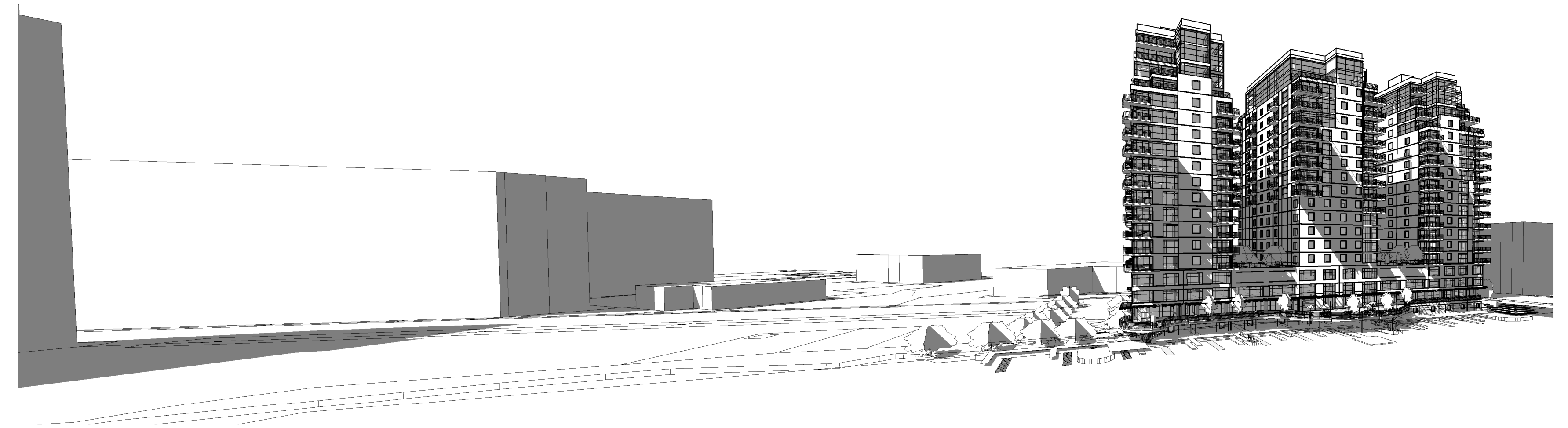
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dimensionivmadison.com

