

G0-00	COVER SHEET
V1-01	SURVEY
C1-00	SITE AND LANDSCAPE PLAN
C2-00	DEMOLITION PLAN
C3-00	GRADING PLAN NORTH
C3-01	GRADING PLAN SOUTH
C4-00	UTILITY PLAN
A1-01	GROUND FLOOR PLAN
A1-02	SECOND TO SIXTH FLOOR PLAN
A1-03	SEVENTH FLOOR PLAN
A1-04	EIGHTH TO THIRTEENTH FLOOR PLAN
A1-05	FOURTEENTH TO THIRTIETH FLOOR PLAN
A1-06	THIRTY-FIRST TO THIRTY-FOURTH FLOOR PLAN
A1-07	THIRTY-FIFTH FLOOR PLAN
A1-08	PENTHOUSE FLOOR PLAN
A1-09	ROOF PLAN
A2-01	SOUTH & WEST BUILDING ELEVATIONS
A2-02	NORTH & EAST BUILDING ELEVATIONS
A3-01	BUILDING SECTIONS
A3-02	BUILDING SECTIONS

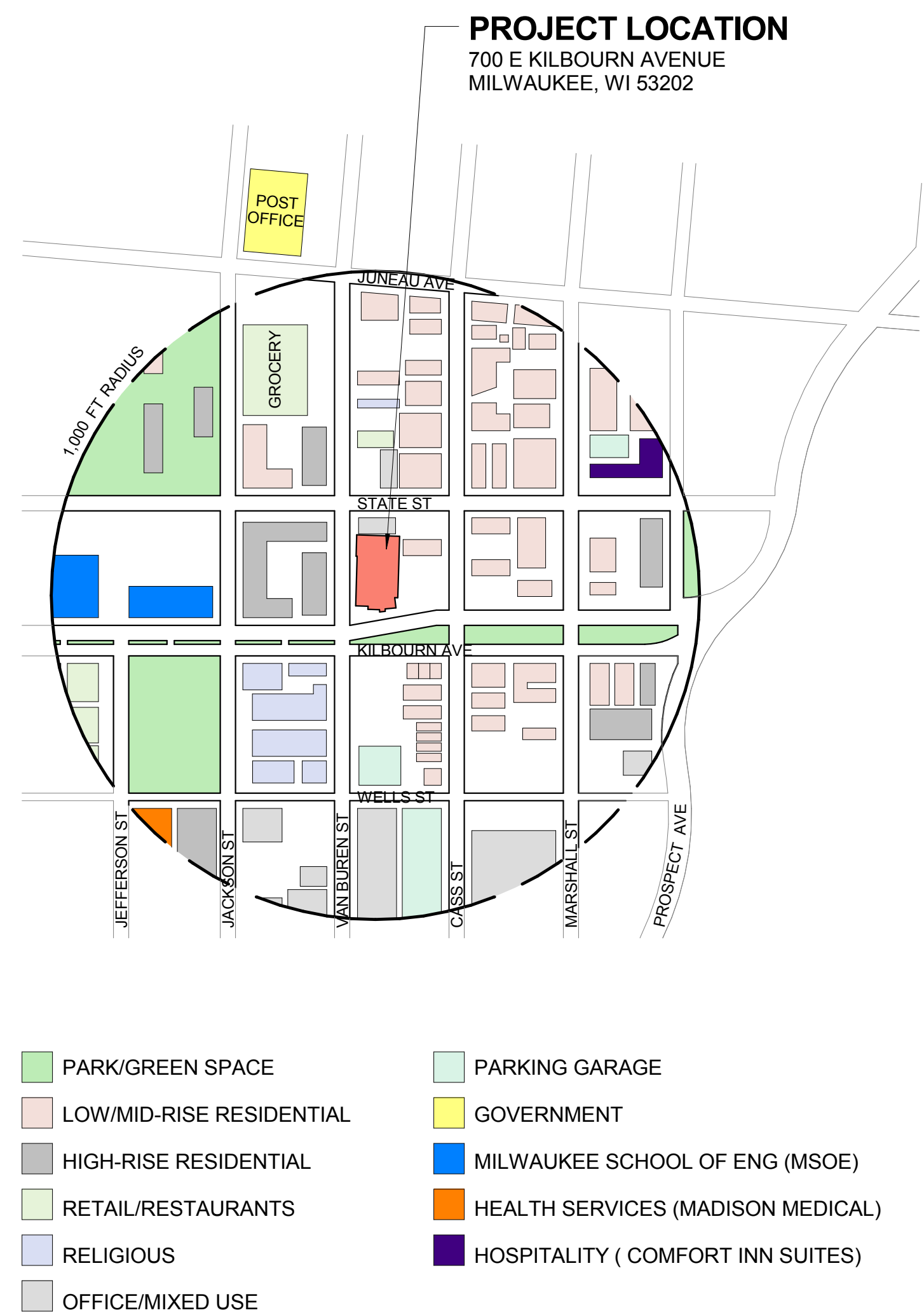
# 700 EAST KILBOURN

PROPOSED MULTI-STORY BUILDING

OWNER:  
CARROLL PROPERTIES  
225 W WASHINGTON  
SUITE 1450  
CHICAGO, IL 60606

ARCHITECT:  
FITZGERALD ASSOCIATES  
ARCHITECTS  
912 W LAKE ST  
CHICAGO, IL 60607  
312 563 9100

CIVIL ENGINEER:  
R. A. SMITH NATIONAL  
16745 W. BLUEMOUND RD  
BROOKFIELD WI 53005



VIEW FROM SOUTH WEST



VIEW FROM SOUTH EAST

VICINITY MAP



NW CORNER OF THE NW 1/4 SEC. 28-7-22 CONCRETE MONUMENT W/ BRASS CAP FOUND

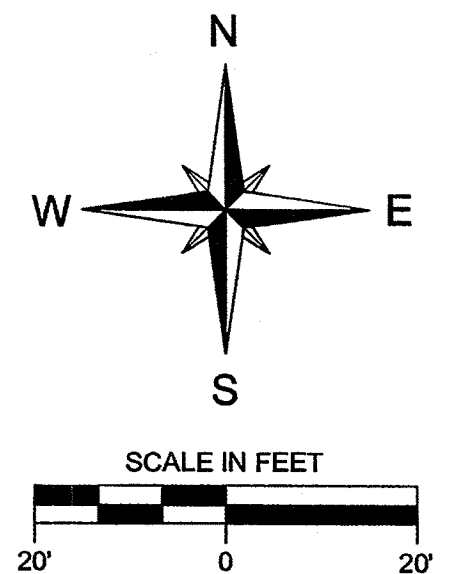
NE CORNER OF THE NW 1/4 SEC. 28-7-22 CONCRETE MONUMENT W/ BRASS CAP FOUND

ANGLE CHART  
