



236 S. Water Street, Milwaukee, WI

DETAILED PLAN DEVELOPMENT PACKAGE

RIVIANNA DEVELOPMENT TEAM
The Rivianna Group LLC, Madison, WI &
Portland, OR

LEAD/DESIGN ARCHITECT
3rd COAST DESIGN CONCEPTS, LLC
Milwaukee, WI &
Portland, OR

DESIGN/PRODUCTION
ARCHITECT
Dimension IV - Madison
Madison, WI

DESIGN CONSULTANT
LANDSCAPE
ARCHITECT
Landscape Architects, Inc
Milwaukee, WI

STRUCTURAL ENGINEER
Arnold and O'Sheridan
Milwaukee & Madison, WI

MECHANICAL, ELECTRICAL,
PLUMBING, FIRE
PROTECTION
AND TECHNOLOGY
ENGINEERS
Arnold and O'Sheridan
Milwaukee & Madison, WI

CIVIL ENGINEER
CJ Engineering Services
Waukesha, WI

LEED CONSULTANT
Josh Arnold, LEED
Madison, WI

FURNITURE DESIGN
CONSULTANT
Jana Bell
Glasgow, Scotland

SHEET INDEX

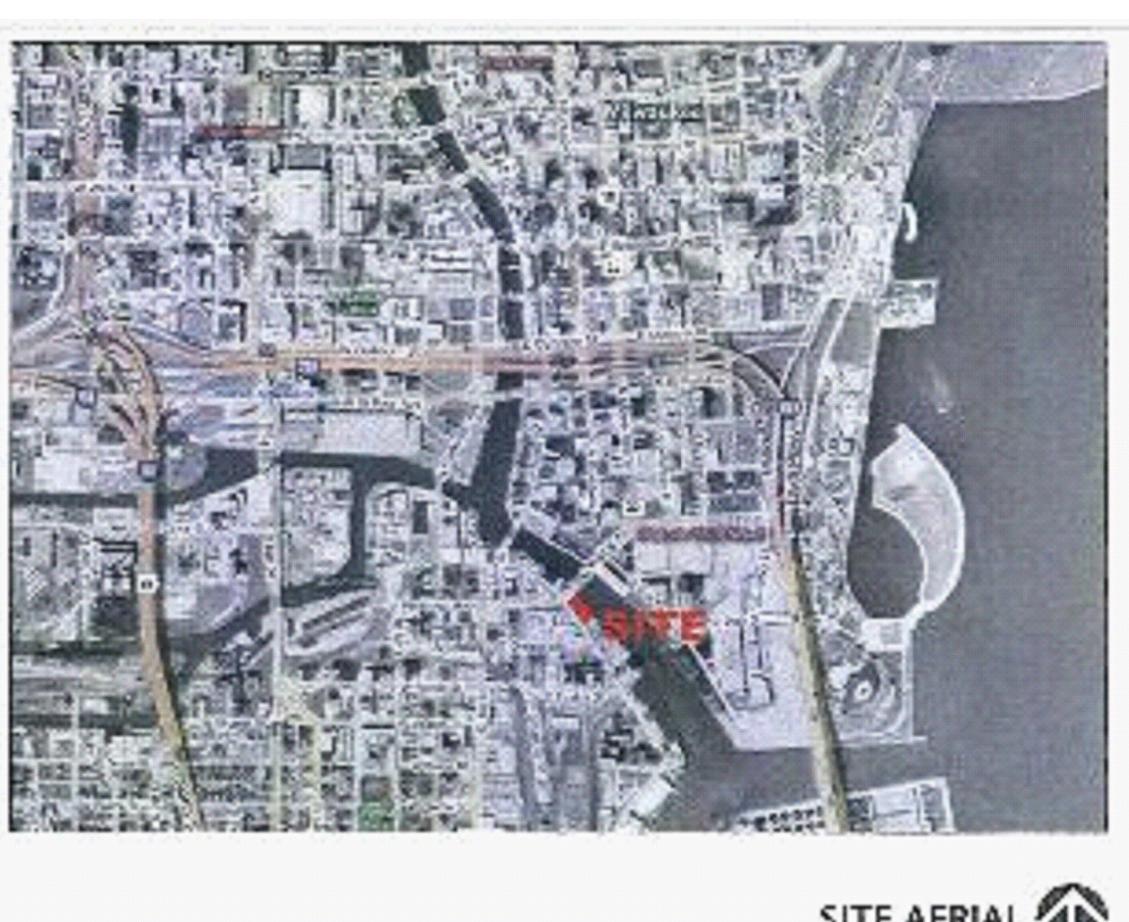
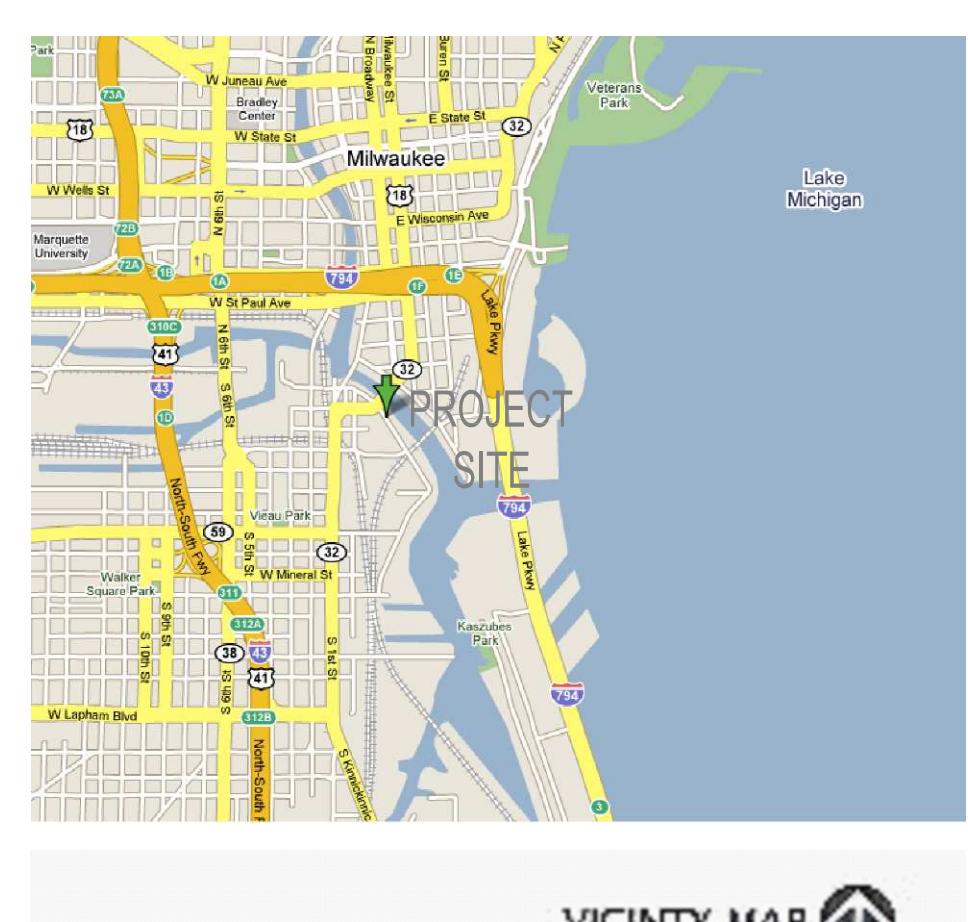
PLAT OF SURVEY

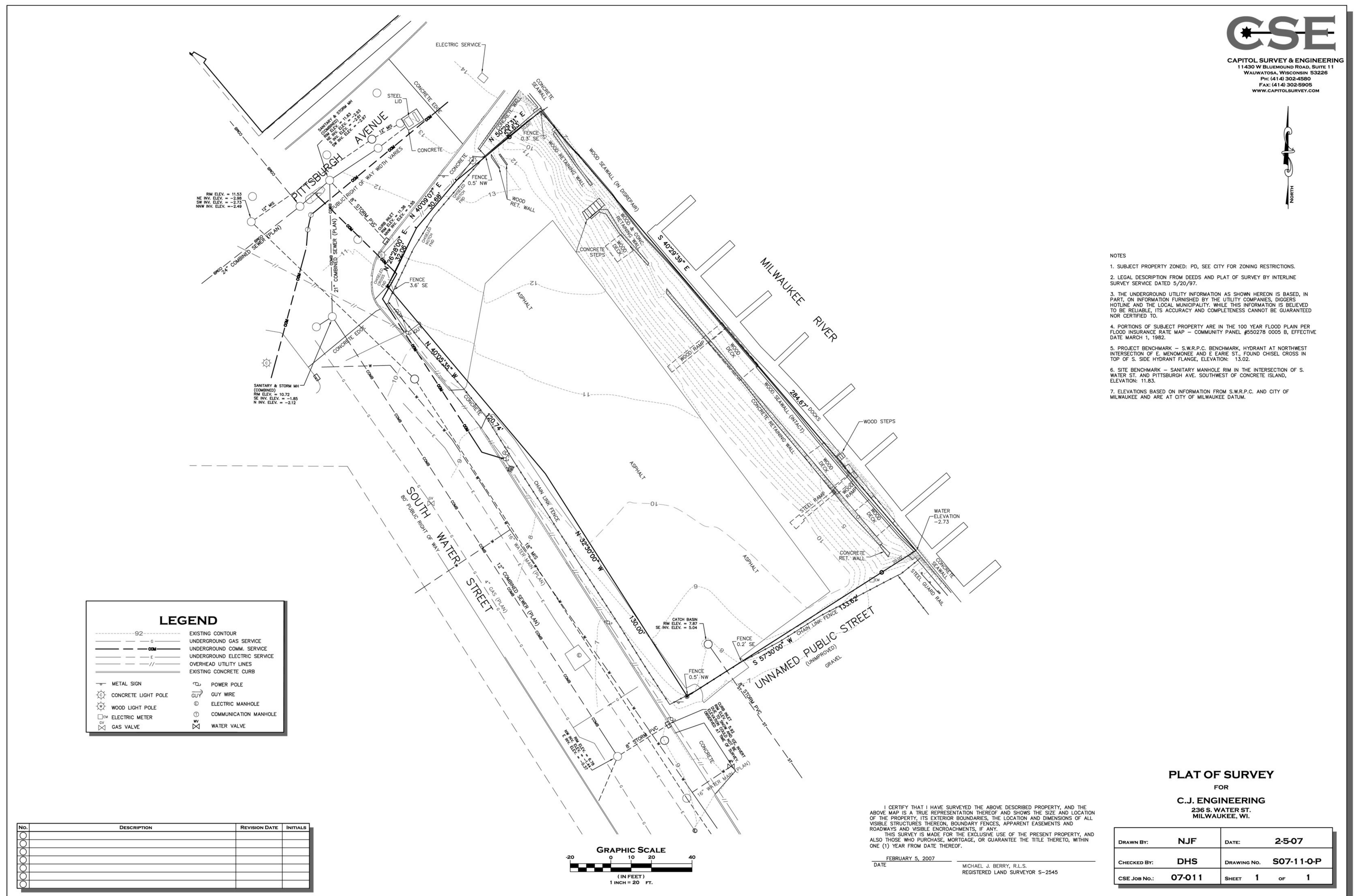
C1.0 SITE PLAN
C2.0 GRADING PLAN
C3.0 UTILITY PLAN
C4.0 SITE DETAILS
C5.0 EROSION CONTROL

L1.0 CONCEPTUAL SITE / LANDSCAPE PLAN

A1.0 PARKING SUB LEVEL 1 & 1.5 FLOOR PLAN
A1.1 RIVERWALK & LOBBY LEVEL FLOOR PLAN
A1.6 RESIDENTIAL LEVEL1 / GREEN ROOF
A2.0 SOUTH ELEVATION
A3.0 NORTH ELEVATION
A4.0 EAST ELEVATION
A5.0 WEST ELEVATION
A6.0 CENTER TOWER WEST ELEVATION
EAST TOWER WEST ELEVATION
A7.0 CENTER TOWER EAST ELEVATION
WEST TOWER EAST ELEVATION
A8.0 PERSPECTIVE VIEW FROM RIVER
A9.0 PERSPECTIVE VIEW FROM PITTSBURG AVENUE
A10.0 CONTEXT VIEWS
A11.0 BUILDING AND SITE SECTIONS

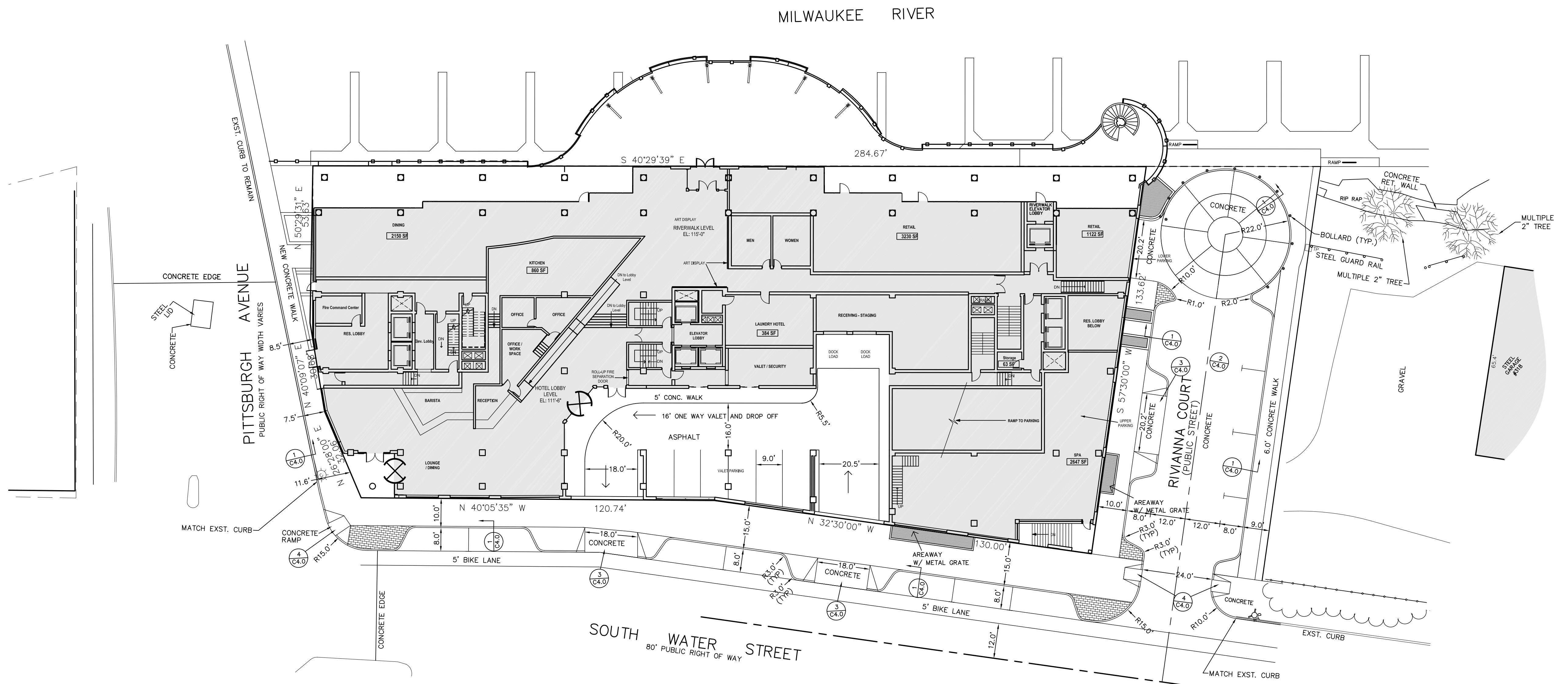
G1.0 COMMERCIAL SIGNAGE
G2.0 AWNING SIGNAGE
G3.0 DEVELOPMENT SIGNAGE
G4.0 LEGIBILITY SIGNAGE