Rivianna
Milwaukee, WI

Perspective View from Pittsburg Avenue A9.0
25 JUNE 2009
Project Number 07052



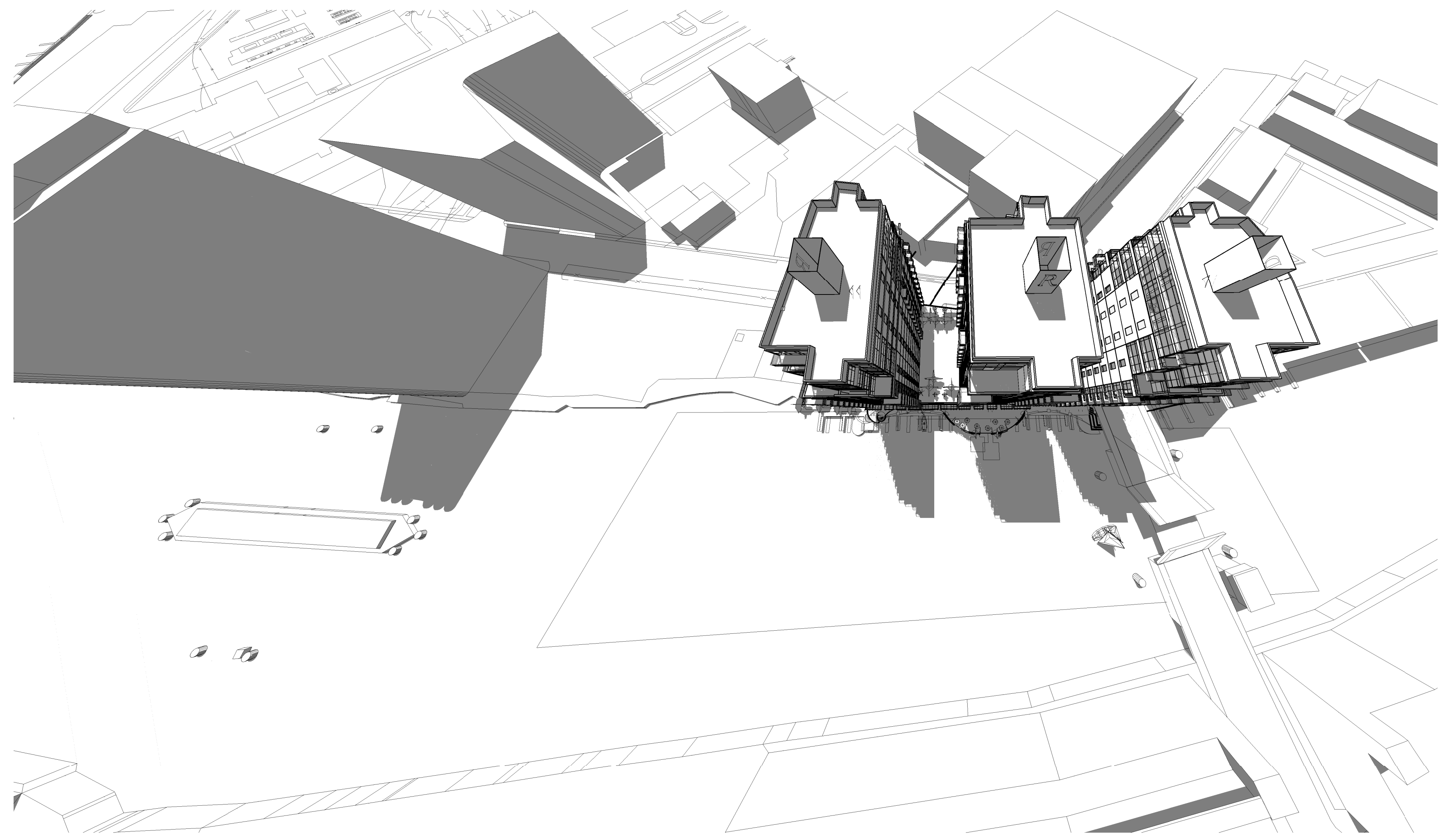
4 From NW Across River



3 From NE On River



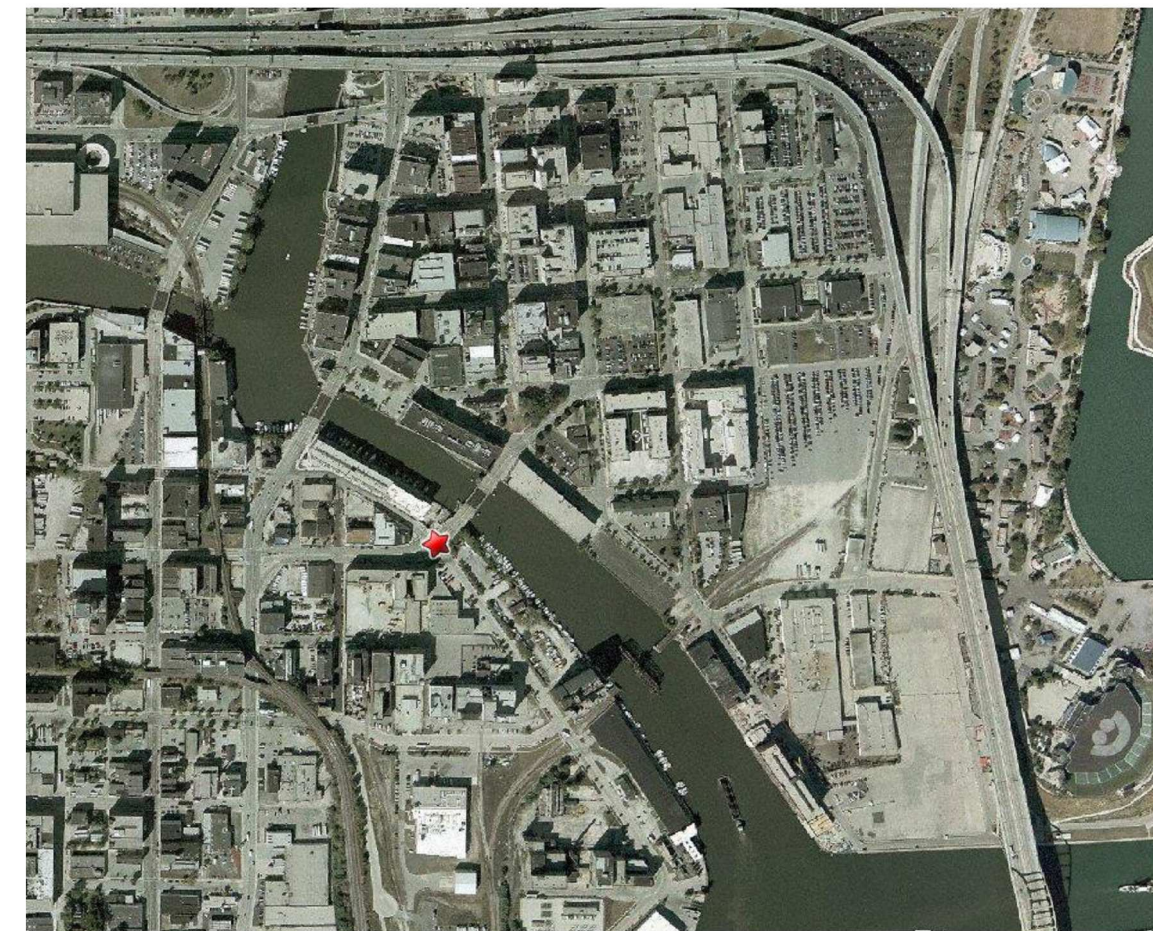