 A = 89°49'40"  
 B = 82°01'31"  
 C = 98°00'37"  
 D = 90°08'12"

REFERENCE BEARING:  
 THE EAST RIGHT OF WAY LINE OF NORTH VAN BUREN STREET IN BLOCK-91 OF PARTITION OF LOT-1, TOWN OF MILWAUKEE WAS USED AS THE REFERENCE BEARING AT NORTH 00°16'05" EAST (ASSUMED).

REFERENCE BEARING: THE NORTH LINE OF THE NW 1/4, SEC. 28-7-22 WAS USED AS THE REFERENCE BEARING AND HAS A BEARING OF SOUTH 84°34'49" EAST (ASSUMED DATUM).

REFERENCE BENCHMARK:  
 NW FLANGE BOLT ON HYDRANT LOCATED AT SOUTHWEST CORNER OF N. VAN BUREN STREET AND EAST KILBOURN AVE. - ELEVATION 64.32 CITY OF MILWAUKEE DATUM. ADD 580.56 TO CONVERT TO USGS DATUM.



LEGAL DESCRIPTION (PER FIDELITY NATIONAL TITLE INSURANCE COMPANY COMMITMENT No. 2013111450 WITH AN EFFECTIVE DATE OF JUNE 17, 2014):  
 LOT 1 OF CERTIFIED SURVEY MAP NO. 8225, RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS FOR MILWAUKEE COUNTY, WISCONSIN, ON APRIL 4, 2010, AS DOCUMENT NO. 9660193, BEING A REDIVISION OF ALL OF LOTS 9, 10 AND 11, PART OF LOTS 8 AND 12 IN BLOCK 91, OF PLAT OF LOT NO. 1, IN PART OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 28, IN TOWNSHIP 7 NORTH, RANGE 22 EAST, IN THE CITY OF MILWAUKEE, MILWAUKEE COUNTY, WISCONSIN.