RIVIANNA

236 S. WATER STREET MILWAUKEE, WI



GRAPHIC SCALE
20 9 10 20 40
1 inch = 20 ft

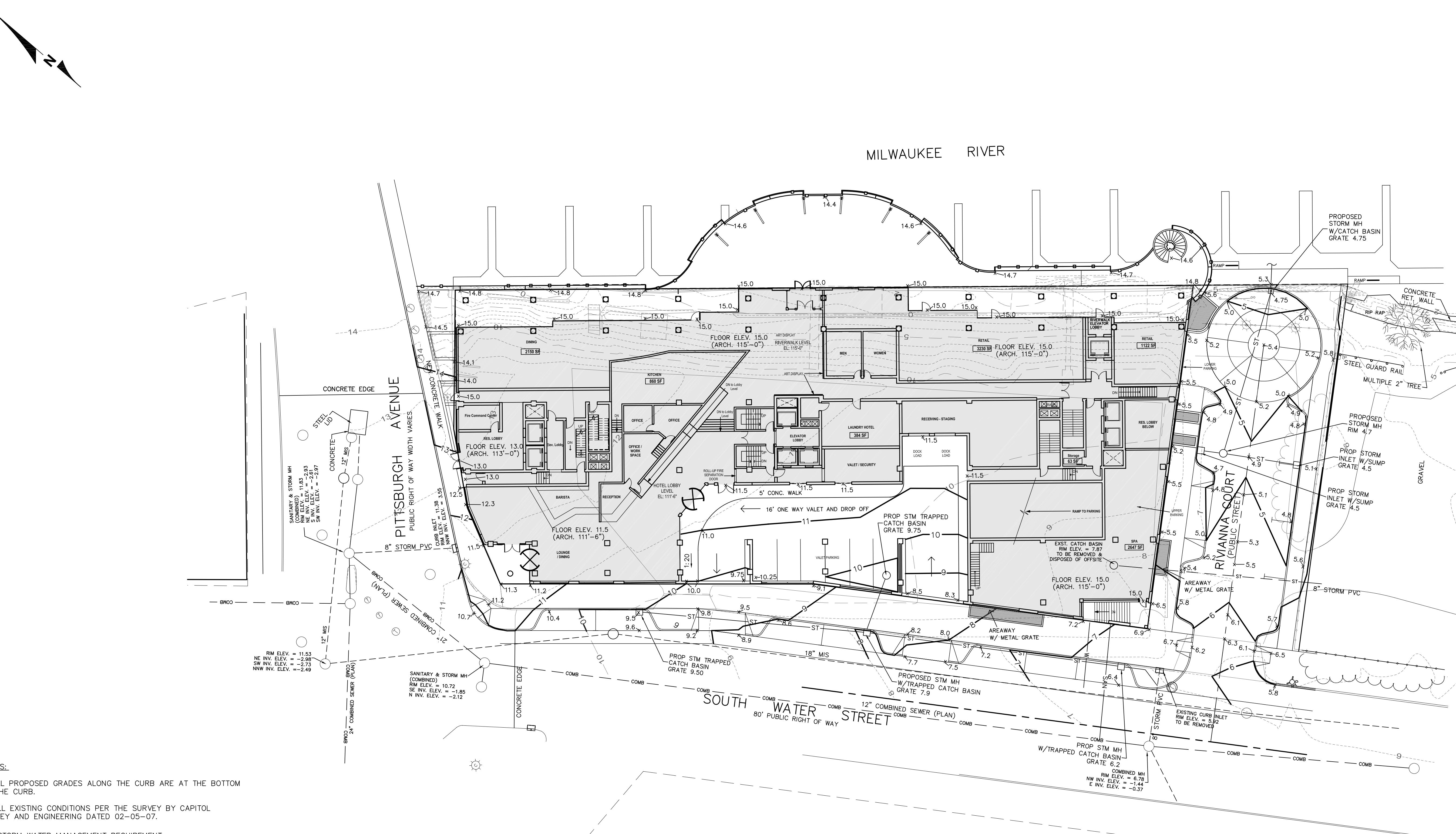
SITE PLAN

C1.0
SHEET 1 OF *

CJE NO.: 0605R4
JUNE 19, 2009

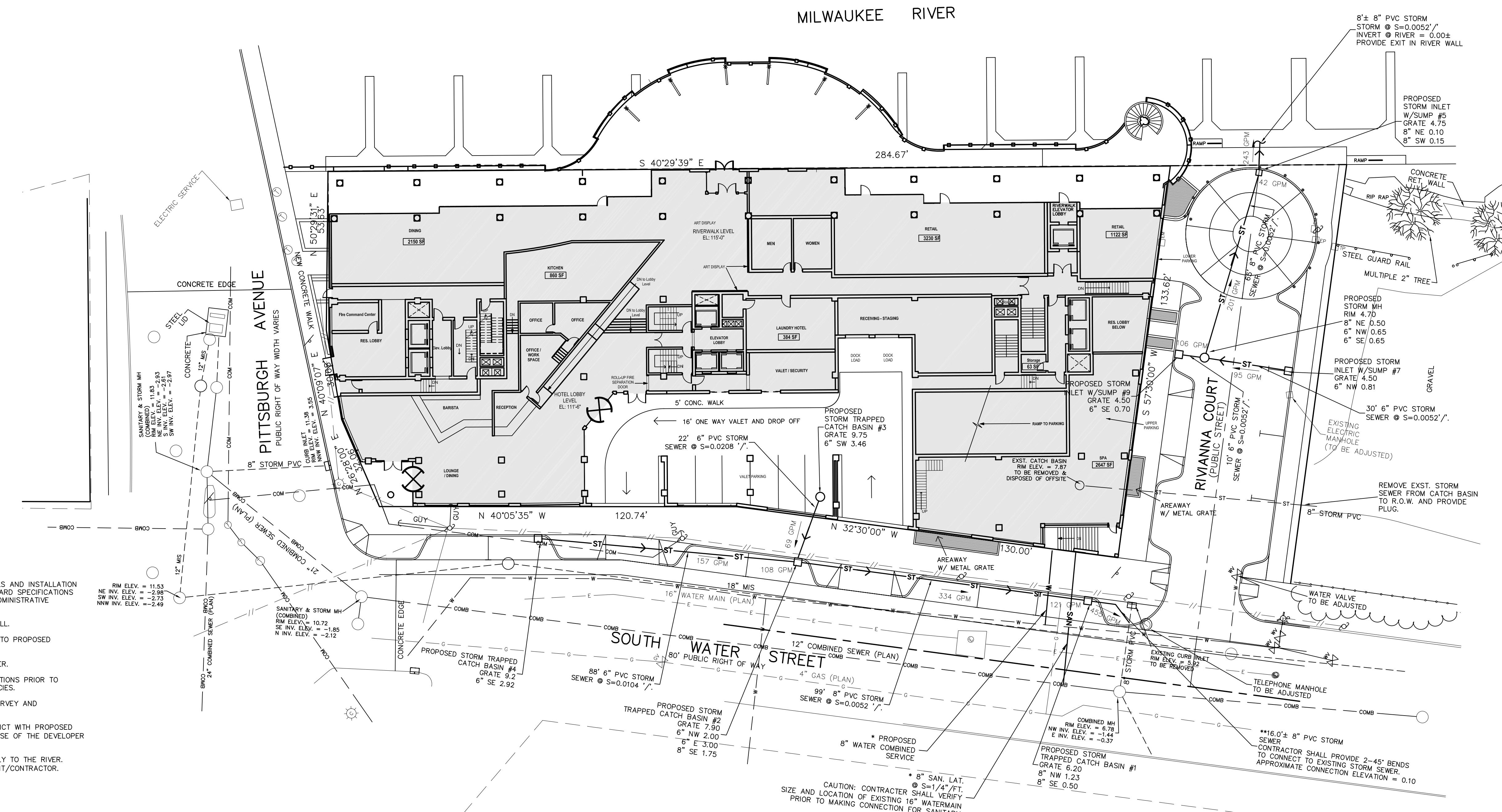
RIVIANNA

236 S. WATER STREET MILWAUKEE, WI



RIVIANNA
236 S. WATER STREET MILWAUKEE, WI

CJE NO.: 0605R4
JUNE 19, 2009

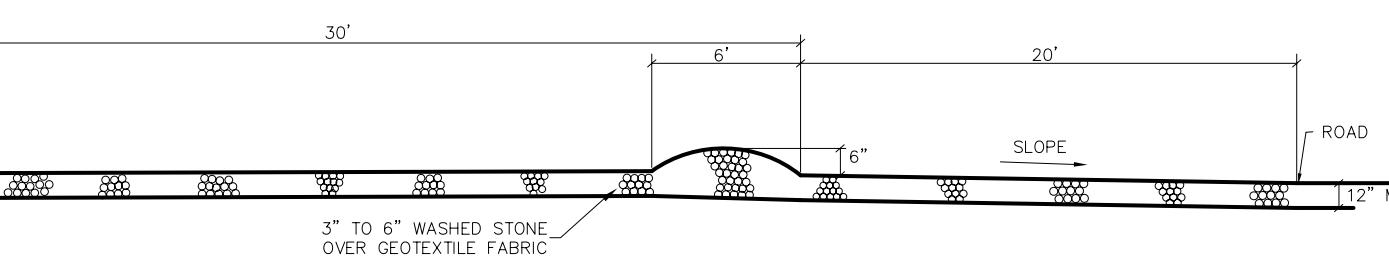


LEGEND	
-----	EXISTING STORM SEWER
—ST—	PROPOSED STORM SEWER
-----	EXISTING SANITARY SEWER
—SAN—	PROPOSED SANITARY SEWER
-----	EXISTING WATER MAIN
—W—	PROPOSED WATER MAIN

GRAPHIC SCALE
20 9 10 20 40
1 inch = 20 ft

SITE UTILITY PLAN

C3.0
SHEET 3 OF 5

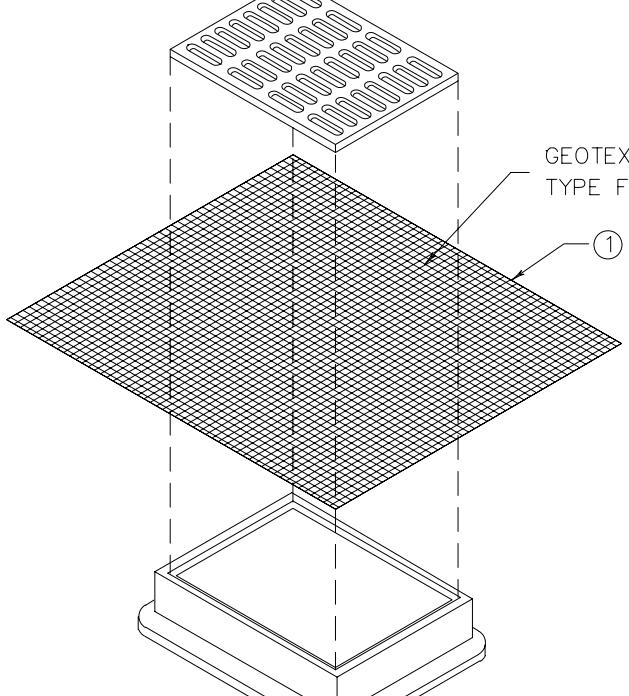


CONSTRUCTION SCHEDULE

1. OBTAIN PLAN APPROVAL AND OTHER APPLICABLE PERMITS.
2. FLAG THE WORK LIMIT AND BUFFER AREA FOR PROTECTION.
3. INSTALL SILT FENCE.
4. INSTALL CONSTRUCTION EXIT.
5. INSTALL INLET PROTECTION IN ALL EXISTING INLETS.
6. BEGIN SITE PREPARATION INCLUDING ASPHALT REMOVAL, GRADING, ETC.
7. BEGIN BUILDING CONSTRUCTION.
8. REMOVE SILT FENCE AROUND BUILDING AREA ONCE SITE IS STABILIZED AND CONSTRUCTION HAS BEGUN.
9. INSTALL UTILITIES.
10. INSTALL INLET PROTECTION IN REMAINING INLETS.
11. INSTALL BASE COURSE OF ASPHALT PAVEMENT.
12. ALL EROSION CONTROL PRACTICES WILL BE INSPECTED WEEKLY AND AFTER RAINFALL, NEEDED REPAIRS WILL BE PERFORMED IMMEDIATELY.

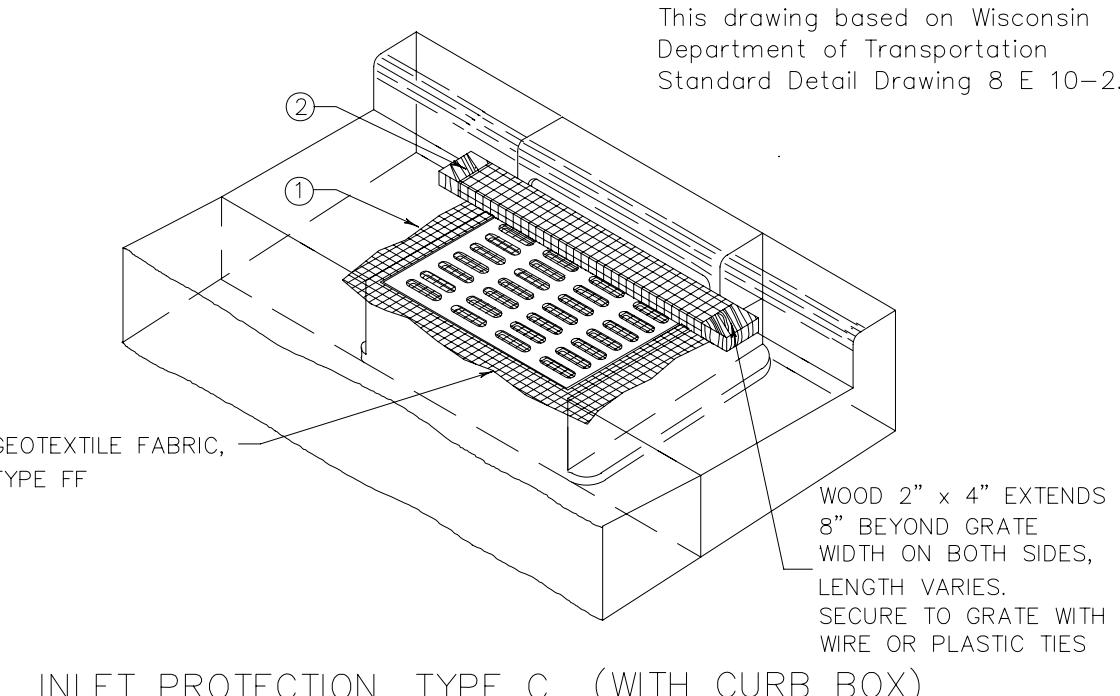
MAINTENANCE PLAN

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCTION RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
2. SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE WHEN IT BECOMES ABOUT 0.5 FT DEEP AT THE FENCE. THE SILT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER.
3. ALL SEEDED AREAS WILL BE FERTILIZED, RESEED AS NECESSARY, AND MULCHED TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
4. ANY SEDIMENT OR MATERIAL REACHING PITTSBURGH AVE. OR SOUTH WATER ST. SHALL BE REMOVED IMMEDIATELY.



INLET PROTECTION, TYPE B
(WITHOUT CURB BOX)
(CAN BE INSTALLED IN ANY INLET WITHOUT A CURB BOX)

This drawing based on Wisconsin
Department of Transportation
Standard Detail Drawing 8 E 10-2.



INLET PROTECTION, TYPE C (WITH CURB BOX)

INSTALLATION NOTES

TYPE B & C

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND
HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

INLET PROTECTION

NOT TO SCALE

GENERAL NOTES

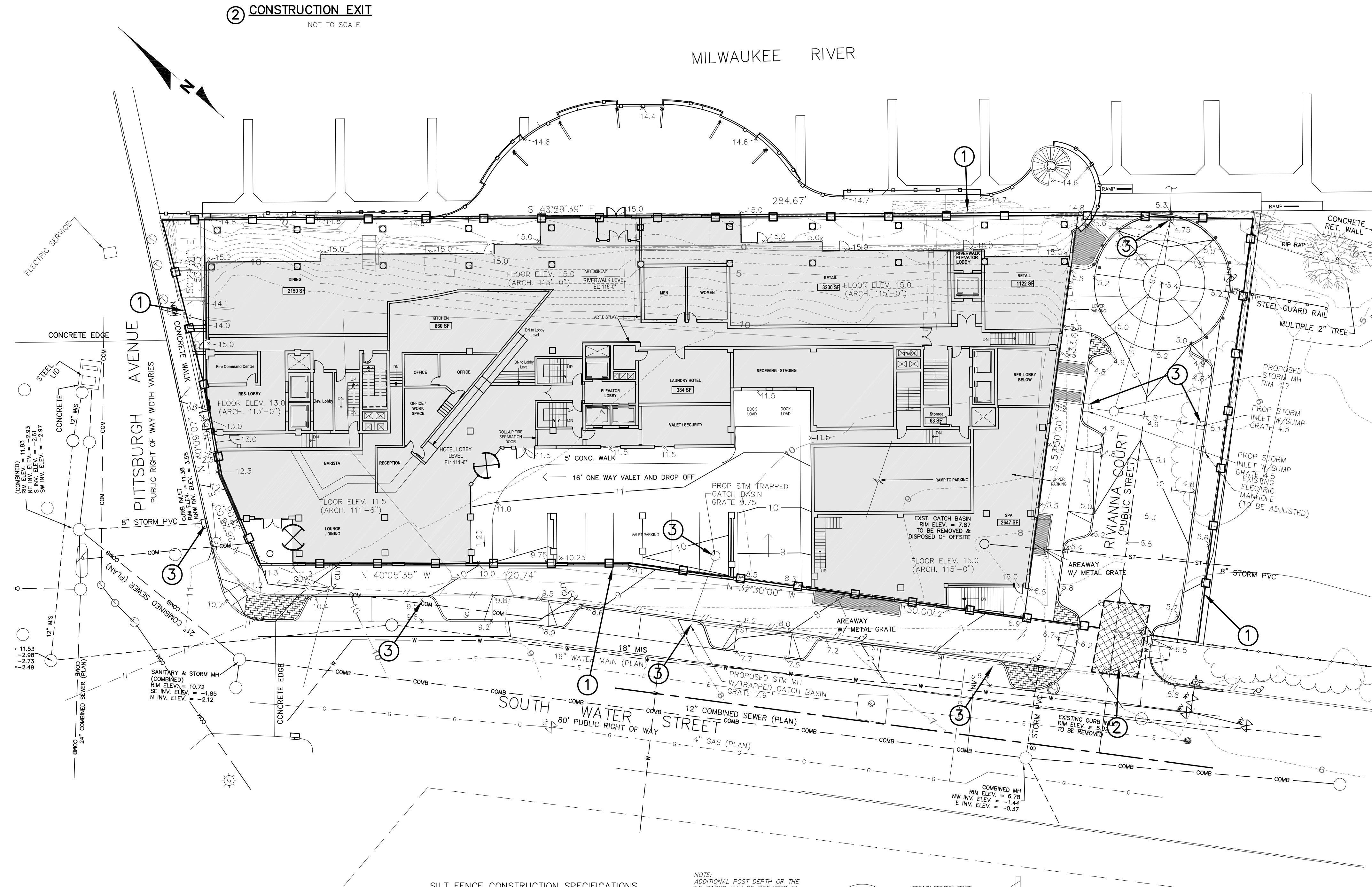
MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE
DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE
SUBSTITUTED.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN
SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT
FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE
REMOVED IMMEDIATELY.

① FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A
MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.

② FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL
18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES.
THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.

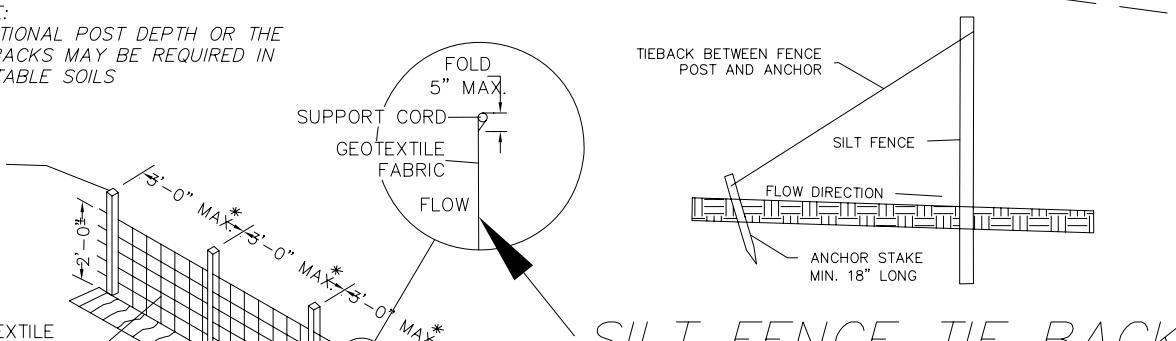
③ FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2x4.



SILT FENCE CONSTRUCTION SPECIFICATIONS

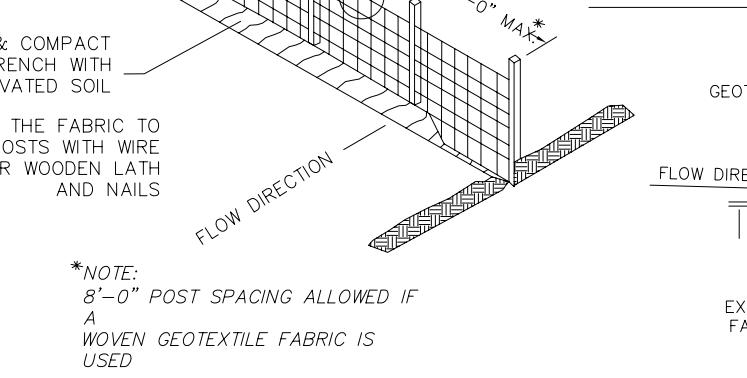
PER DNR CPS (1056)

1. Construction silt fence around the disturbed areas as shown on Erosion Control Plan, to prevent sediment from being washed into the drainage system.
2. Locate posts per DNR CPS (1056)
3. When joints are necessary, refer to DNR CPS (1056).
4. Filter fabric to be of nylon, polyester, propylene or ethylene yarn with extra strength of 50 LB/in. in. (Minimum) and a water rate of at least 0.3 gal./sq. ft./min. Fabric should contain ultraviolet ray inhibitors and stabilizers.
5. The filter fabric shall be anchored by spreading at least 8 inches of fabric in a 4" x 6" trench.
6. The filter fabric shall be stapled and/or nailed to the up-slope side of the posts.
7. Post to be 1 1/8" x 1 1/8" hickory or oak, 3 feet long, spaced a maximum of 3 feet apart.
8. Use wire reinforcement in unstabilized minor swales, ditches or diversions.



SILT FENCE TIE BACK

PER DNR CPS (1056)