2 From SW Across Street



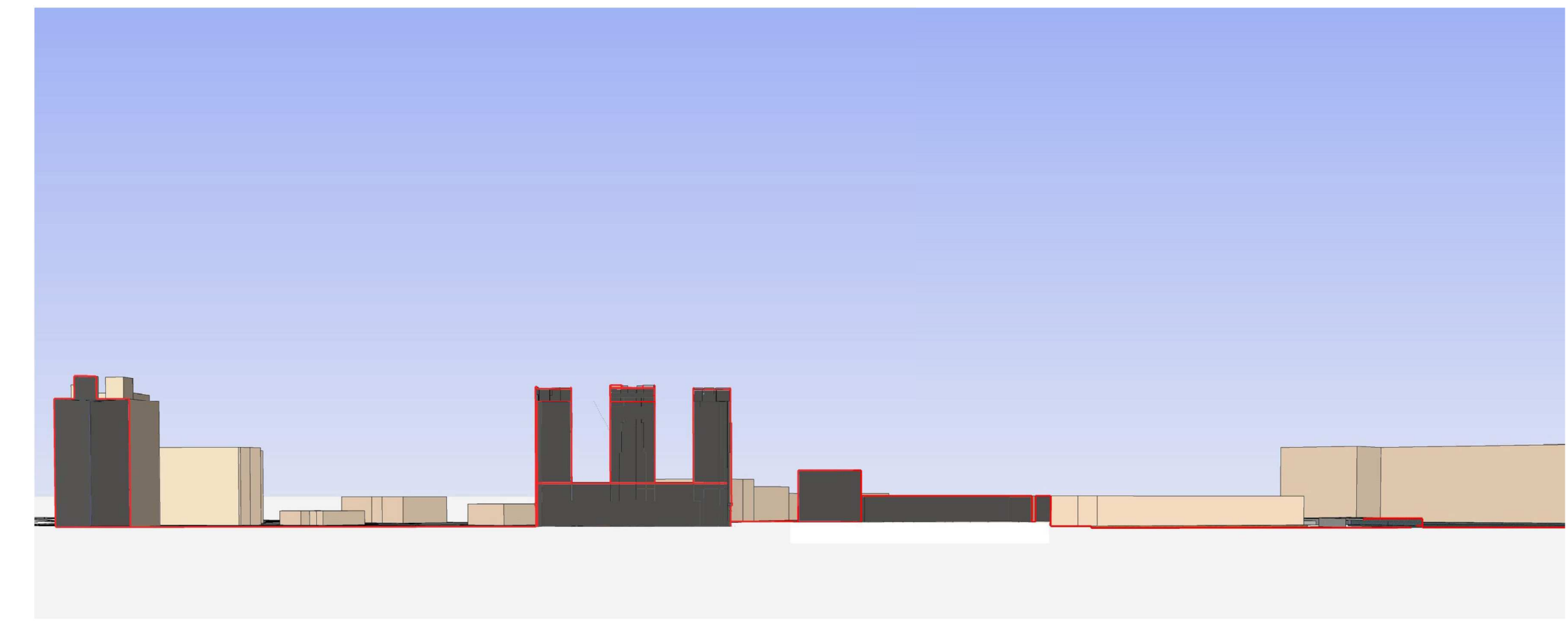
1 Aerial



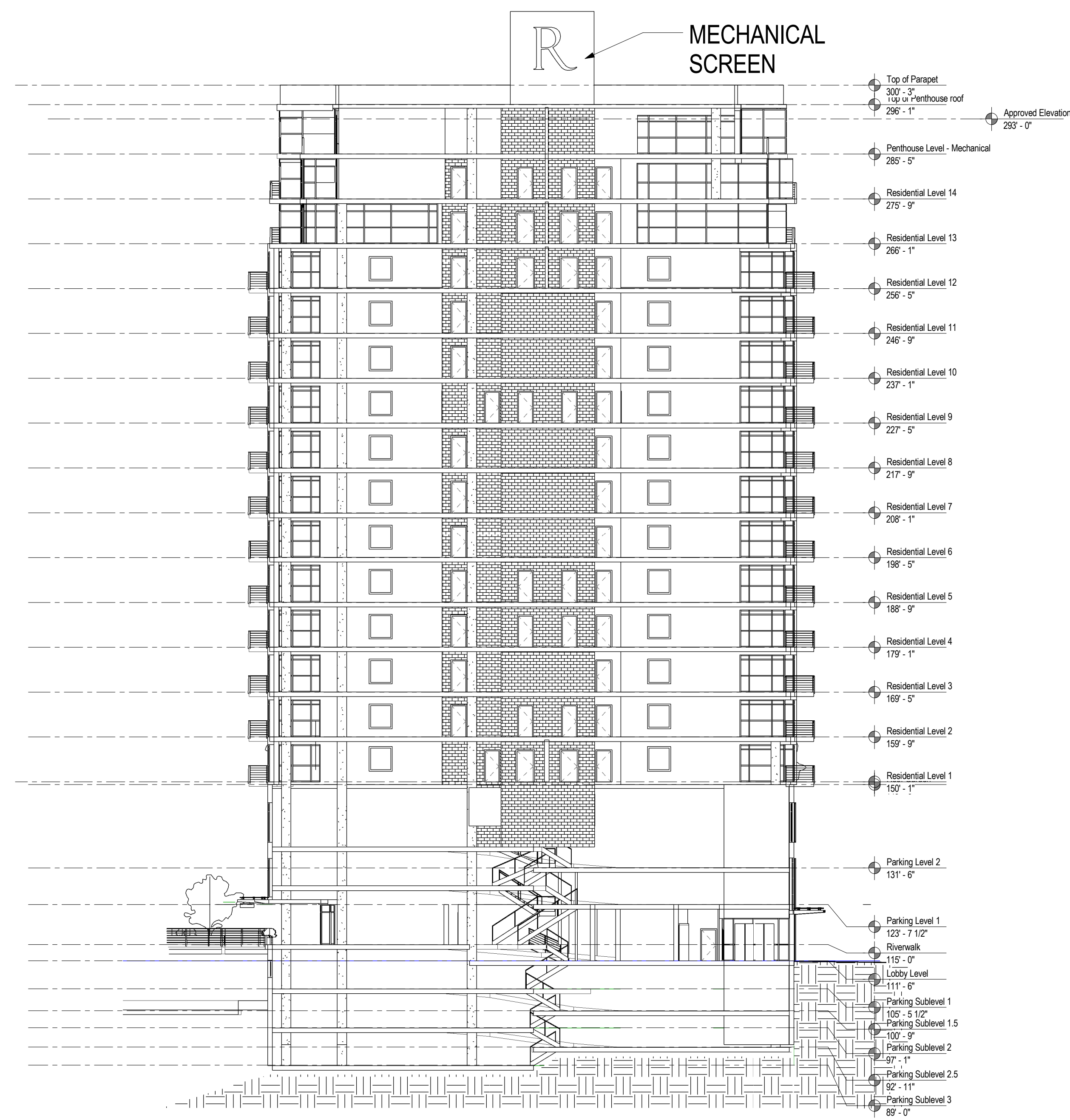
North South Section
Not to Scale



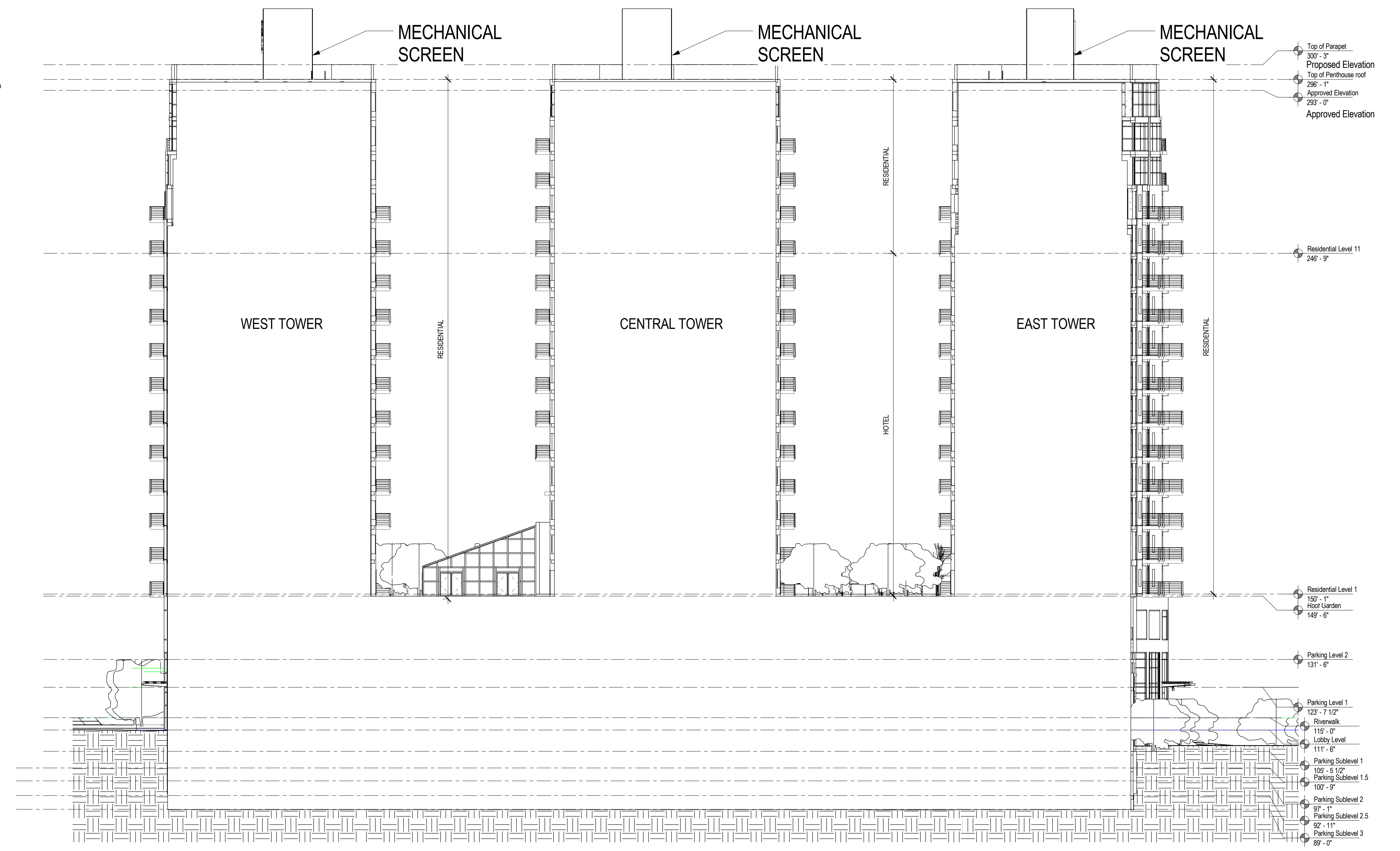
Area Map
Not to Scale