ADDRESS: 700 E. KILBOURN AVENUE, MILWAUKEE, WI  
 TAX KEY NO. 393-0961-1

SCHEDULE B - SECTION II NOTES:  
 EXCEPTION K, PROPERTY IS SUBJECT TO MEMORANDUM OF AGREEMENT RECORDED JUNE 10, 2014 AS DOCUMENT NO. 10366375.

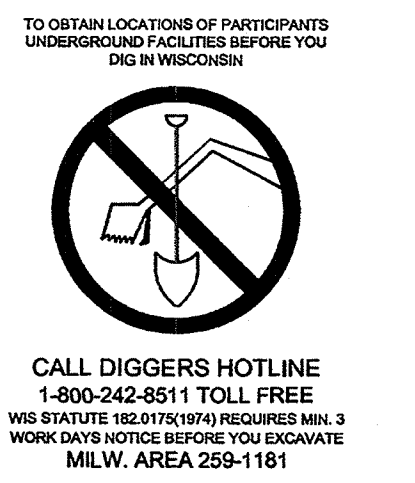
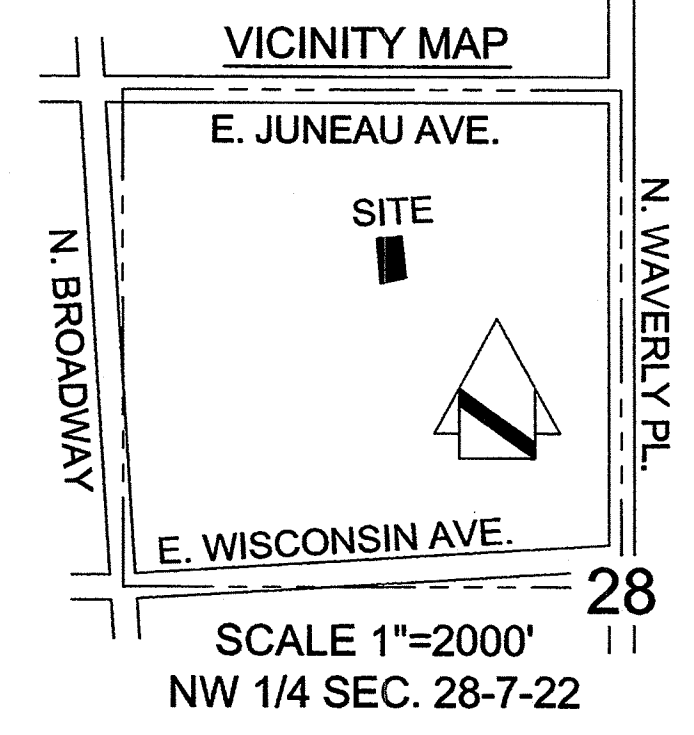
- NOTES:
- NO PORTION OF THE PROPERTY SHOWN ON THE SURVEY LIES WITHIN A SPECIAL FLOOD HAZARD AREA, AS DESCRIBED ON THE FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH THE SUBJECT PROPERTY IS LOCATED. THE PROPERTY LIES IN ZONE X PER FEMA FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 55079C0092E WITH AN EFFECTIVE DATE OF SEPTEMBER 26, 2008.
  - THERE ARE NO WETLANDS IDENTIFIED ON THE SUBJECT PROPERTY PER THE WISCONSIN WETLAND INVENTORY MAP AS LOCATED ON THE WISCONSIN DNR SURFACE WATER VIEWER.
  - UTILITIES ARE PER VISIBLE INSPECTION ONLY.
  - THERE IS NO EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS AT THE TIME OF SURVEY, JULY 23, 2014.
  - THERE IS NO OBSERVED EVIDENCE THAT THE SITE WAS OR IS USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
  - THERE ARE NO CEMETERIES OR BURIAL GROUNDS ON OR ADJACENT TO THE SUBJECT SITE.

SURVEYOR'S CERTIFICATE:  
 To: CARROLL PROPERTIES, INC, FIDELITY NATIONAL TITLE INSURANCE COMPANY and its successors and assigns: This is to certify that this map or plat and the survey on which it is based were made in accordance with "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys," jointly established and adopted by ALTA, ACSM and NSPS in 2011, and includes items 1, 2, 3, 4, 5, 7a, 7c, 8, 9, 11a, 14, 16 and 22 of Table A thereof. Pursuant to the Accuracy Standards as adopted by ALTA, NSPS, and ACSM and in effect on the date of this certification, undersigned further certifies that the survey measurements were made in accordance with the "Minimum Angle, Distance, and Closure Requirements for Survey Measurements Which Control Land Boundaries for ALTA/ACSM Land Title Surveys."