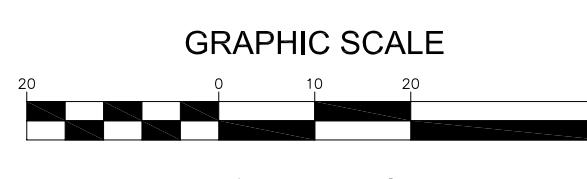


TRENCH DETAIL

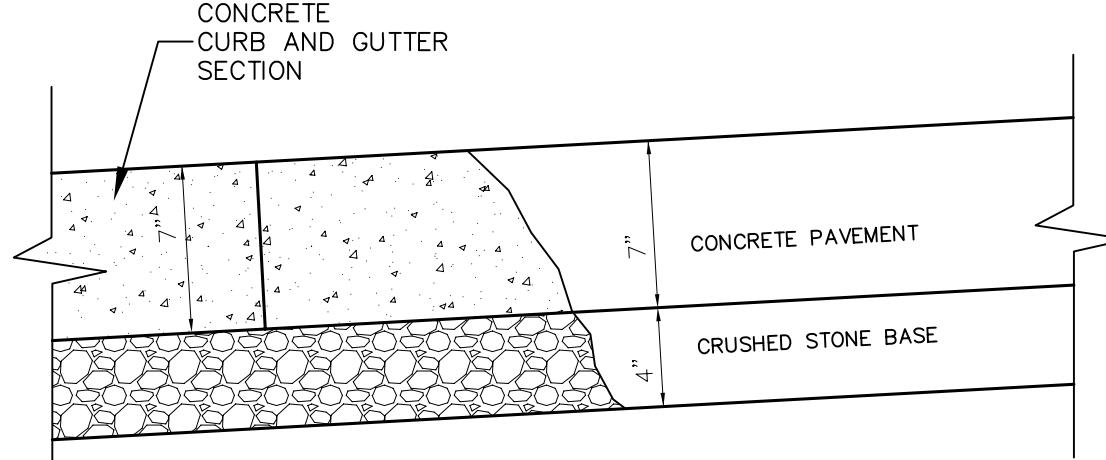
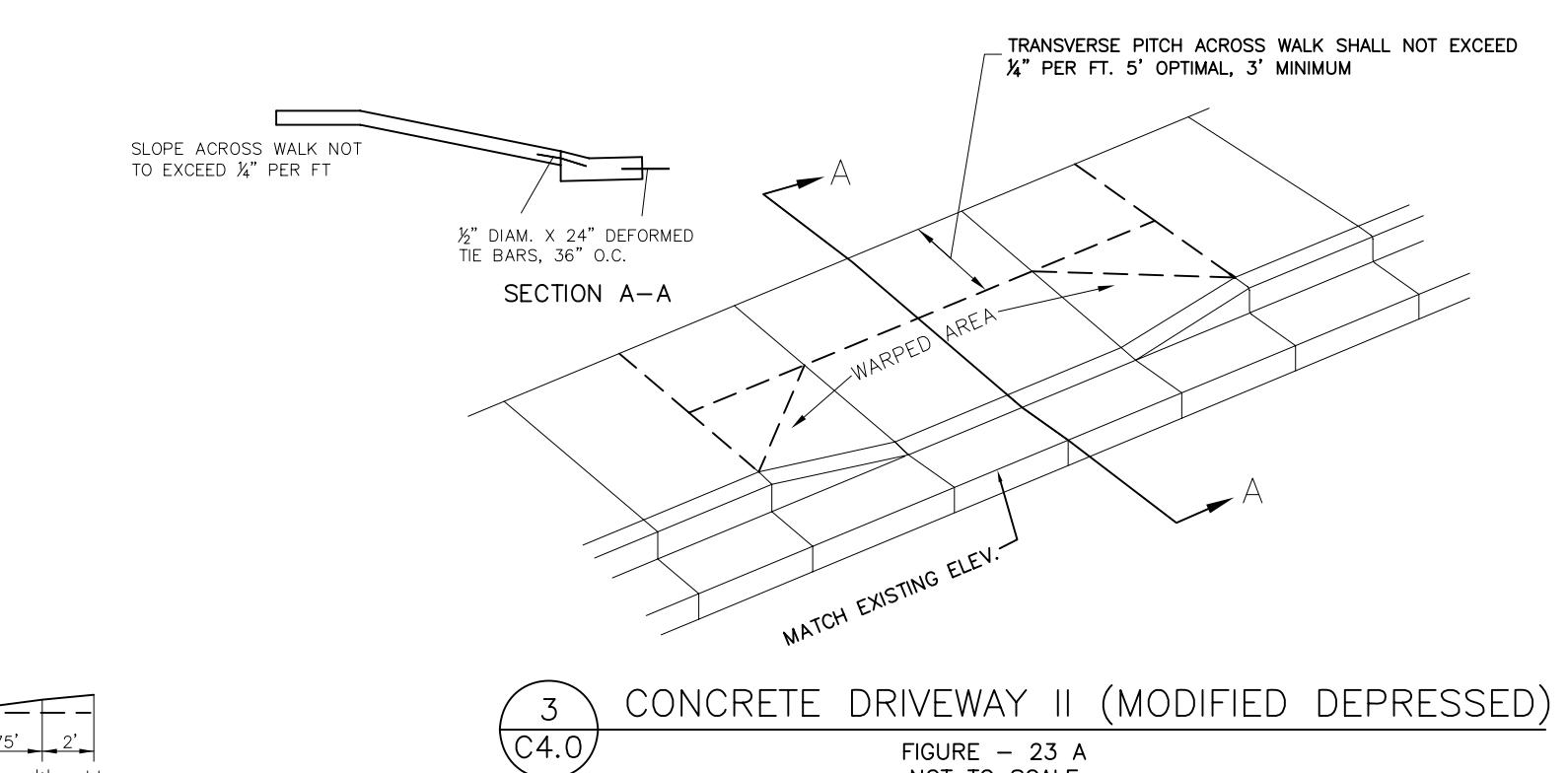
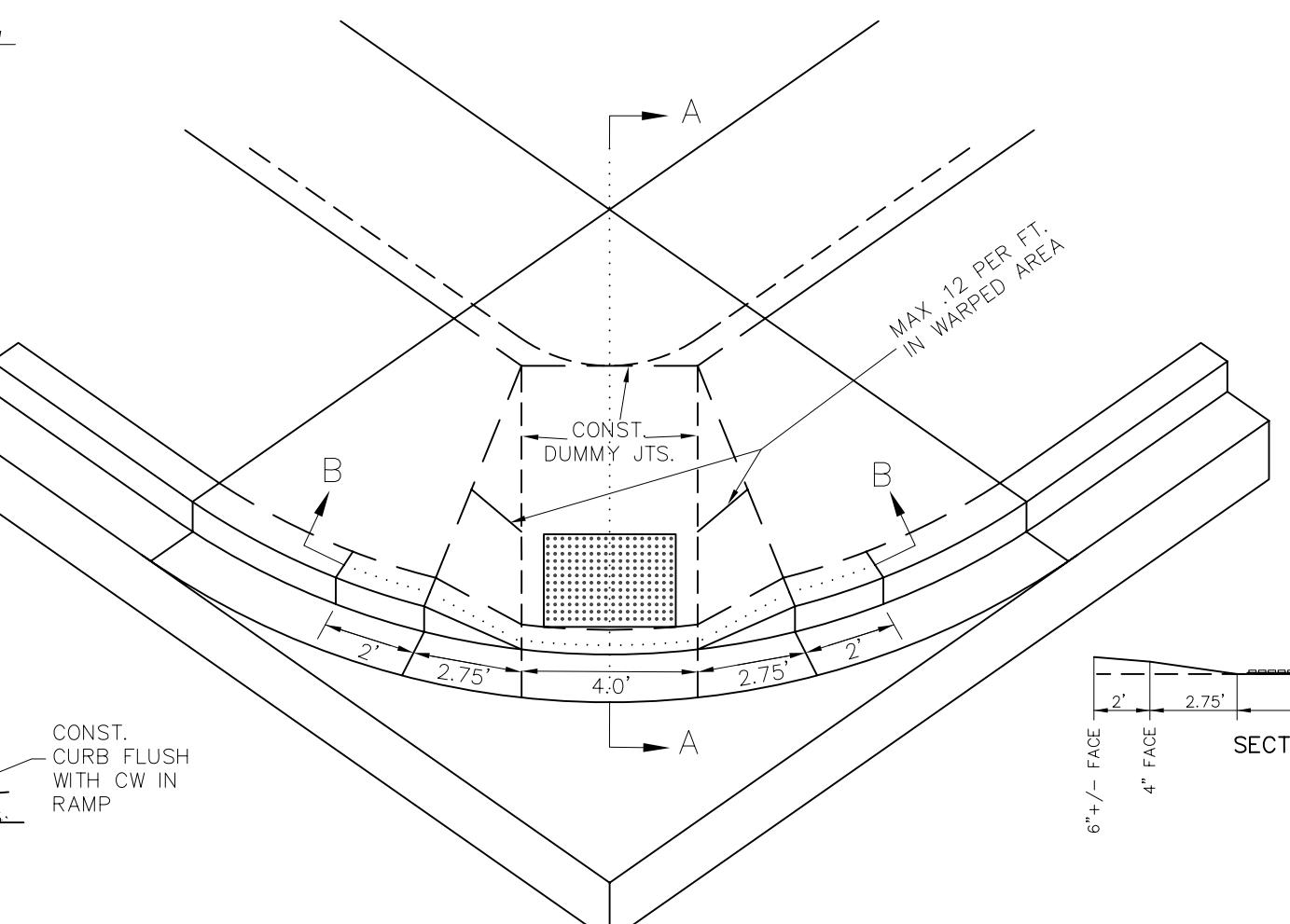
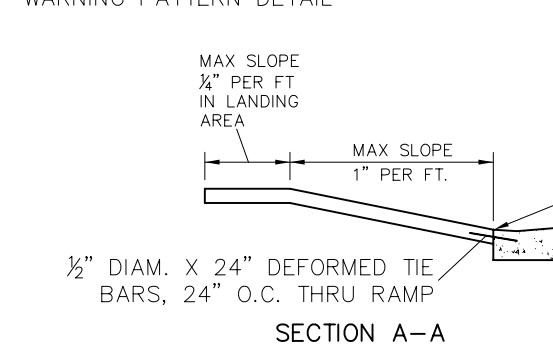
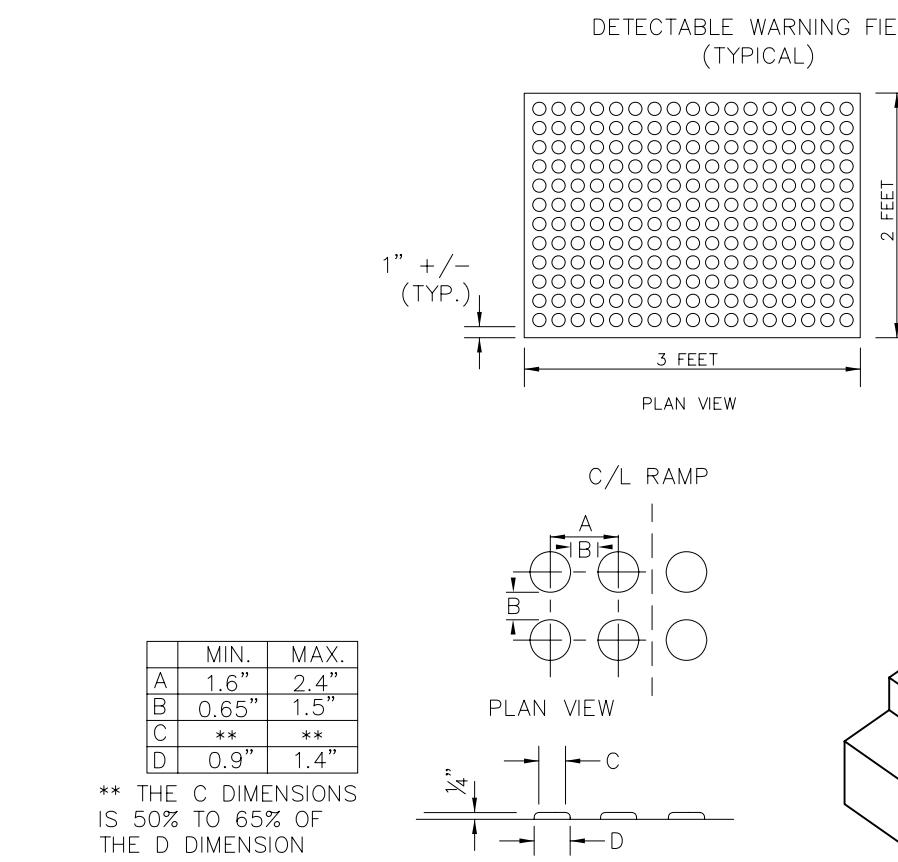
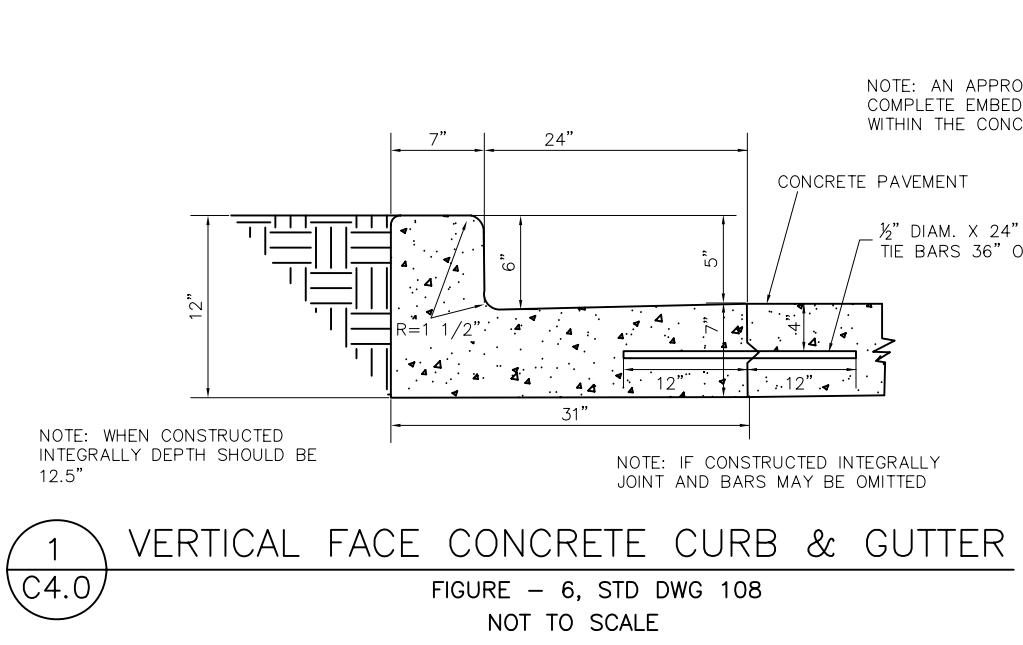
PER DNR CPS (1056)

① SILT FENCE

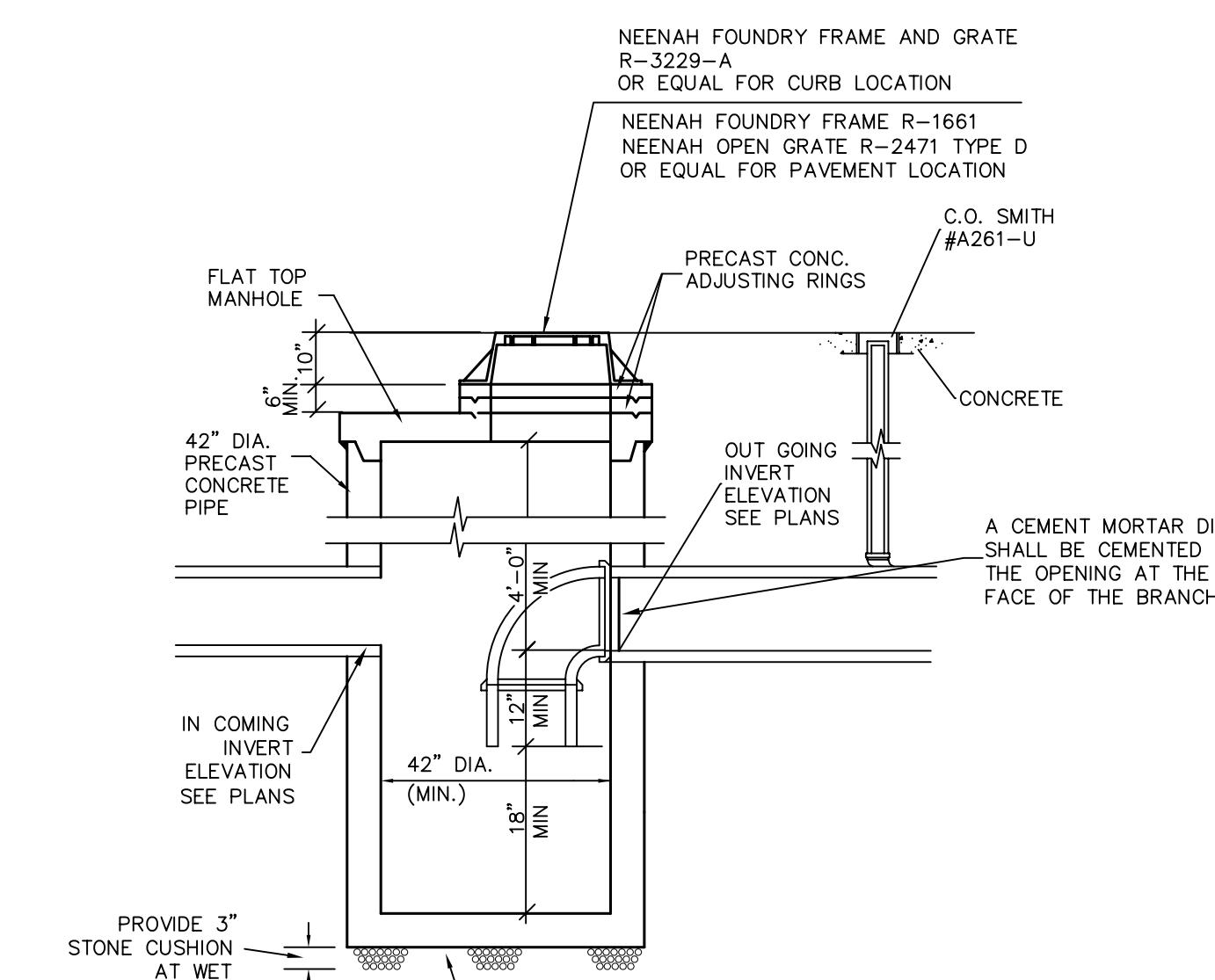
NOT TO SCALE



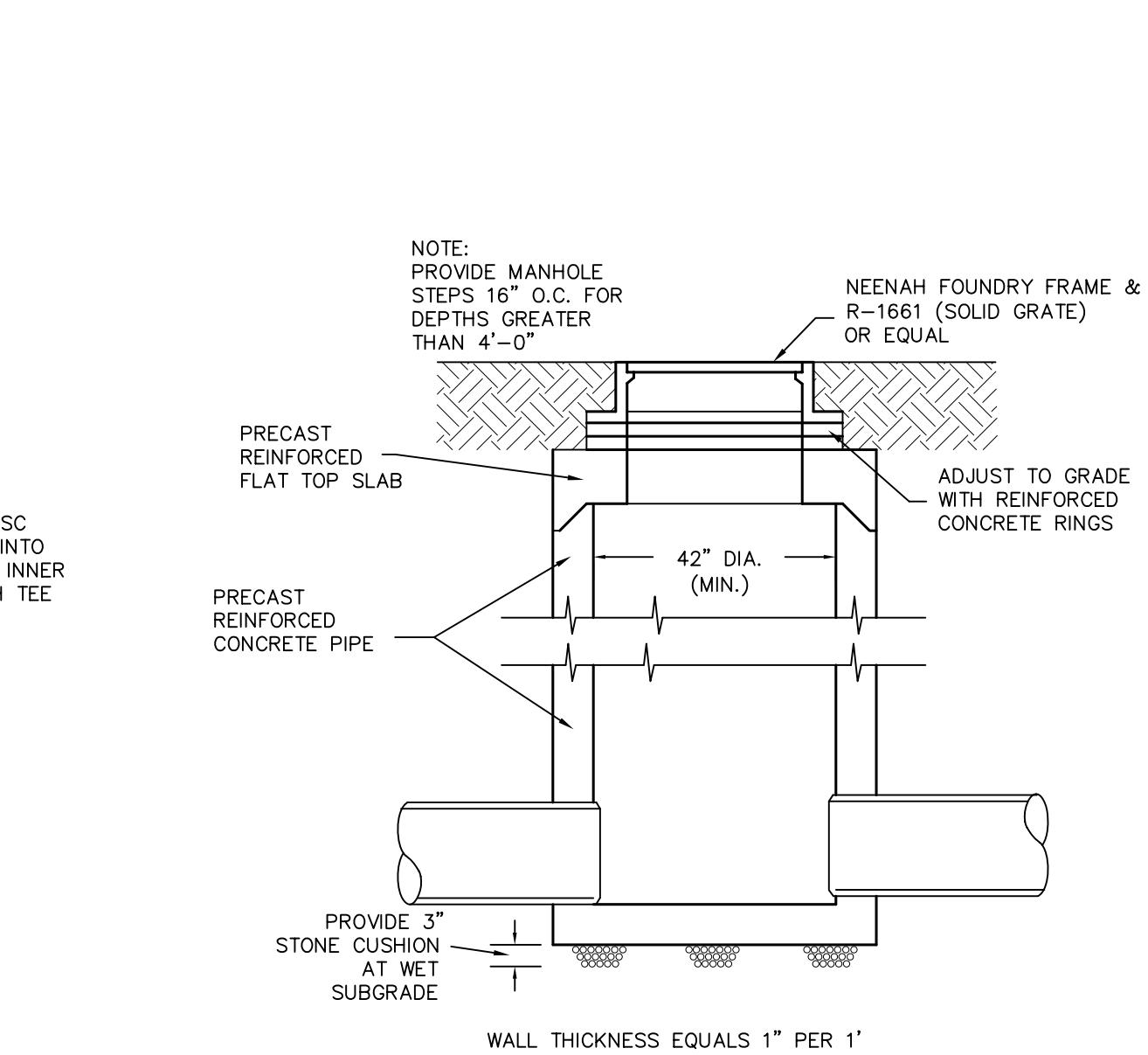
1 inch = 20 ft



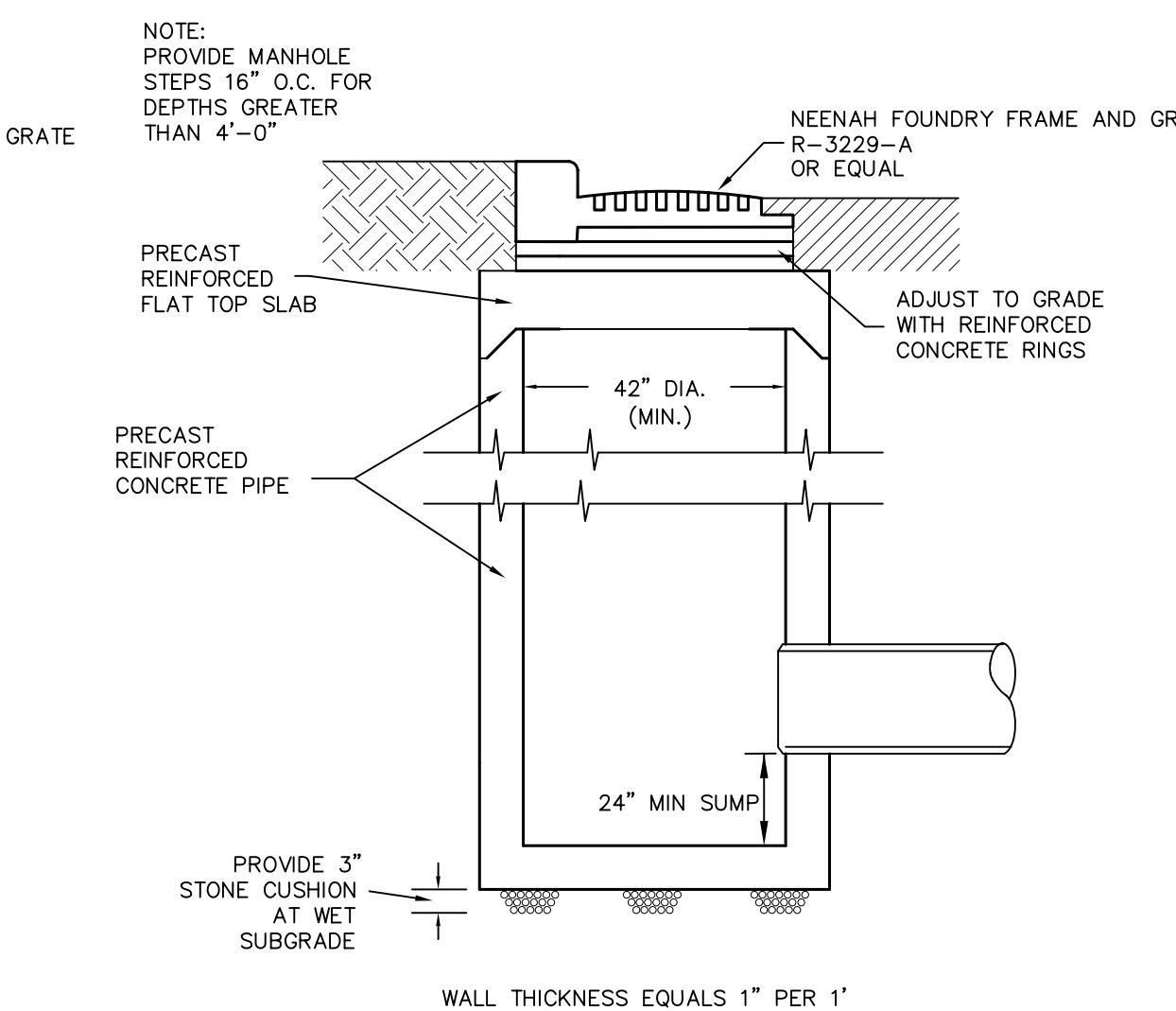
2 CONCRETE PAVEMENT (ROADWAY)
C4.0
NOT TO SCALE