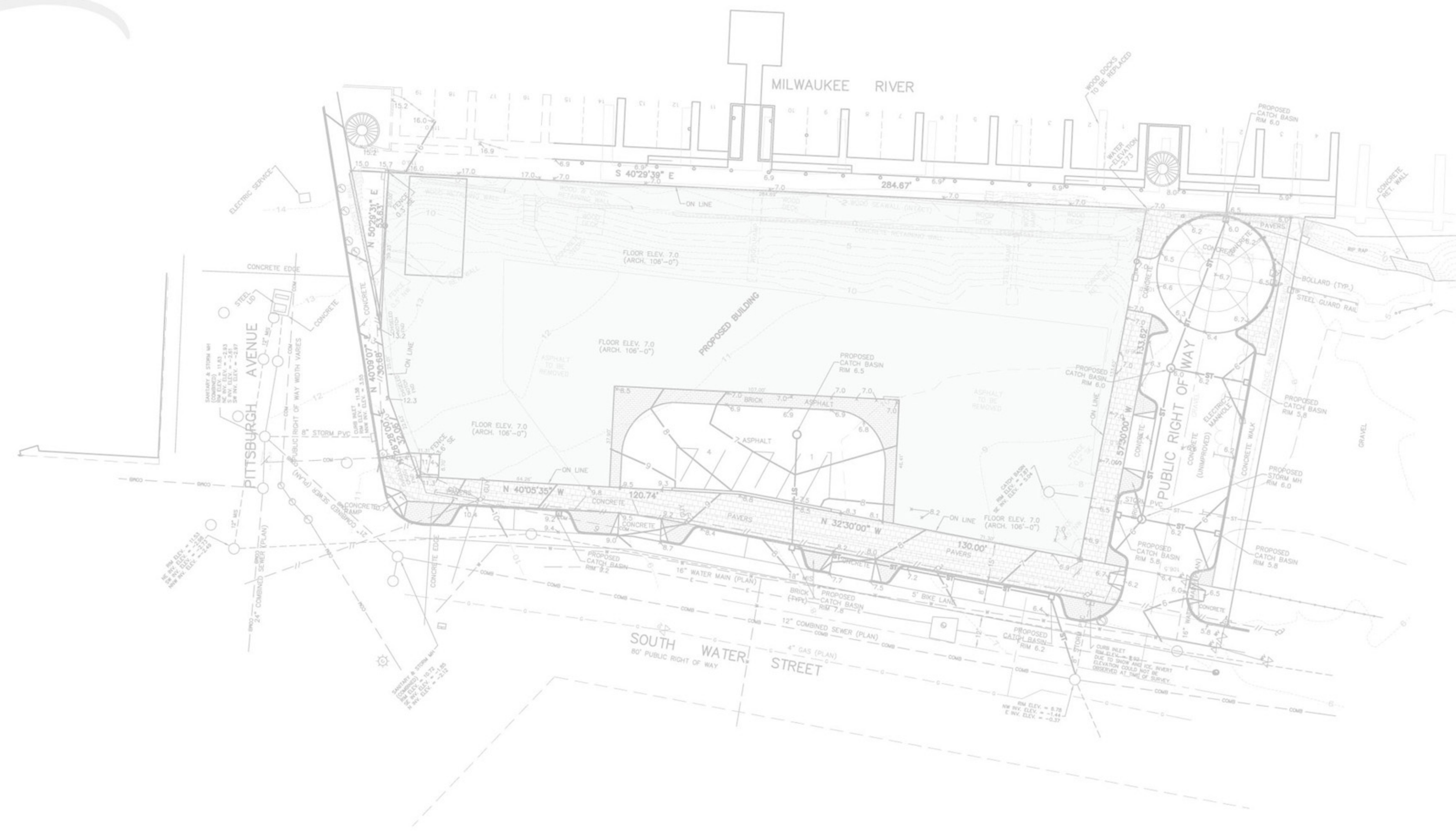
East West Section
Not to Scale



North South Section



East West Section



Proposed Commercial Signage



Area of Visual Merchandising Guidelines

The area of visual merchandising runs the full width of the storefront and 5'-0" into the leased premises. It includes all display windows and retail graphics, display fixtures, signs, materials, finishes, color and lighting fixtures within the area.