John R. Stigler  
 John R. Stigler  
 Wisconsin Registration No. S-1820  
 Dated this 30th day of July, 2014



- LEGEND
- ⊕ MONITORING WELL
  - + CHISELED CROSS - 5' OFFSET TO BLOCK CORNER
  - ⊕ CATCH BASIN
  - ⊕ SANITARY MANHOLE
  - ⊕ ELECTRIC MANHOLE
  - ⊕ WATER MANHOLE
  - ⊕ UNKNOWN MANHOLE
  - ⊕ PARKING METER
  - ⊕ SOIL BORING
  - ⊕ LIGHT POLE
  - ⊕ TRAFFIC SIGNAL POLE
  - ⊕ POWER POLE WITH LIGHT
  - ⊕ MAILBOX
  - ⊕ UNDERGROUND WATER VALVE
  - ⊕ UNDERGROUND GAS VALVE
  - ⊕ ELECTRIC METER
  - ⊕ ELECTRICAL PEDESTAL
  - ⊕ TELEVISION PEDESTAL
  - ⊕ SIGN
  - ⊕ METAL POST
  - ⊕ IRON PIPE FOUND
  - ⊕ IRON PIPE SET
  - EX. UNDERGROUND TELEPHONE
  - EX. UNDERGROUND ELECTRIC
  - CATV — EX. UNDERGROUND CABLE TV
  - OH — EX. OVERHEAD WIRES
  - G — EX. UNDERGROUND GAS MAIN
  - SS — EX. UNDERGROUND SANITARY SEWER
  - ST — EX. UNDERGROUND STORM SEWER
  - W — EX. UNDERGROUND WATER MAIN
  - COM — EX. COMMUNICATIONS LINE
  - BES — EX. BUREAU OF ELECTRICAL SERVICE
  - X — EX. CHAIN LINK FENCE
  - O — EX. METAL RAIL
  - 50 — EX. 1-FOOT CONTOUR LINE
  - 60 — EX. 5-FOOT CONTOUR LINE