TRAPPED CATCH BASIN
FOR 10" OR SMALLER PIPING
NOT TO SCALE



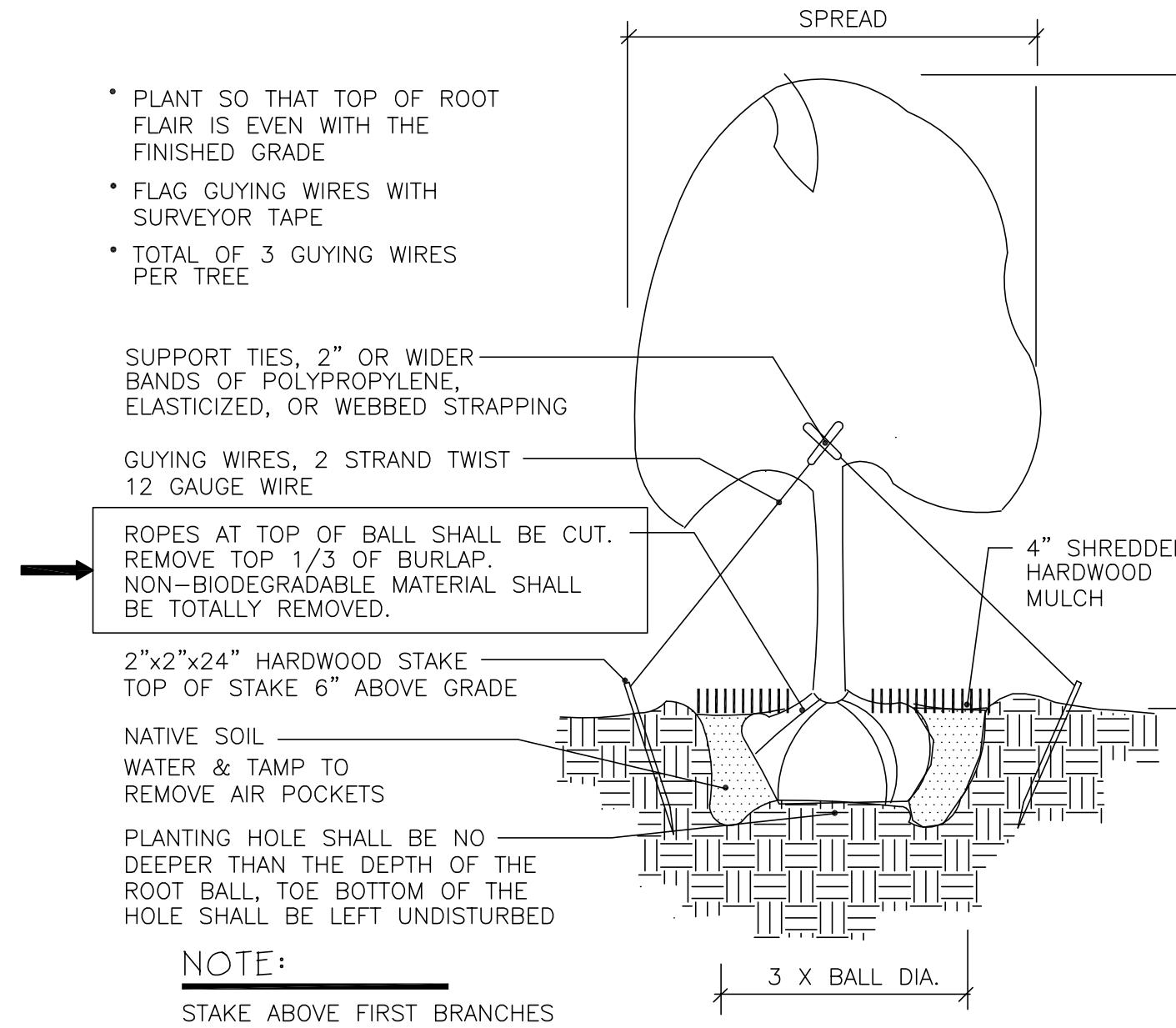
PRECAST STORM MANHOLE
NOT TO SCALE



PRECAST STORM INLET W/SUMP
NOT TO SCALE

PLANT SCHEDULE

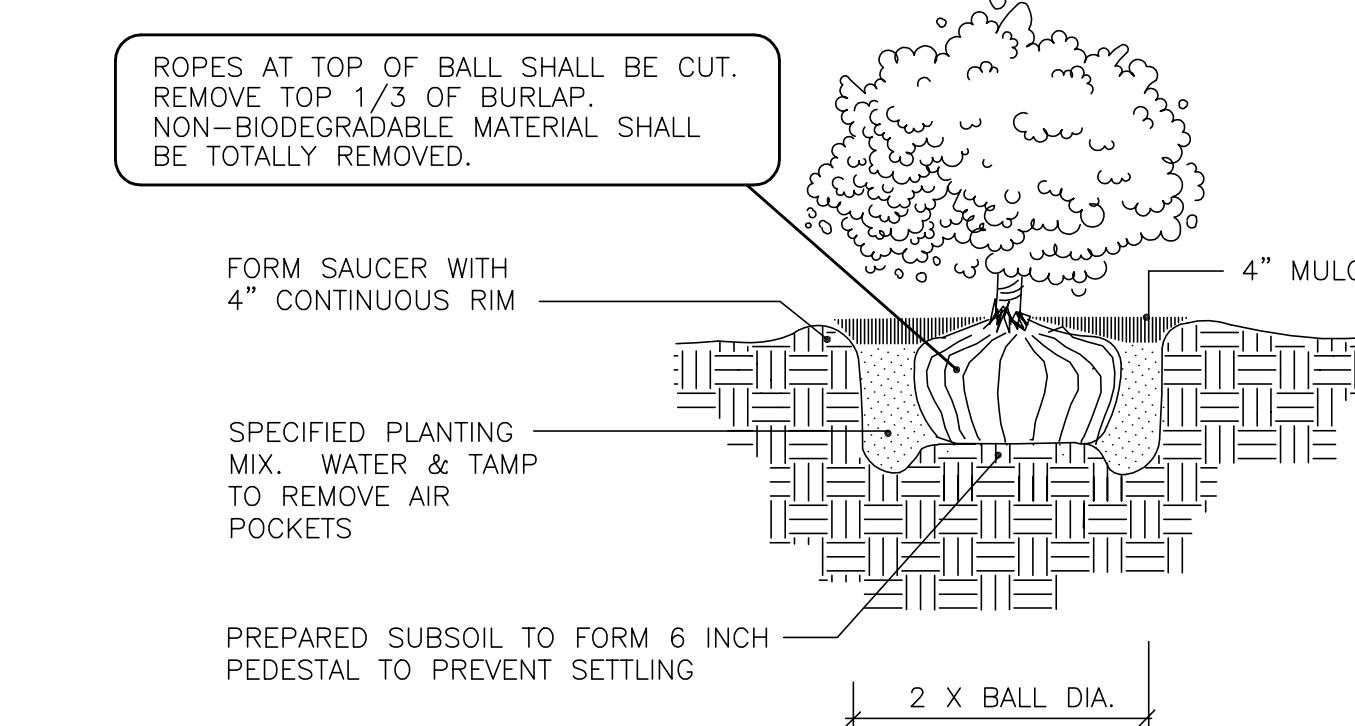
Shade Trees				
Code	Scientific Name	Common Name	Qty.	Planting Size
Acpl	<i>Acer platanoides 'Columnare'</i>	Columnar Maple	5	2.5" Cal. B&B
Evergreen Trees				
Code	Scientific Name	Common Name	Qty.	Planting Size
-	-	-	-	-
Ornamental Trees				
Code	Scientific Name	Common Name	Qty.	Planting Size
Amgr	<i>Amelanchier x grandiflora</i>	Apple Serviceberry	#	6'-7" B&B
Ceca	<i>Ostrya virginiana</i>	Ironwood or Hophornbeam	#	6'-7" B&B
Pycn	<i>Pyrus calleryana</i>	Callery Pear	#	6'-7" B&B
Shrubs				
Code	Scientific Name	Common Name	Qty.	Planting Size
Asch	<i>Artilia ciliata 'Red Sentinel'</i>	Foliate Spirea	#	4.5" Pot
Caco	<i>Calamagrostis acutiflora 'Karl Foerster'</i>	Reed Grass	#	1 Gallon Pot
Coel	<i>Corex elata 'Bowles Golden'</i>	Sedge	#	1 Gallon Pot
Chia	<i>Chamaecyparis lawsoniana</i>	Native Sea Otta	#	1 Gallon Pot
Ciss	<i>Cissocarpis paniculata</i>	Sweet Autumn Clematis	#	4.5" Pot
Hebm	<i>Heucherella 'Barbara Mitchell'</i>	Davilily	#	4.5" Pot
Heiw	<i>Heucherella 'Little Wine Cup'</i>	Davilily	#	4.5" Pot
Hogt	<i>Hosta 'Golden Tiara'</i>	Hosta	#	1 Gallon Pot
Pate	<i>Pachysandra terminalis</i>	Japanese Spurge	#	4.5" Pot
Pest	<i>Polygonatum multiflorum 'Harmeln'</i>	Fountain Grass	#	1 Gallon Pot
Scsc	<i>Schizachyrium scoparium 'The Blues'</i>	Little Bluestem	#	1 Gallon Pot
Vimi	<i>Vinca minor</i>	Periwinkle	#	4.5" Pot



TREE PLANTING - GUYING WIRES

ADDITIONAL NOTES

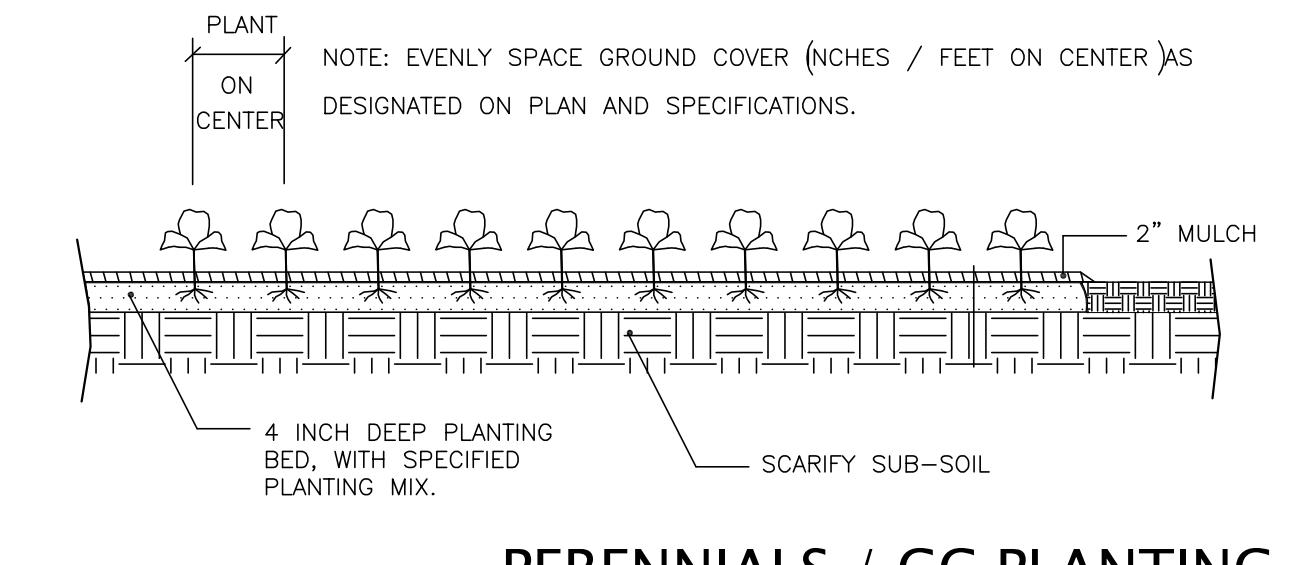
1. BACKFILL AND GRADE ALL PLANTING AREAS WITH SCREEN-BLENDED TOPSOIL. THE TOP 12 INCHES OF SOIL SHALL BE TOPDRESSED WITH 1/2" GRAVEL.
2. A SOIL EXCHANGE IS REQUIRED IN ALL PLANTING BEDS ADJACENT TO CONSTRUCTION AREAS SUCH AS BUILDINGS, WALKS, DRIVES, ETC., IE AND PLACE PLANTINGS WILL COME IN CONTACT WITH CONSTRUCTION DEBRIS. REMOVE AND BACKFILL PER PLANTING BEDS.
3. NOTIFY LANDSCAPE ARCHITECT IF UNEXPECTED OBSTRUCTIONS DEDIMENTAL TO PLANT GROWTH ARE ENCOUNTERED. IN CASES OF HARDPAN LAYER, 36 INCHES BELOW TOPSOIL, DRILL 6 INCH DIAMETER HOLES AT 24 INCHES ON CENTER, DOWN INTO THE HARDPAN LAYER. PLANTING STAKES OR SUPPORT TIES SHALL NOT EXCEED 12 FEET IN LENGTH. IF THE HOLE IS LESS, BACKFILL WITH FREE-DRAINING MATERIAL SUCH AS #1 OR #2 ROLLING STONE WITH LANDSCAPE FABRIC SUCH AS GEOTEXTILE OR EQUIVALENT. IN NO CASE SHOULD ANGULAR GRAVEL BE USED.
4. USE CAUTION WHEN INSTALLING PERENNIALS DURING CONSTRUCTION AND INDICATED AS TURF SHALL BE SEEDED OR SODDED AS SPECIFIED. ALL PLANTS TO RECEIVE 3-YEAR SLOW RELEASE FERTILIZER PACKETS (ONE EQUAL) AT A RATE OF 2 PER CALIPER INCH OF TREE AND 3 PER SHRUB.
5. GUARANTEE ALL PLANT MATERIAL INCLUDING PERENNIALS AND SEED/SOD FOR A PERIOD OF ONE YEAR.
6. WATER ALL PLANTINGS IMMEDIATELY AFTER INSTALLATION.
7. ALL PLANTING BEDS SHALL HAVE 6 INCH SHOVEL CUT EDGES OR LANDSCAPE EDGING AS SPECIFIED.