Sale and temporary event signs should be behind the zone, and no sale and temporary signs shall be taped or suction cupped onto the display windows, or hang from the storefront ceiling.

The use of the following materials is discouraged within the merchandise zone:

- Slate wall or slate wall fixture systems
- Stucco finish (unless approved by Landlord in writing)
- Wood grain plastic laminates
- Metal laminate wallboard
- Plastic laminate
- Simulated brick, stone or wood
- Cork or cork tile
- Plywood paneling or texture 1-11 plywood
- Carpeting on walls
- Pegboard walls and pegboard fixture
- Wood shingles or shakes
- Field painted aluminum
- Metal shelving
- Mirror walls

Cash wrap counters are discouraged in the merchandising zone.

No fluorescent lighting will be permitted within the merchandising zone.

Storefront Lighting Standards

Lighting must be tasteful and designed to enhance your storefront and the retail streetscape.

- Lighting must be appropriate to the building and must complement the architecture.
- Lighting must be stationary and not moving or animated in any form.
- Visible suspended fluorescent tubes will NOT be approved.
- Visible suspended neon tubes are NOT encouraged.

Signage Guidelines

Encouraged:

- Cut metal letter forms, freestanding or pin-mounted.
- Cut metal logotypes, applied or pin-mounted.
- Wall mounted metal or porcelain enamel plaques.
- Stencil cut metal, visible from one side.
- Sandblasted metal or glass.
- Metal channel letters with halo illumination.
- Screen printed or gold leafed logotypes on glass.
- Clean, simple, minimally visible attachments.
- Hardware matching adjacent sign finishes, use mounting hardware that will NOT rust.
- Satin finished metals rather than highly polished finishes.

Discouraged:

- Plastic sign faces or signboxes.
- Internally illuminated plastic letters or sign faces.
- Formed or injection molded plastic signs.
- Paper or nylon signs or banners.
- Animated, flashing, blinking, rotating or audible signs.
- Signs with exposed lamps or tubing.
- Advertising postcards, banners, pennants, sale or other temporary signs.
- Signs projecting beyond lease line.

Pin-mounted Letterforms Encouraged:

- Pin-mounted letterforms on a colored plaque.
- Pin-mounted letterforms freestanding of a satin finished natural metal.
- Pin-mounted letterforms or prismatic letterforms mounted off the face of the storefront. Metals for mounting pins that will rust in the Milwaukee weather which will create unsightly streaks on the exterior finish materials of the building are NOT Allowed.

Graphics on Glass:

Graphics on the interior surface of storefront glass should be tasteful and minimal. Signage in this format is pedestrian friendly and smaller graphics frequently draw the viewer closer to a window display thereby engaging them in the merchandising zone. This may serve as the only storefront identification in subtle form.

May potentially create an interesting play of light and shadows.