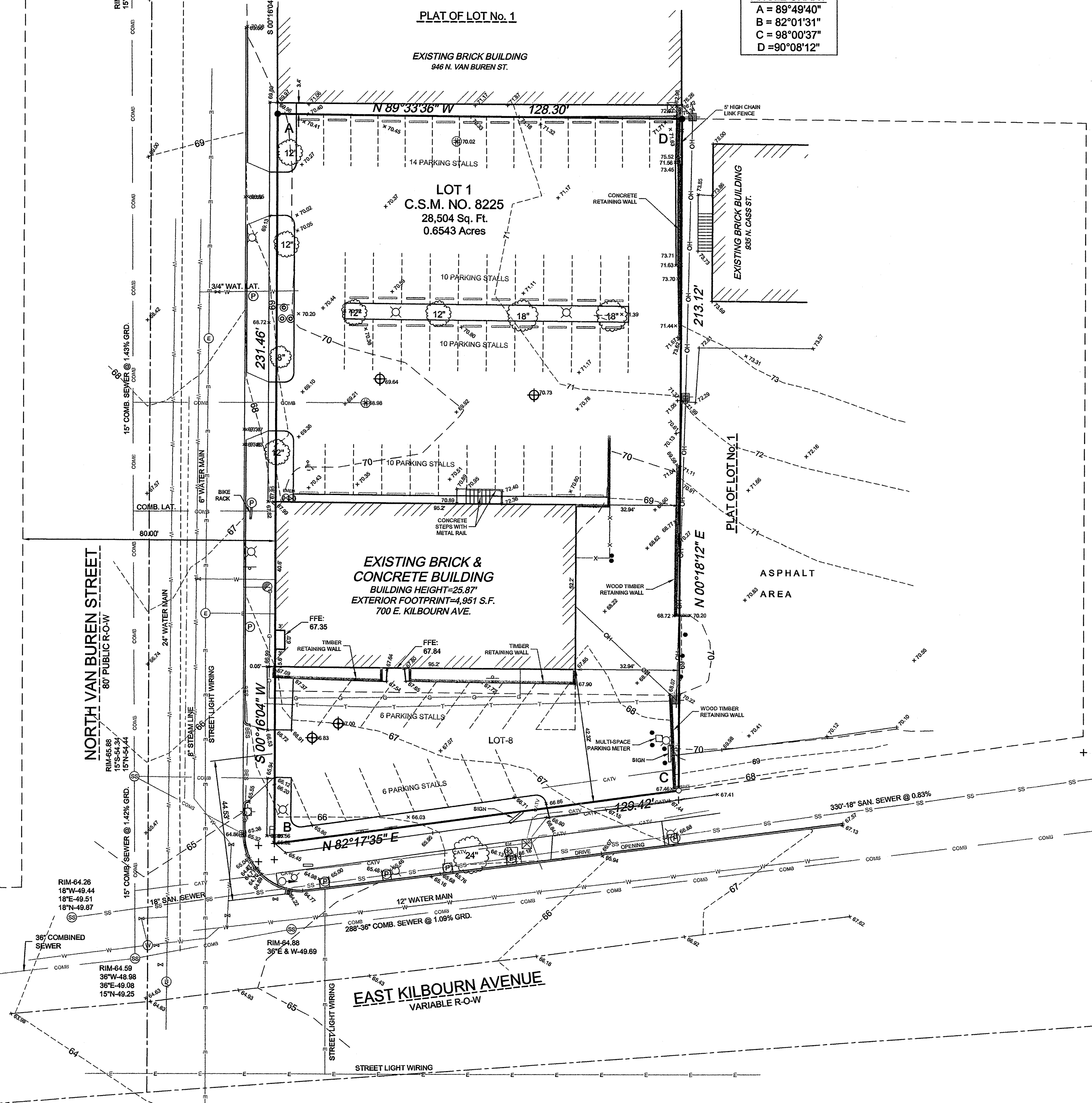
NOTE: The location and size of the underground structures and utilities shown hereon have been located to a reasonable degree of accuracy, but the Engineer and/or Surveyor does not guarantee their exact location or the location of others not shown. Contact Diggers Hotline, Inc., Etc.

FOR: KATTEN MUCHIN ROSENMAN LLP

ALTA/ACSM LAND TITLE SURVEY  
 RE: 700 E. KILBOURN AVE., MILWAUKEE, WI  
 PART OF THE NW 1/4 OF SECTION 28, T7N, R22E,  
 CITY OF MILWAUKEE, MILWAUKEE COUNTY, WI.

JAHNKE & JAHNKE ASSOCIATES, INC.  
 PLANNERS & PROFESSIONAL ENGINEERS  
 711 W. MORELAND BLVD., WAUKESHA, WI 53188  
 TEL.No. (262) 542-5797 FAX (262) 542-7698  
 EMAIL: blinda@jahnkeandjahnke.com

SCALE: 1" = 20'  
 DRAWN BY: B.L. CHECKED BY: J.R.S. DATE: JULY 30, 2014  
 BOOK NO.: MILWAUKEE 91 JOB: S-8306 FILE NO.: MILWAUKEE 808 SHEET 1 OF 1