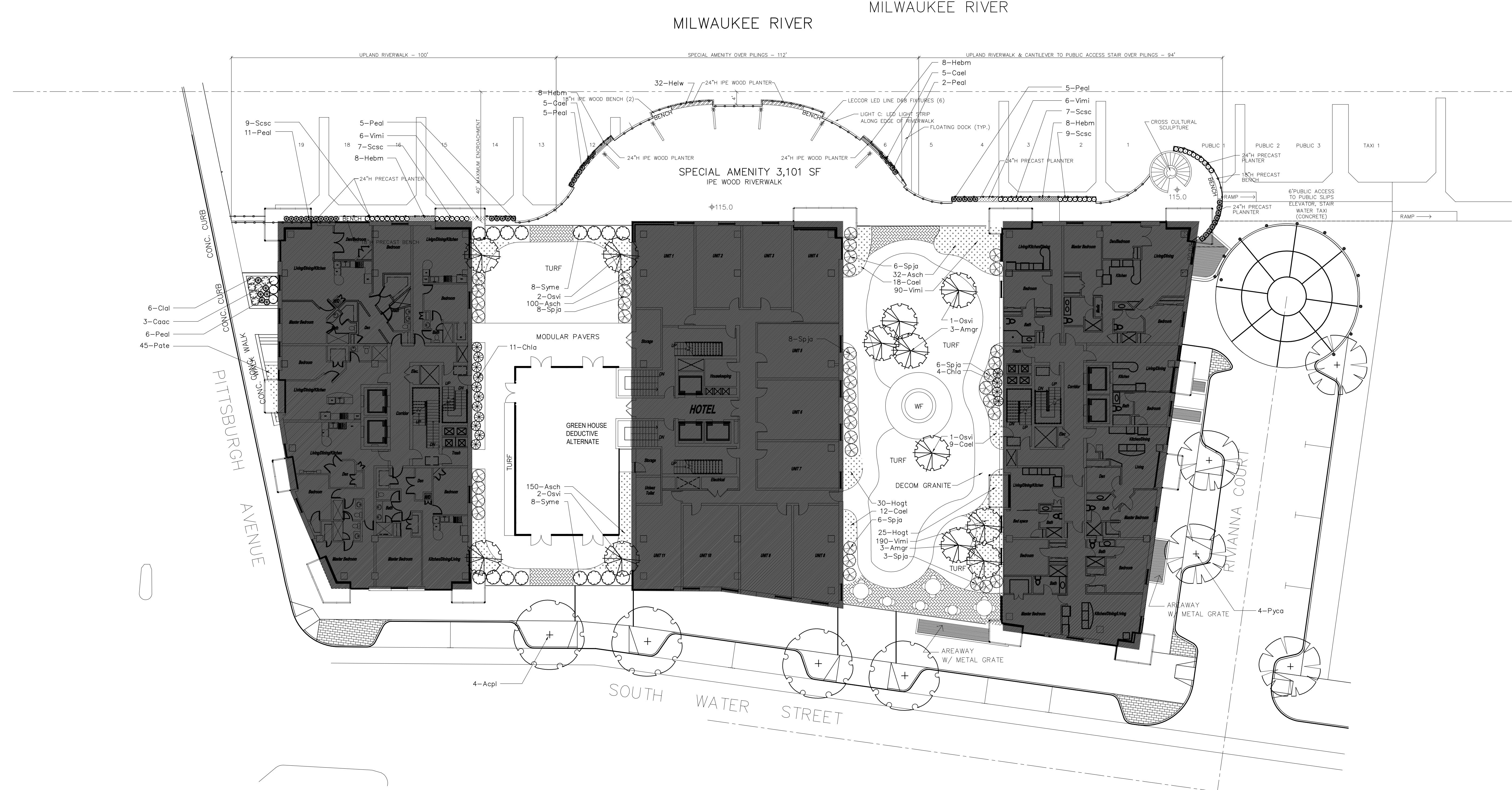
SHRUB PLANTING

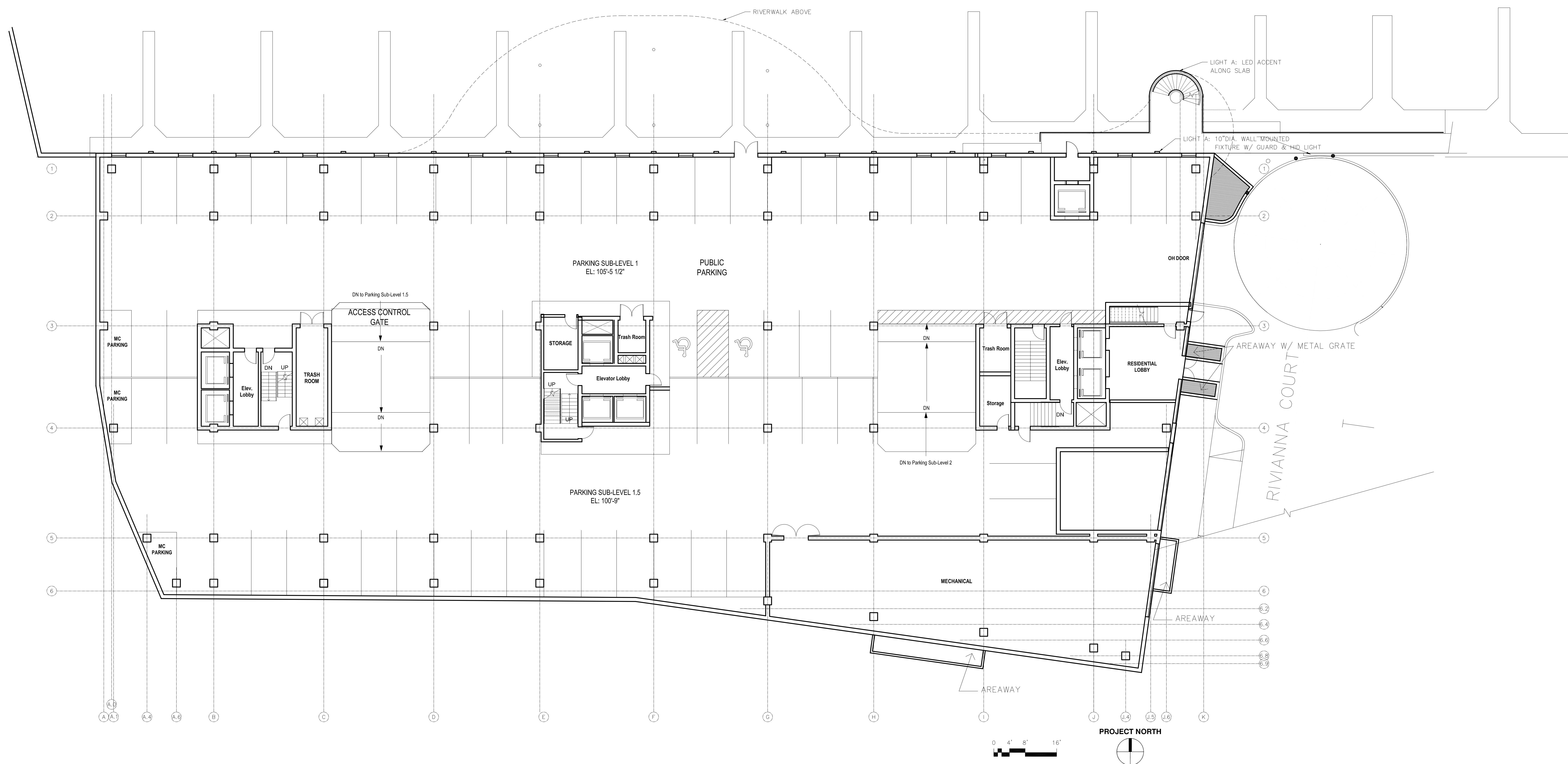
GENERAL NOTES

1. BACKFILL AND GRADE ALL PLANTING AREAS WITH SCREEN-BLENDED TOPSOIL. THE TOP 12 INCHES OF SOIL SHALL BE TOPDRESSED WITH 1/2" GRAVEL.
2. A SOIL EXCHANGE IS REQUIRED IN ALL PLANTING BEDS ADJACENT TO CONSTRUCTION AREAS SUCH AS BUILDINGS, WALKS, DRIVES, ETC., IE AND PLACE PLANTINGS WILL COME IN CONTACT WITH CONSTRUCTION DEBRIS. REMOVE AND BACKFILL PER PLANTING BEDS.
3. ALL PLANT MATERIAL SHALL CONFORM TO AMERICAN STANDARD FOR NURSERY STOCK AS PREPARED BY THE AMERICAN ASSOCIATION OF NURSERMEN, INC.
4. PLANT MATERIAL SHALL BE PLANTED IN HOLE LOCATED ACCORDING TO THE PLAN AND PLANTED IN HOLES AT LEAST TWICE THE SIZE OF THE PLANT ROOT BALL FOR SHRUBS AND THREE TIMES THE ROOT BALL FOR TREES.
5. ALL PLANTINGS TO BE TOPDRESSED WITH A MINIMUM OF FOUR INCHES OF SHREDDED HARDWOOD MULCH FOR TREES AND SHRUBS AND 2" ROLLING STONE WITH LANDSCAPE FABRIC SUCH AS GEOTEXTILE OR EQUIVALENT.
6. STAKING OF TREES IS OPTIONAL BY CONTRACTOR, BUT IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN VERTICAL POSITION OF ALL TREES AND SHRUBS.
7. ALL PLANTINGS SHALL BE TENDED DURING CONSTRUCTION AND INDICATED AS TURF SHALL BE SEEDED OR SODDED AS SPECIFIED. ALL PLANTS TO RECEIVE 3-YEAR SLOW RELEASE FERTILIZER PACKETS (ONE EQUAL) AT A RATE OF 2 PER CALIPER INCH OF TREE AND 3 PER SHRUB.
8. GUARANTEE ALL PLANT MATERIAL INCLUDING PERENNIALS AND SEED/SOD FOR A PERIOD OF ONE YEAR.
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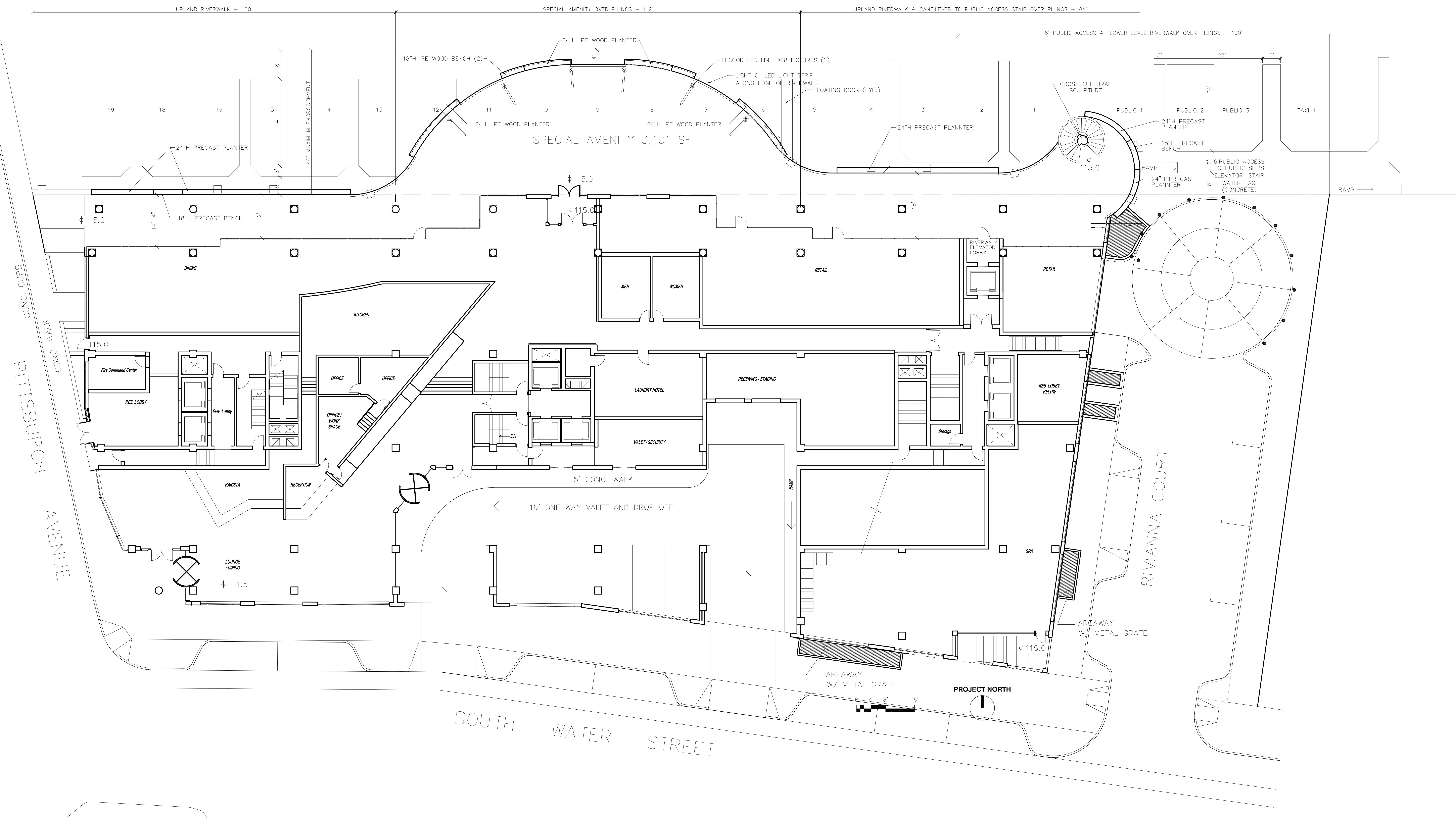
PERENNIALS / GC PLANTING

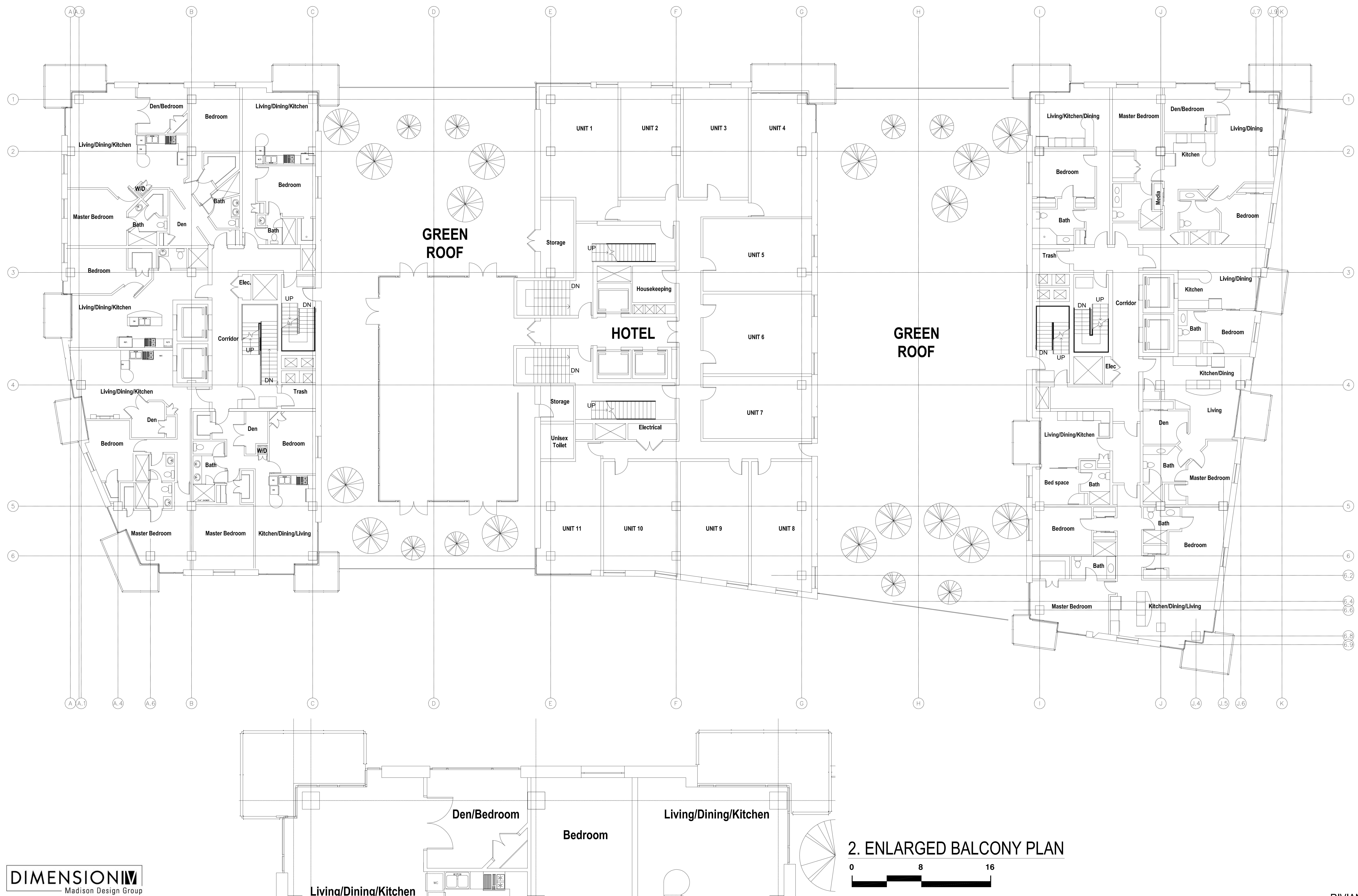


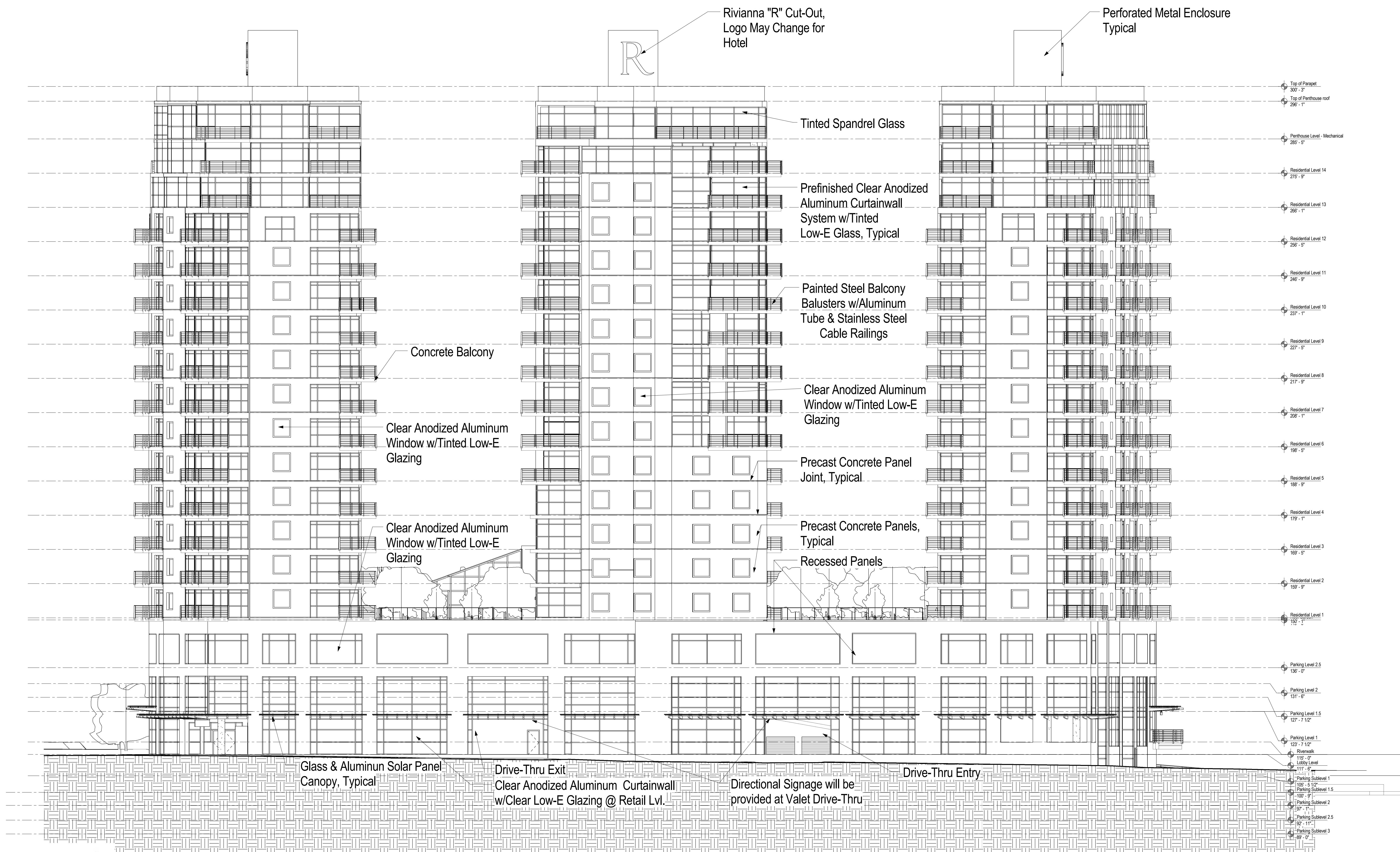


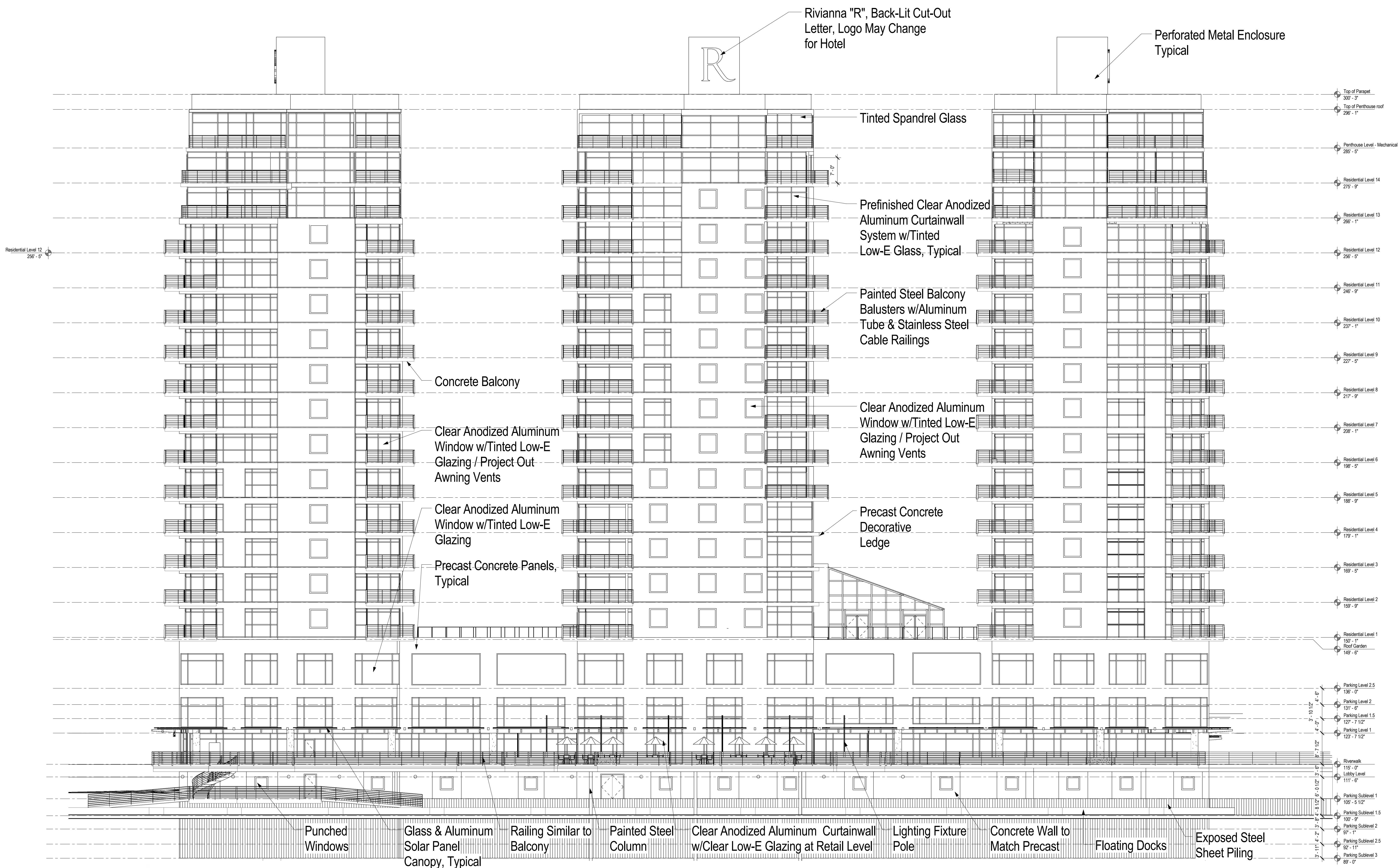
**NOTE: Refuse collection rooms
at this parking level**