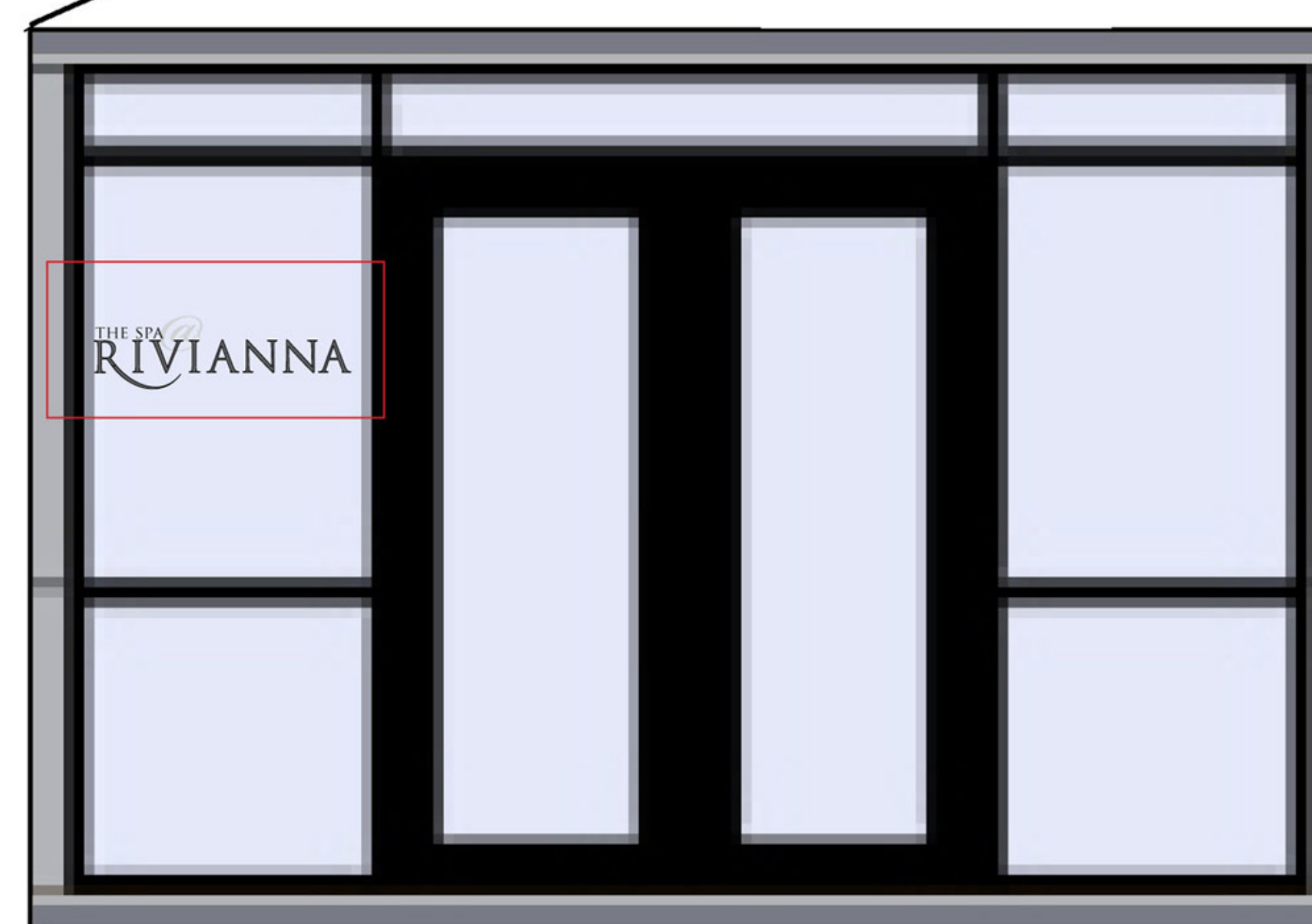
May serve as the only storefront identification in a very visible position on the storefront windows.

The larger scale and repetition of these graphics on glass are discouraged.

Encouraged Signage:

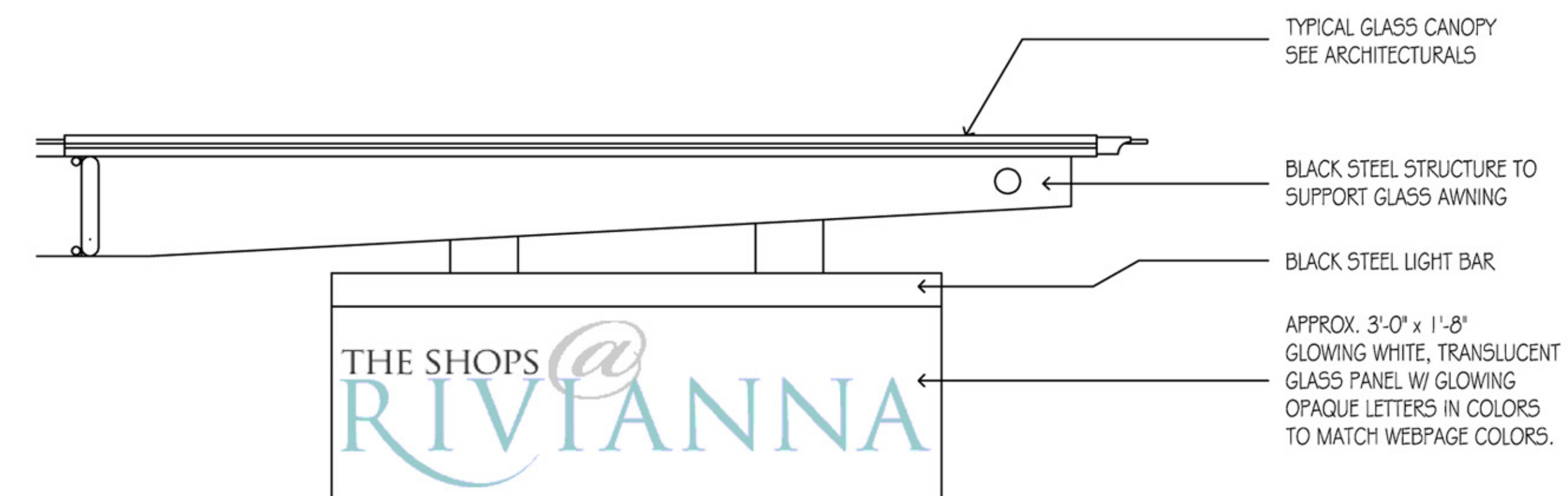
Halo lit letterforms pin-mounted off the building facade. This style of signage may be selectively lit with a secondary light source.