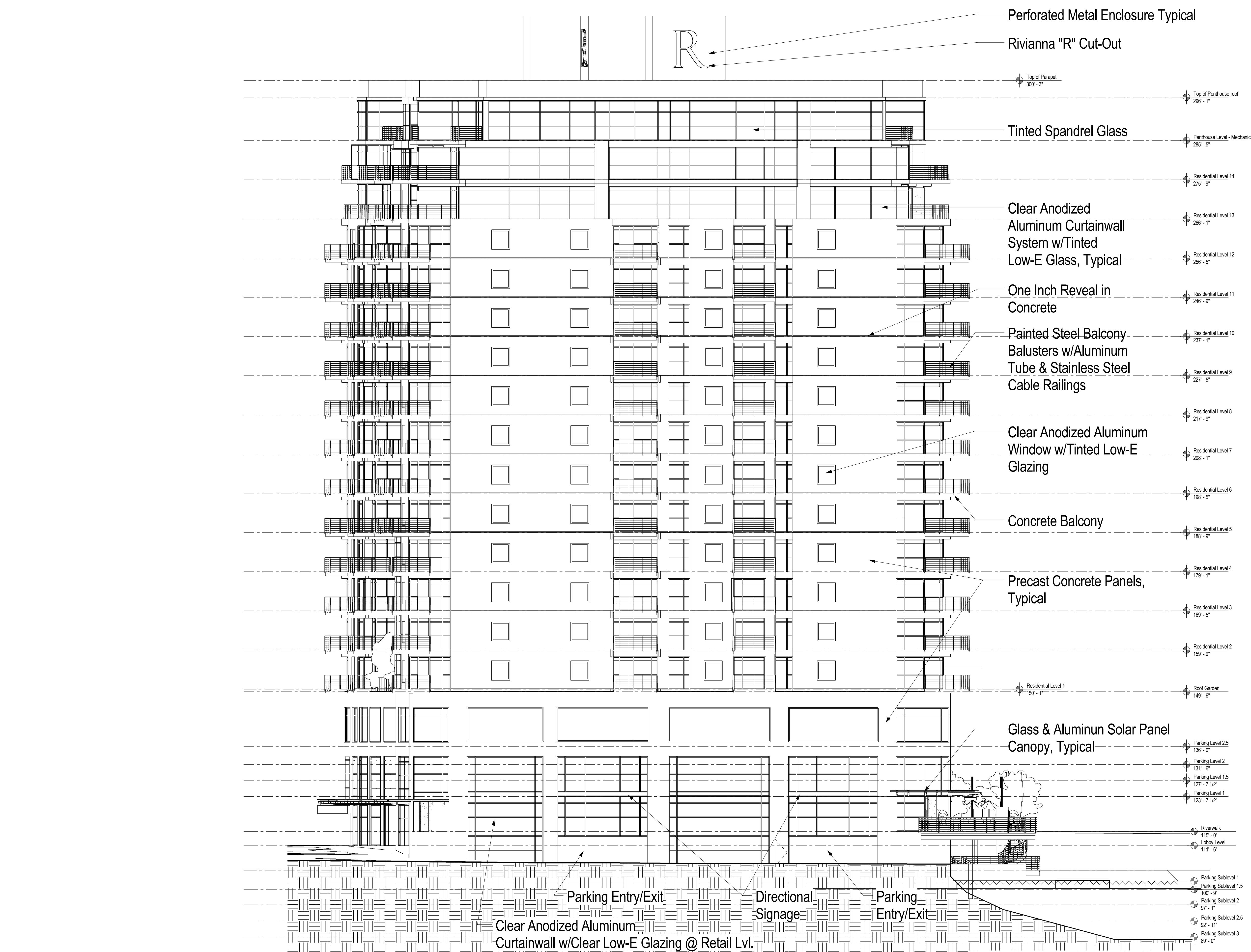
MILWAUKEE RIVER

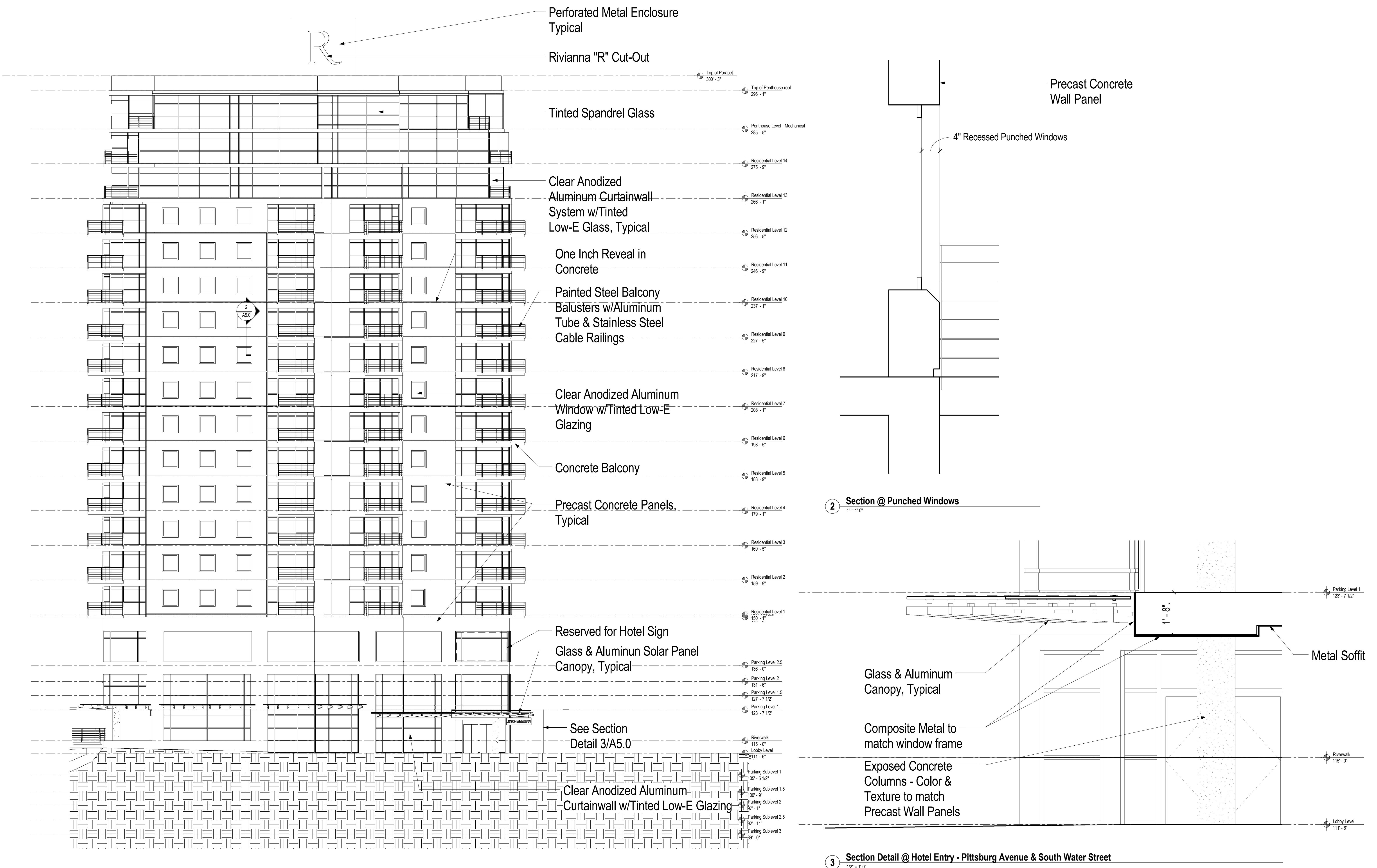












The logo for Dimension IV Madison Design Group. It features the word "DIMENSION" in a large, bold, sans-serif font. The letter "I" is stylized with a vertical line extending downwards, and the letter "V" is stylized with a downward-sloping line. Below "DIMENSION" is the word "Madison Design Group" in a smaller, regular sans-serif font. At the bottom is the tagline "architecture · engineering · interior design" in a very small, regular sans-serif font.