Stencil cut letters or numerals in a metal sign band add a tactile quality to a storefront.





Proposed Awning Signage



Acceptable Awning Signage

Material:

- Painted metal
- Brushed metal
- Acrylic w/ etched letters

Two standard sizes:

- Small: 24wx18h
- Large: 36wx24h

Lighting:

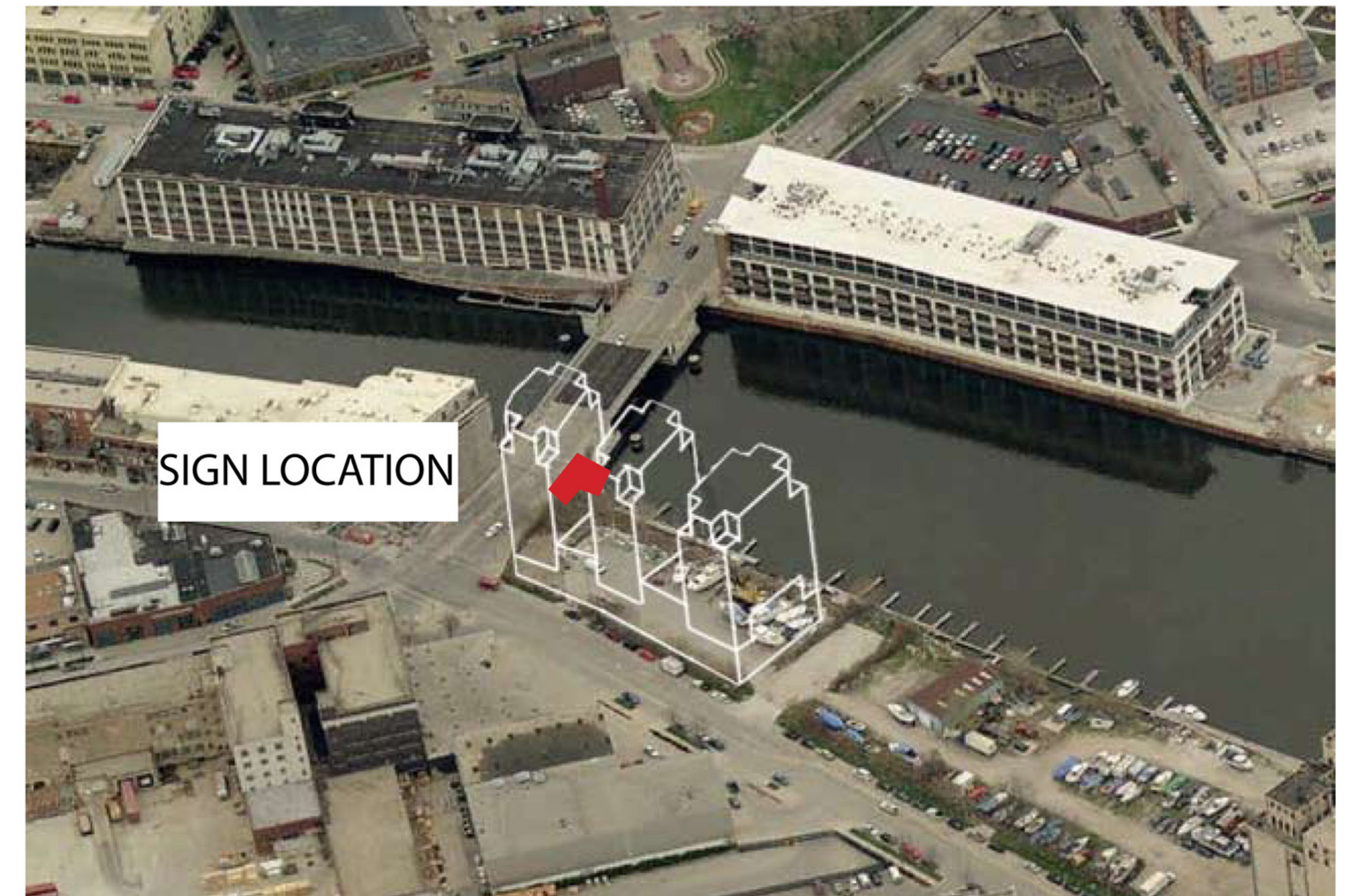
- White only except for hotel and other anchor tenants; Ex. Spa @ Rivianna.
- No nuisance point source lighting
- Ambient glows only (side lit acrylic panels will light up the etched lettering)
- No Neon

Color:

- Lighting: white only
- Signage: per owner
- Signage panel or panel frame to match awning color and material



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Proposed Legibility Signage

Legibility Signage Requirements:

Font: Trajan Pro

Signs:

- Valet Enter
- Valet Exit
- Receiving
- Riverwalk Elevator
- Riverwalk Public Lobby/ Art Gallery
- Upper/ Lower Level Parking
- Accessible Entrance



TRAJAN PRO

ABCDEFGHIJKLM

MNOPQRSTUVWXYZ

WXYZ

1234567890