WEST ELEVATION

Rivianna

Milwaukee, WI

6515 Grand Teton Plaza, Suite 120

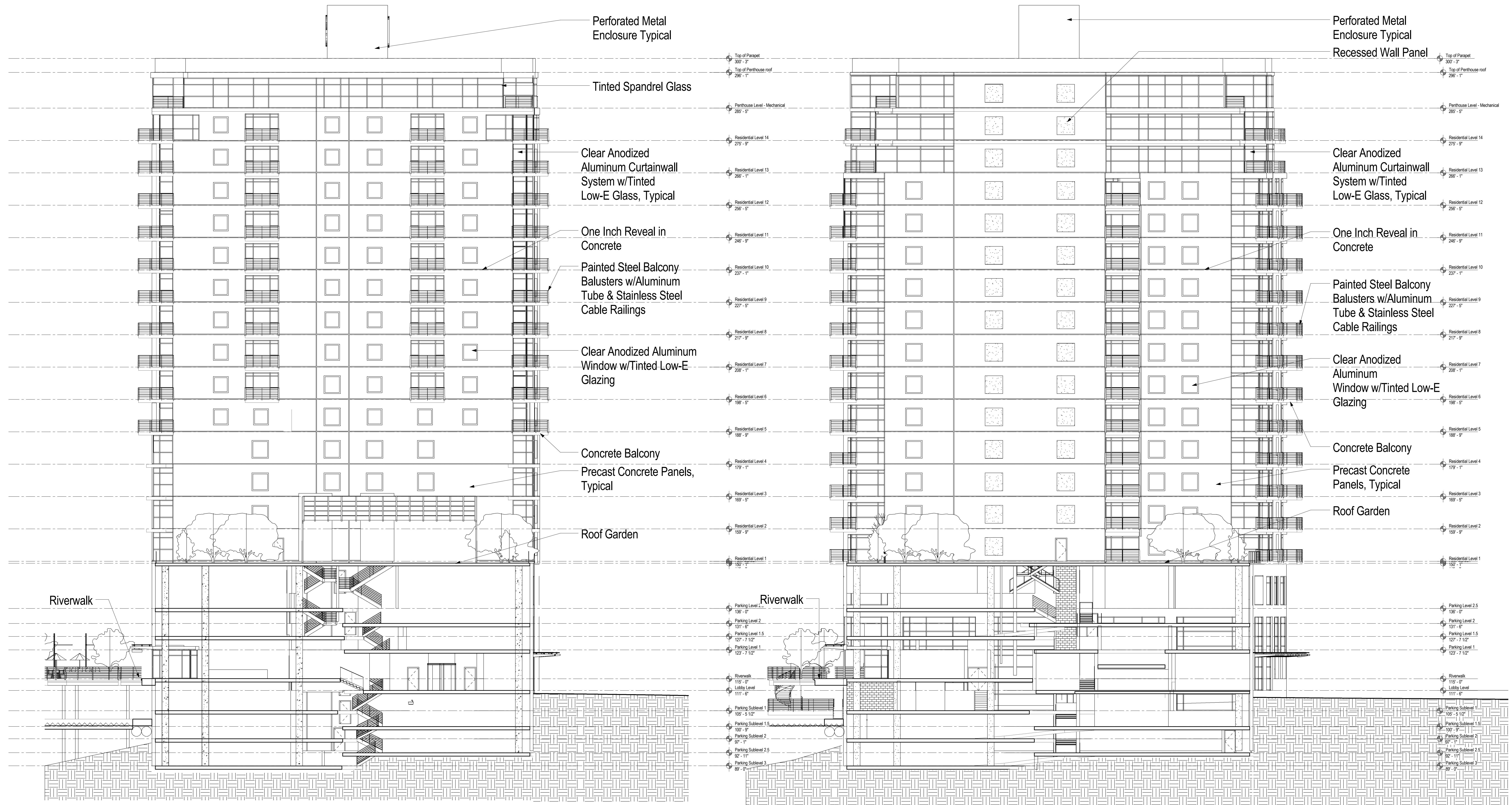
Madison, Wisconsin 53719

608.829.4444 • 608.829.4

WEST 30x42 A5.0

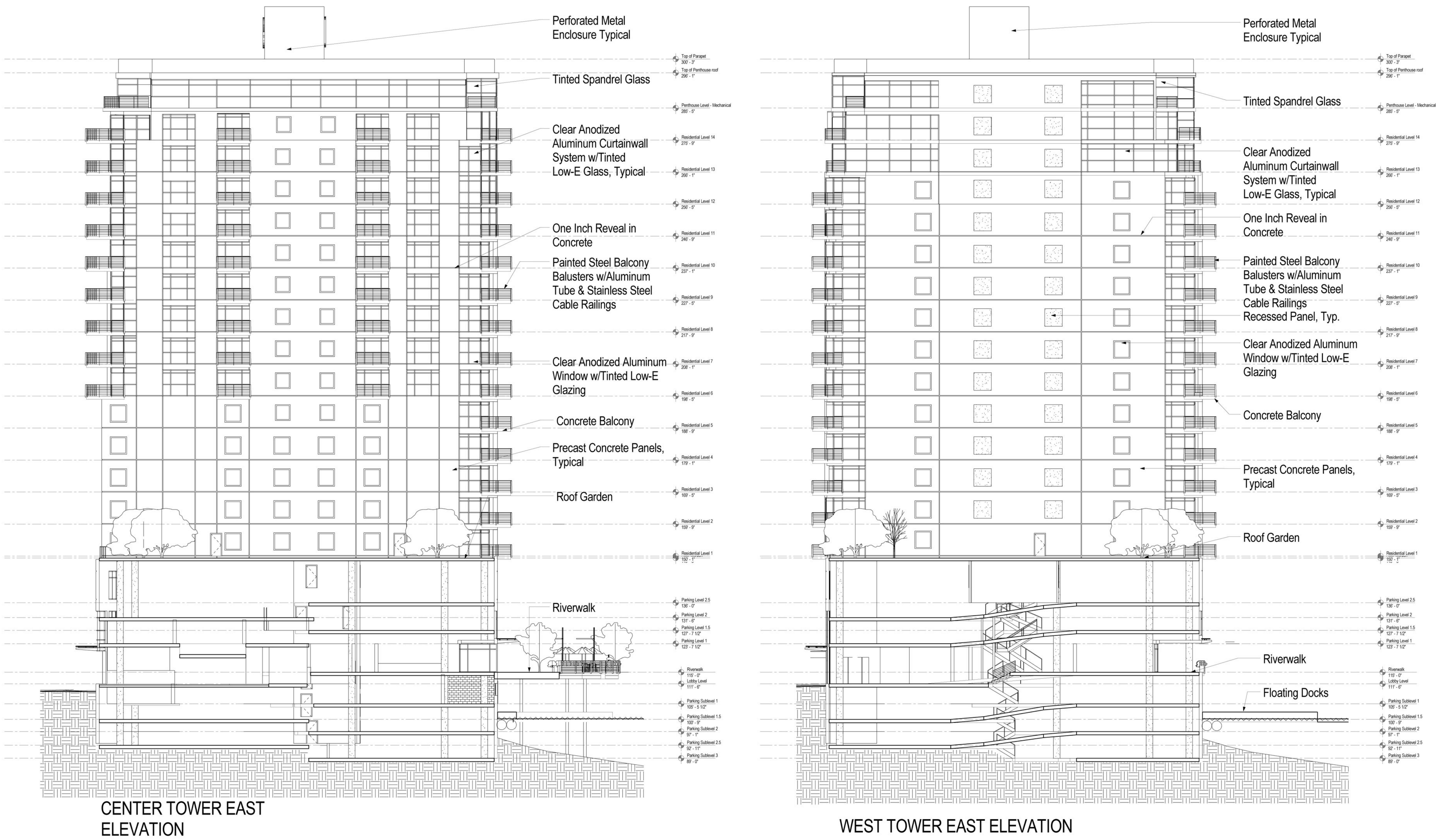
25 JUNE 2000

Project Number 07052

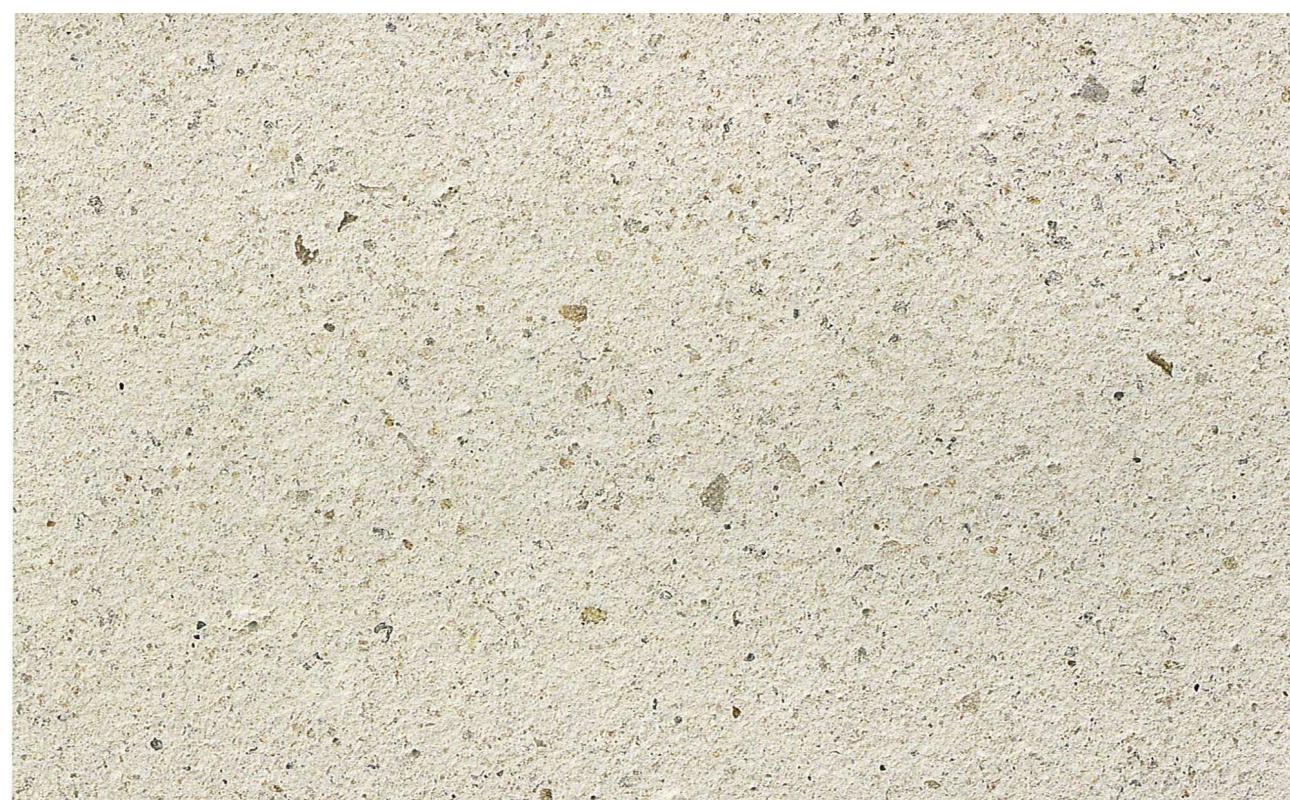


CENTER TOWER WEST ELEVATION

EAST TOWER WEST ELEVATION







Concrete Color and Texture



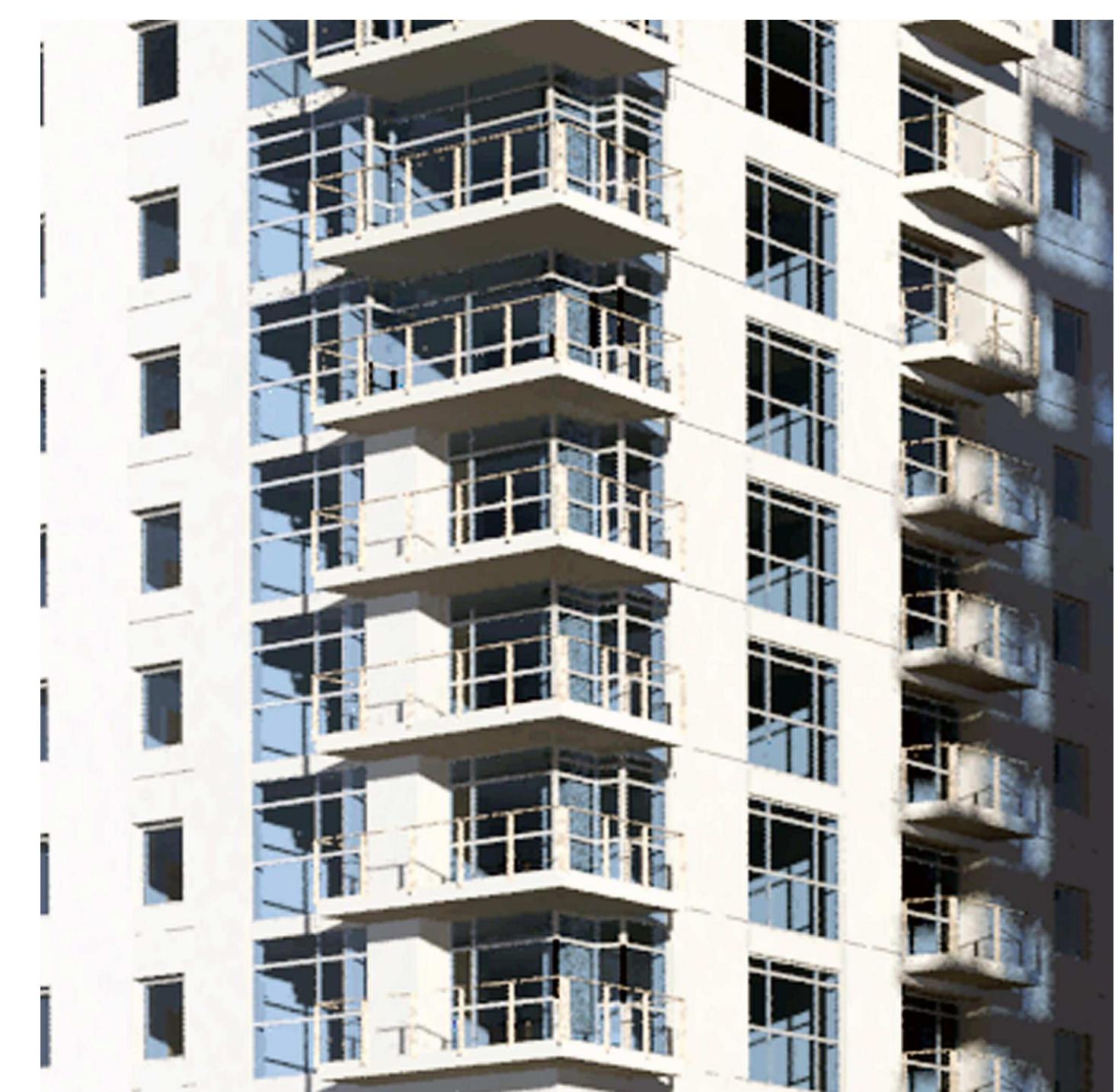
Canopy at Pedestrian Level



Hotel Entry



View from Pittsburg Ave



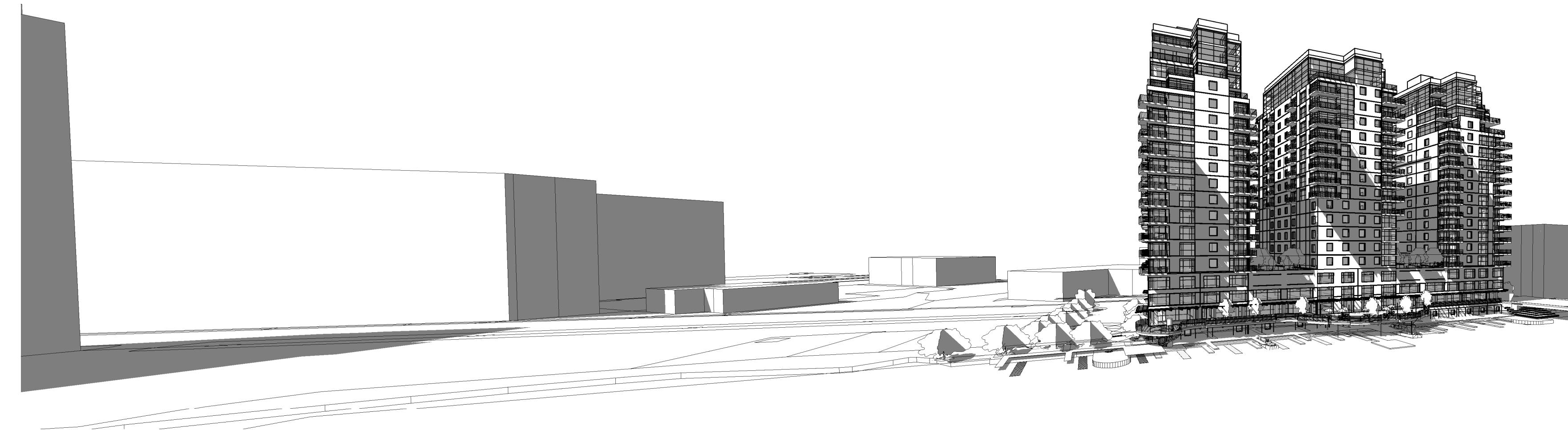
Balcony Inset and Curtain Wall Detail



Canopy at Riverwalk



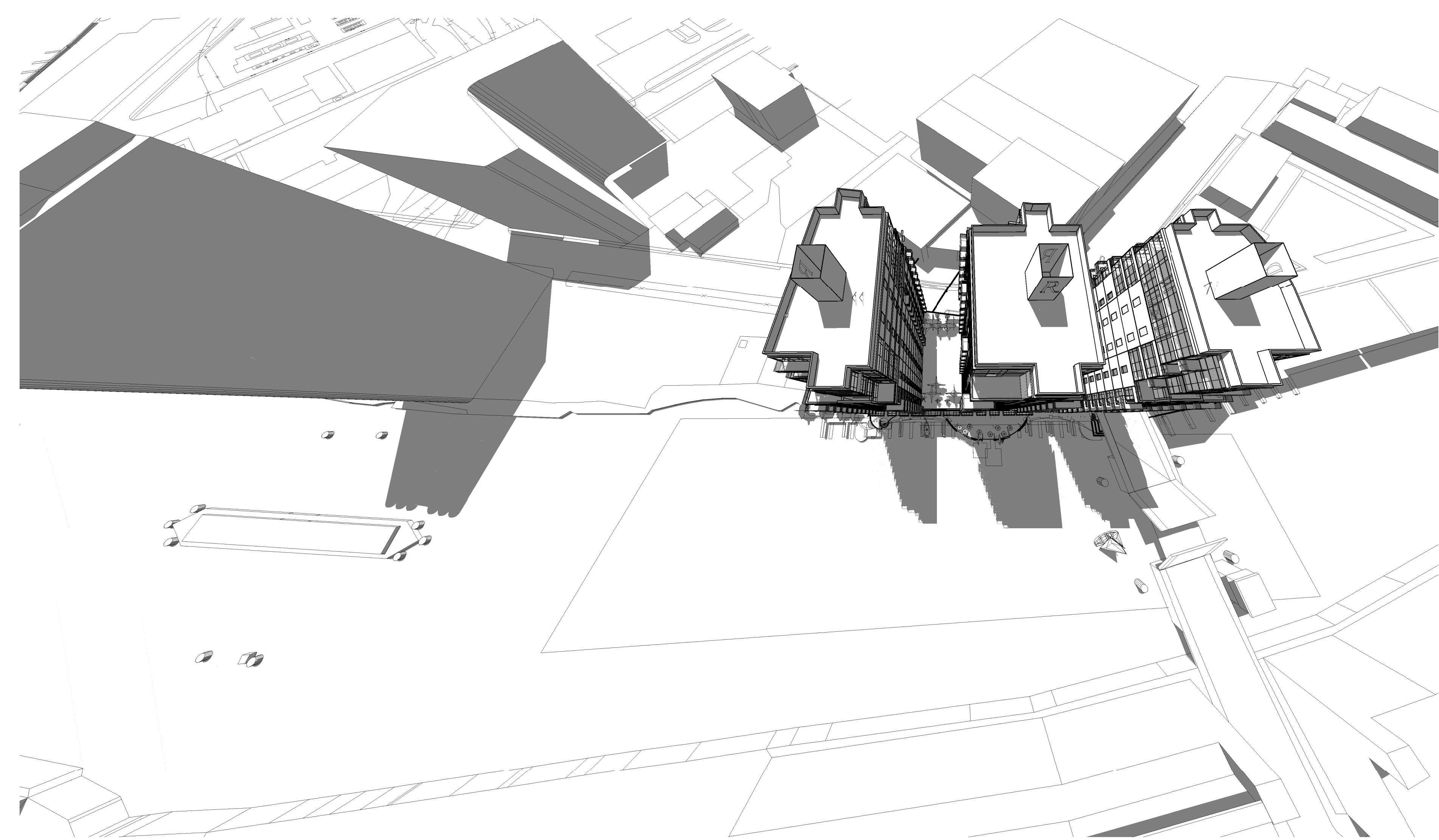
④ From NW Across River



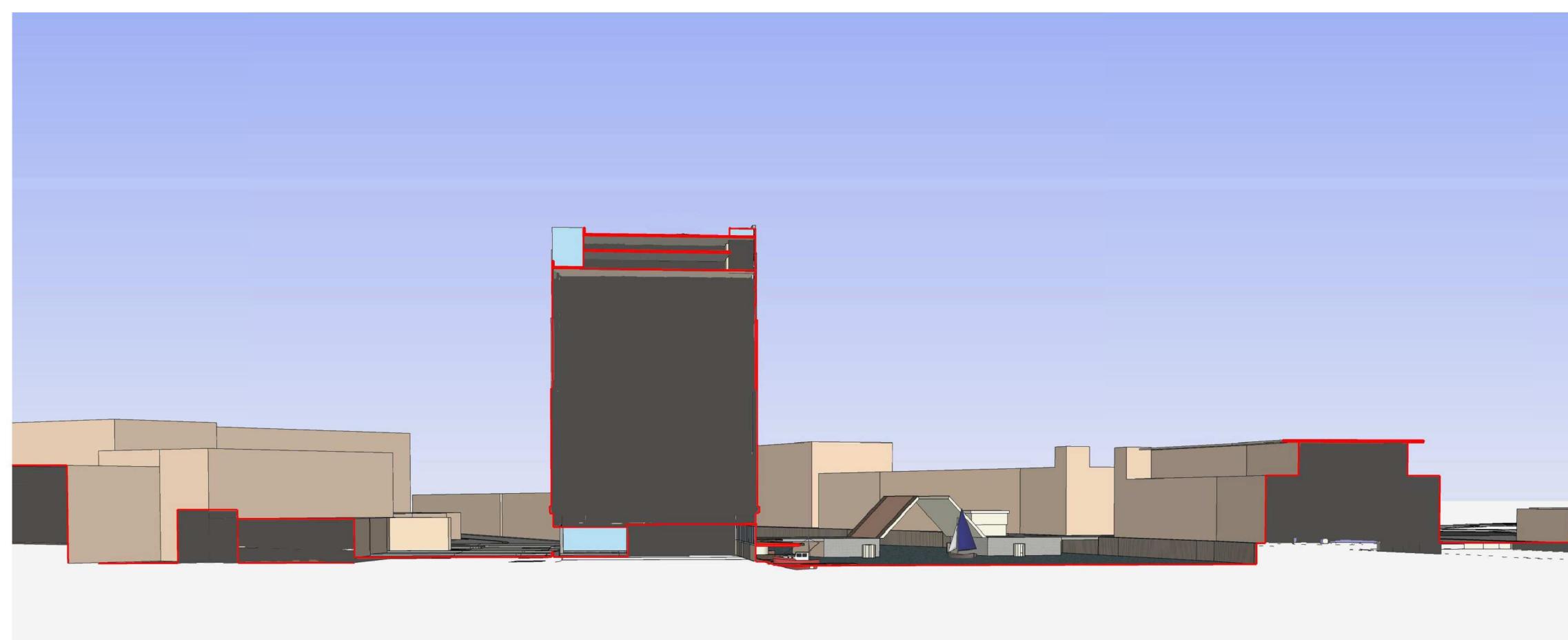
③ From NE On River



② From SW Across Street

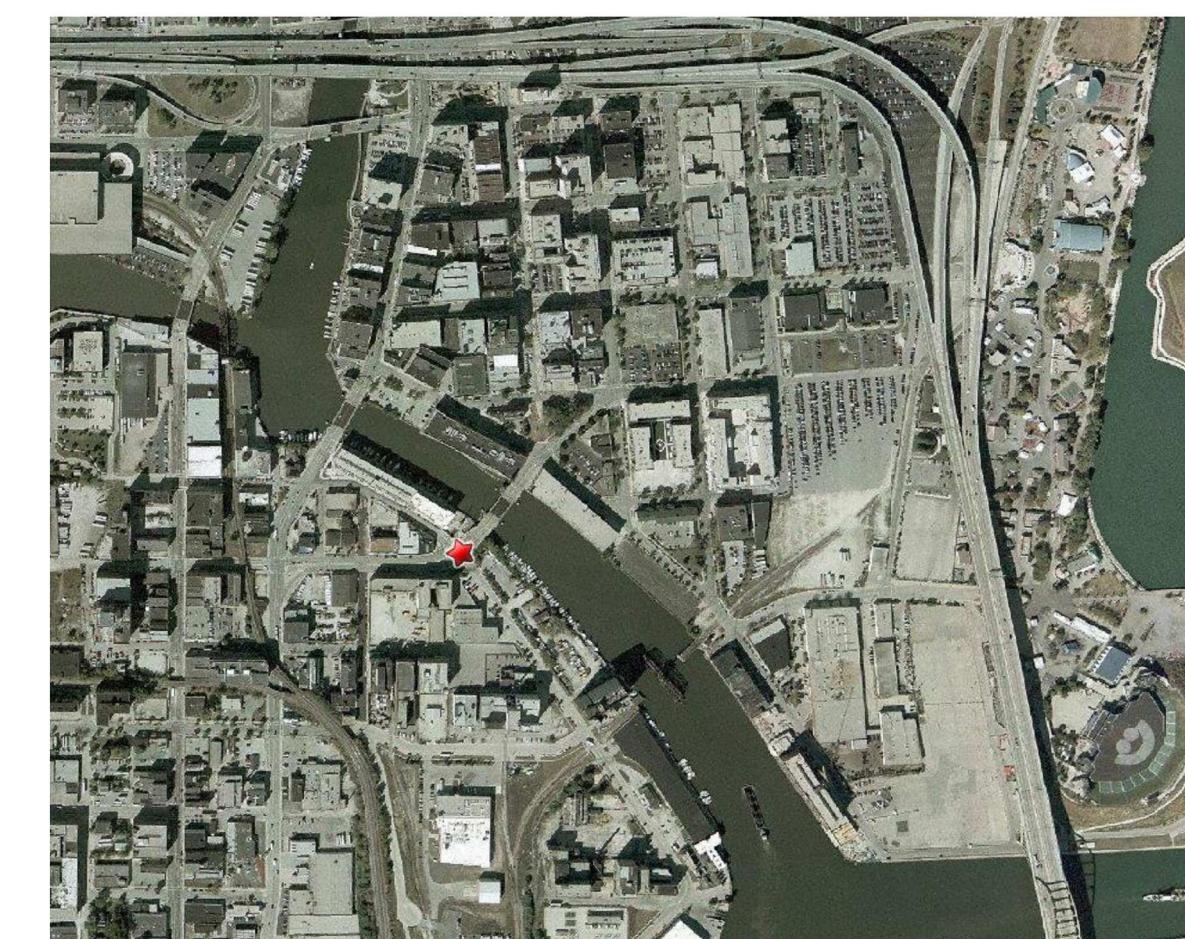


① Aerial



North South Section

Not to Scale



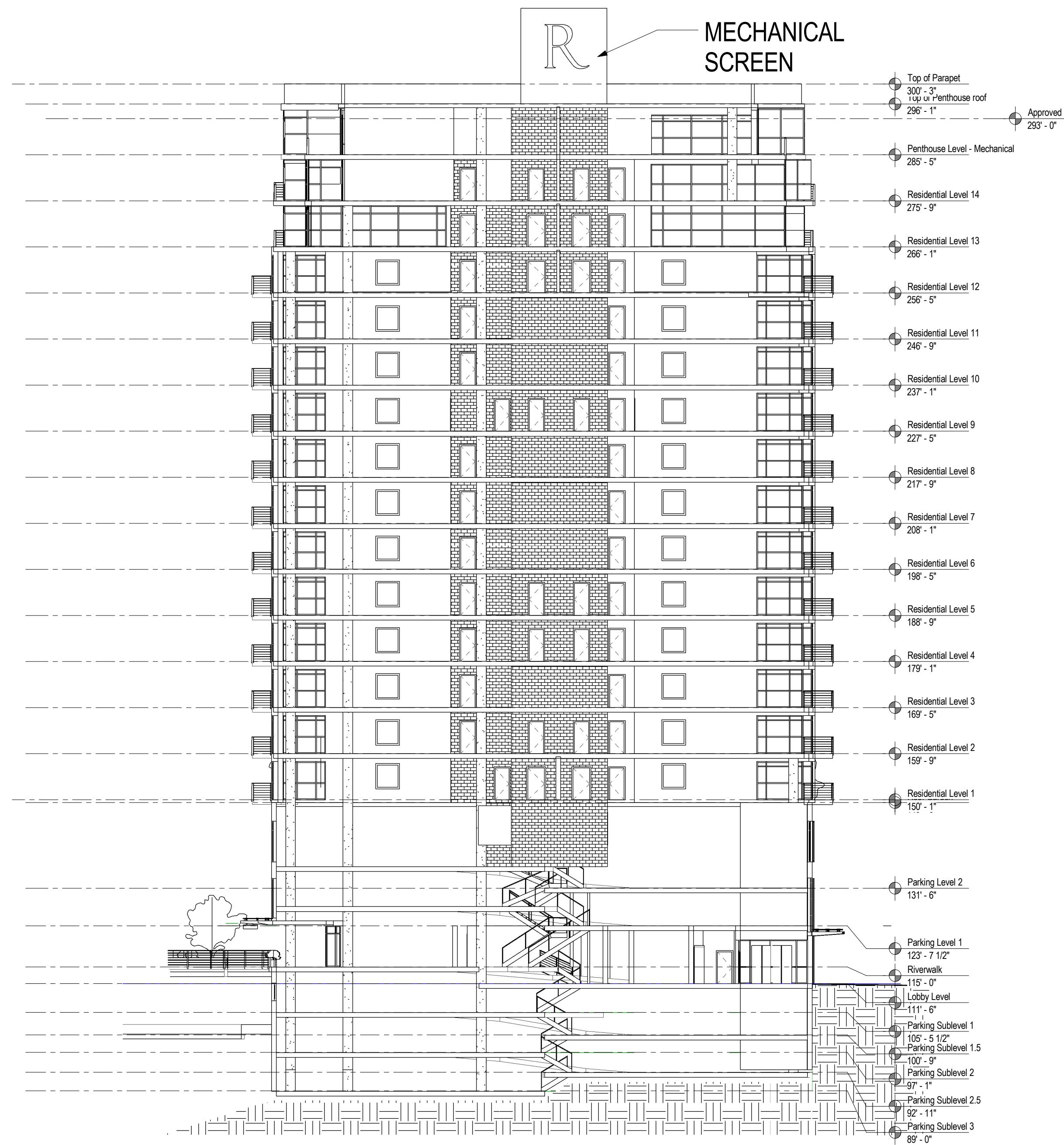
Area Map

Not to Scale

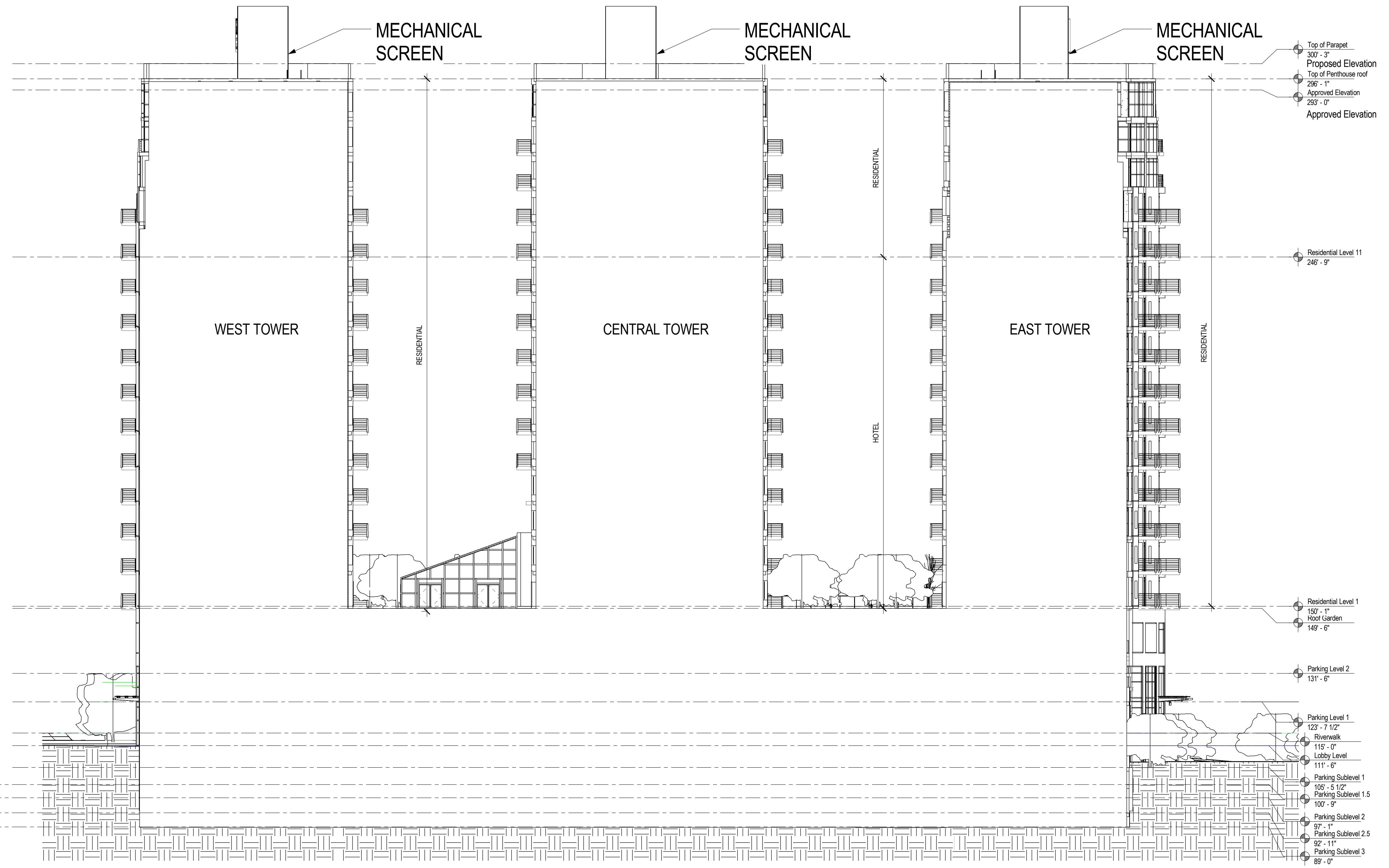


East West Section

Not to Scale



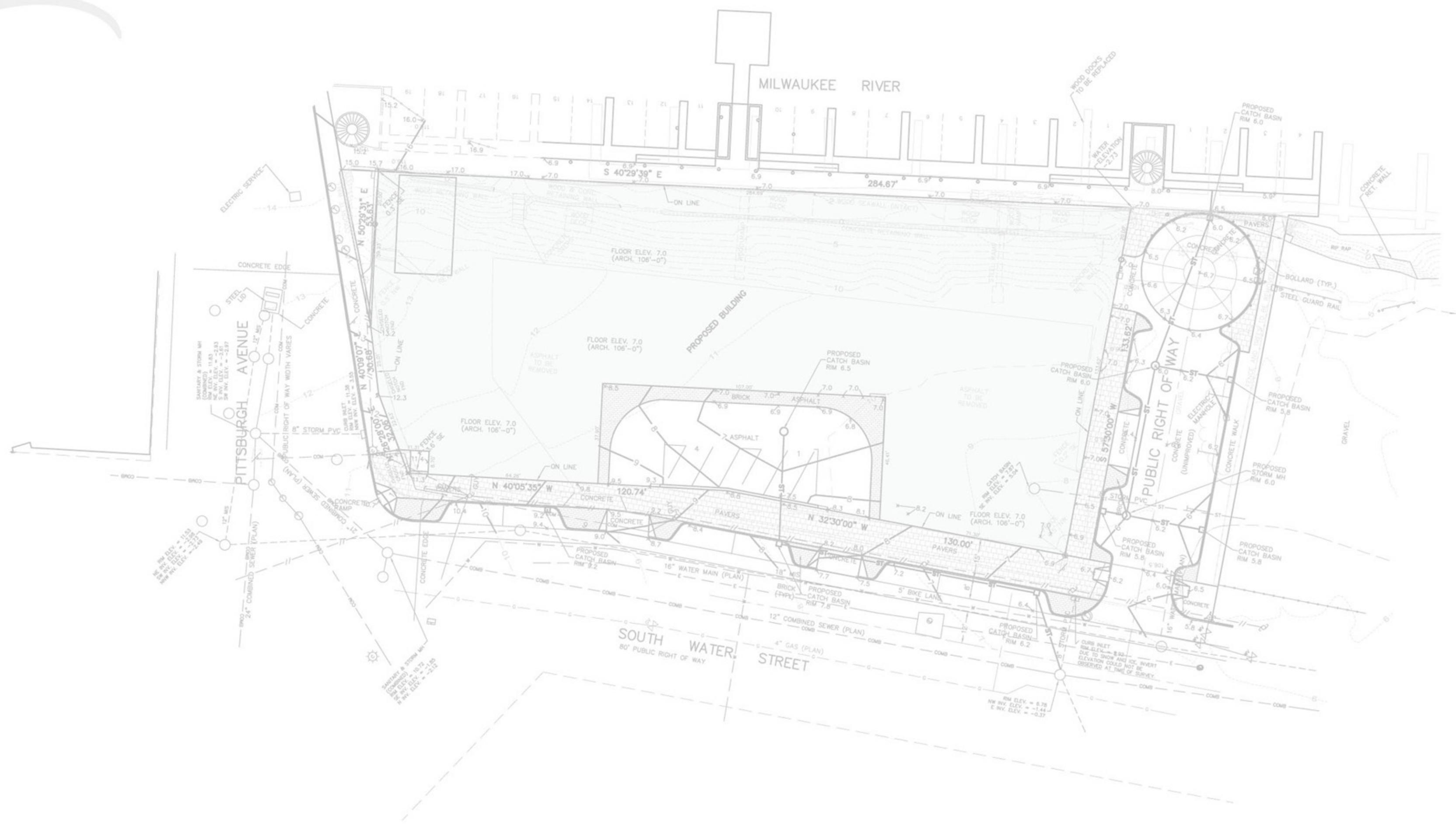
North South Section



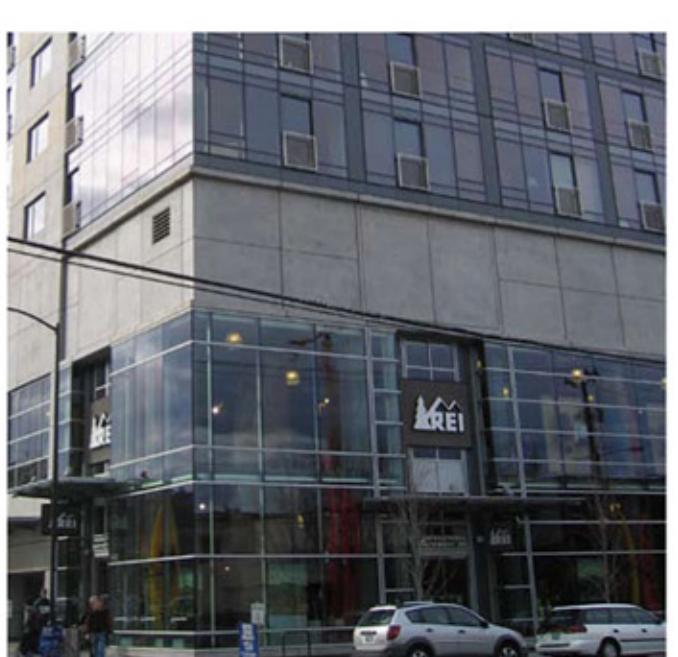
East West Section

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Proposed Commercial Signage



Area of Visual Merchandising Guidelines

The area of visual merchandising runs the full width of the storefront and 5'-0" into the leased premises. It includes all display windows and retail graphics, display fixtures, signs, materials, finishes, color and lighting fixtures within the area.

Sale and temporary event signs should be behind the zone, and no sale and temporary signs shall be taped or suction cupped onto the display windows, or hang from the storefront ceiling.

The use of the following materials is discouraged within the merchandise zone:

- Slate wall or slate wall fixture systems
- Stucco finish (unless approved by Landlord in writing)
- Wood grain plastic laminates
- Metal laminate wallboard
- Plastic laminate
- Simulated brick, stone or wood
- Cork or cork tile
- Plywood paneling or texture 1-11 plywood
- Carpeting on walls
- Pegboard walls and pegboard fixture
- Wood shingles or shakes
- Field painted aluminum
- Metal shelving
- Mirror walls

Cash wrap counters are discouraged in the merchandising zone.

No fluorescent lighting will be permitted within the merchandising zone.

Storefront Lighting Standards

Lighting must be tasteful and designed to enhance your storefront and the retail streetscape.

- Lighting must be appropriate to the building and must complement the architecture.
- Lighting must be stationary and not moving or animated in any form.
- Visible suspended fluorescent tubes will NOT be approved.
- Visible suspended neon tubes are NOT encouraged.

Signage Guidelines

Encouraged:

- Cut metal letter forms, freestanding or pin-mounted.
- Cut metal logotypes, applied or pin-mounted.
- Wall mounted metal or porcelain enamel plaques.
- Stencil cut metal, visible from one side.
- Sandblasted metal or glass.
- Metal channel letters with halo illumination.
- Screen printed or gold leafed logotypes on glass.
- Clean, simple, minimally visible attachments.
- Hardware matching adjacent sign finishes, use mounting hardware that will NOT rust.
- Satin finished metals rather than highly polished finishes.

Discouraged:

- Plastic sign faces or signboxes.
- Internally illuminated plastic letters or sign faces.
- Formed or injection molded plastic signs.
- Paper or nylon signs or banners.
- Animated, flashing, blinking, rotating or audible signs.
- Signs with exposed lamps or tubing.
- Advertising postcards, banners, pennants, sale or other temporary signs.
- Signs projecting beyond lease line.

Pin-mounted Letterforms Encouraged:

Pin-mounted letterforms on a colored plaque.
 Pin-mounted letterforms freestanding of a satin finished natural metal.
 Pin-mounted letterforms or prismatic letterforms mounted off the face of the storefront. Metals for mounting pins that will rust in the Milwaukee weather which will create unsightly streaks on the exterior finish materials of the building are NOT Allowed.

Graphics on Glass:

Graphics on the interior surface of storefront glass should be tasteful and minimal. Signage in this format is pedestrian friendly and smaller graphics frequently draw the viewer closer to a window display thereby engaging them in the merchandising zone. This may serve as the only storefront identification in subtle form.

May potentially create an interesting play of light and shadows.

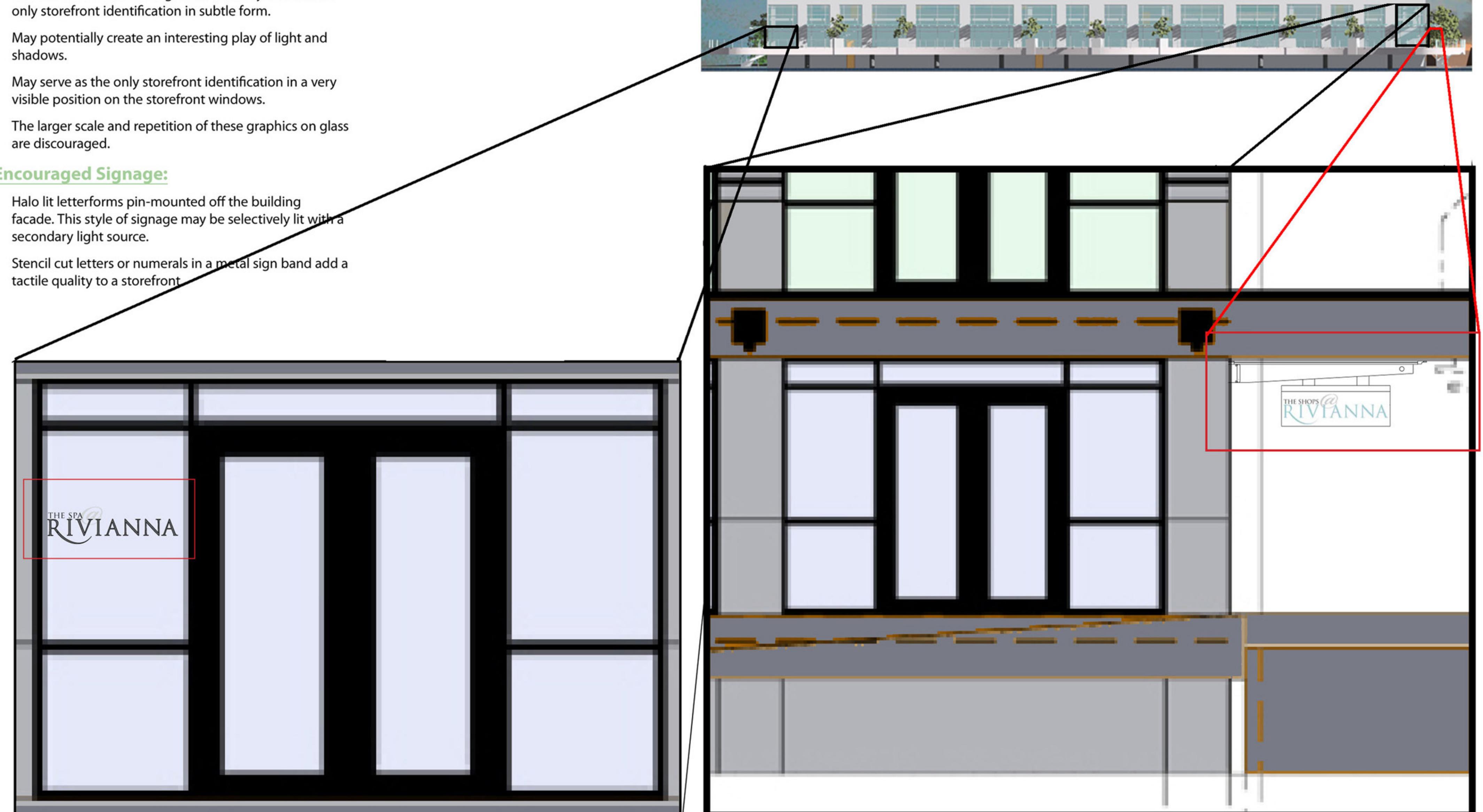
May serve as the only storefront identification in a very visible position on the storefront windows.

The larger scale and repetition of these graphics on glass are discouraged.

Encouraged Signage:

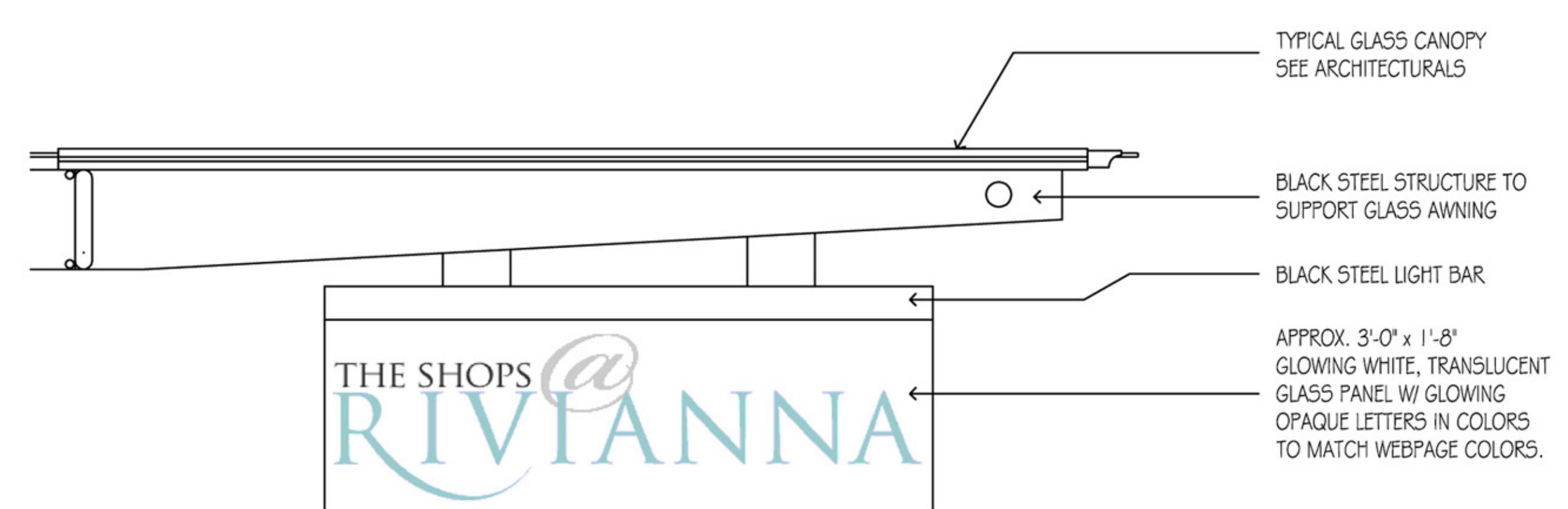
Halo lit letterforms pin-mounted off the building facade. This style of signage may be selectively lit with a secondary light source.

Stencil cut letters or numerals in a metal sign band add a tactile quality to a storefront





Proposed Awning Signage



Acceptable Awning Signage

Material:

- Painted metal
- Brushed metal
- Acrylic w/ etched letters

Two standard sizes:

- Small: 24wx18h
- Large: 36wx24h

Lighting:

- White only except for hotel and other anchor tenants; Ex. Spa @ Rivianna.
- No nuisance point source lighting
- Ambient glows only (side lit acrylic panels will light up the etched lettering)
- No Neon

Color:

- Lighting: white only
- Signage: per owner
- Signage panel or panel frame to match awning color and material



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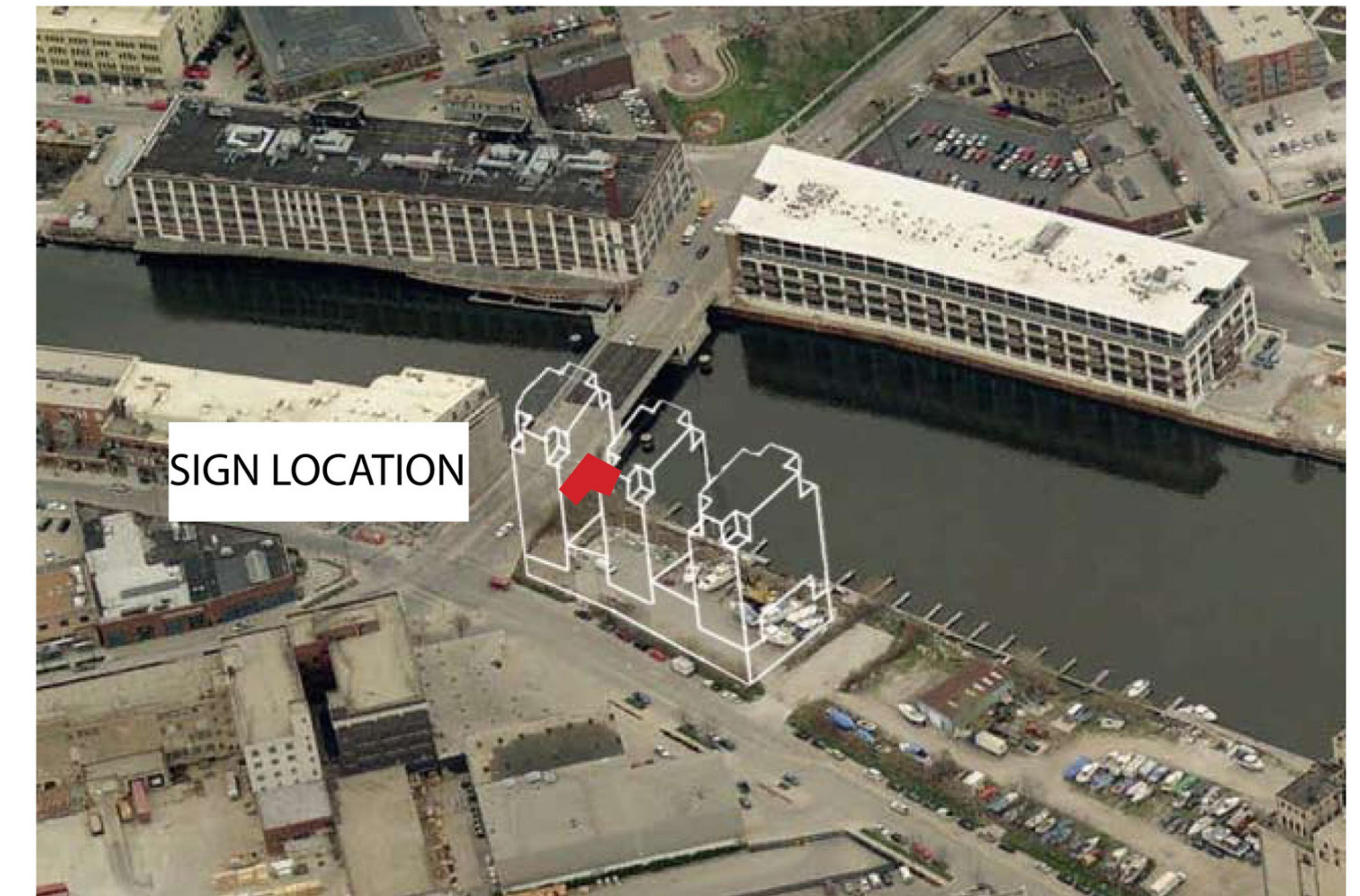


Temporary Development Signage



4 ft

8 ft



DUKE GRAPHIX

PO BOX 4571
TUALATIN, OR 97062
503| 914 . 6279
www.Duke-Graphix.com
info@duke-graphix.com



Proposed Legibility Signage

Legibility Signage Requirements:

Font: Trajan Pro

Signs:

- Valet Enter
- Valet Exit
- Receiving
- Riverwalk Elevator
- Riverwalk Public Lobby/ Art Gallery
- Upper/ Lower Level Parking
- Accessible Entrance

TRAJAN PRO

VALET PARKING

A B C D E F G H I J K L
M N O P Q R S T U V

W X Y Z

1 2 3 4 5 6 7 8 9 0