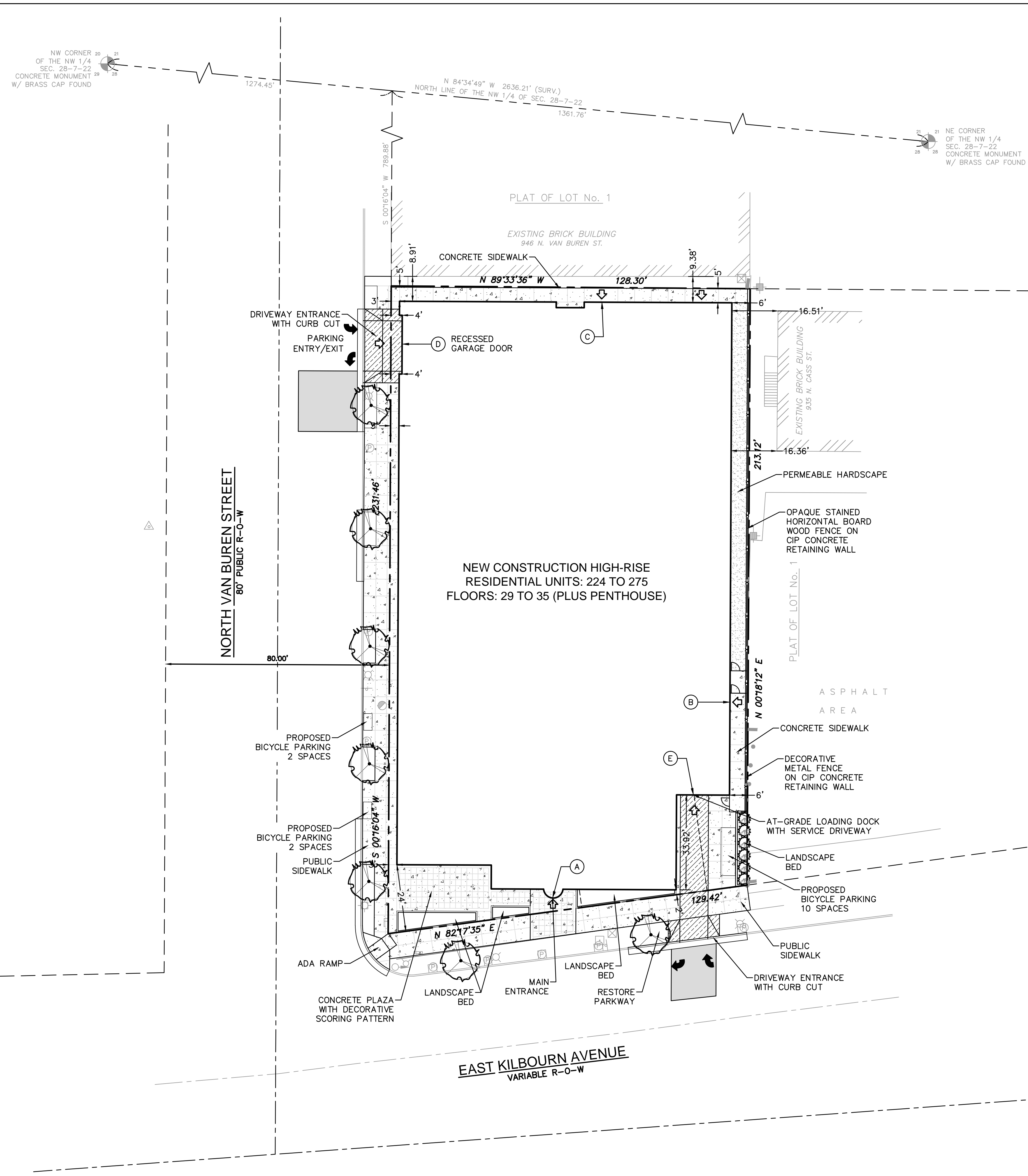
NORTH VAN BUREN STREET  
 80' PUBLIC R.O.W.

EAST KILBOURN AVENUE  
 VARIABLE R-O-W

PLAT OF LOT NO. 1

ANGLE CHART  
 A = 89°49'40"  
 B = 82°01'31"  
 C = 98°00'37"  
 D = 90°08'12"

FILE NAME: PROJECTS\SS8306\DWG\SS8306.dwg



**LEGEND**

- CONCRETE PAVEMENT
- ASPHALT PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- PERMEABLE HARDSCAPE
- DECIDUOUS TREE, 2-1/2" CALIPER
- EVERGREEN TREE, 5-FT HEIGHT

- BUILDING ACCESS LEGEND**
- (A) PRIMARY RESIDENTIAL BUILDING ENTRY/EXIT LOCATION
  - (B) SECONDARY RESIDENTIAL BUILDING ENTRY/EXIT LOCATION
  - (C) BUILDING EXIT
  - (D) VEHICULAR ENTRY/EXIT LOCATION TO PARKING STRUCTURE
  - (E) DELIVERY AND LOADING DOCK ENTRY/EXIT LOCATION

**SITE CALCULATIONS**

	ACRES
TOTAL PARCEL AREA	0.65
EXISTING IMPERVIOUS AREA	0.60
PROPOSED IMPERVIOUS AREA	0.65
TOTAL DISTURBED AREA	0.80

**GENERAL NOTES**

EXISTING TOPOGRAPHY OBTAINED BY JAHNKE & JAHNKE ASSOCIATES, INC, DATED JULY 2014.

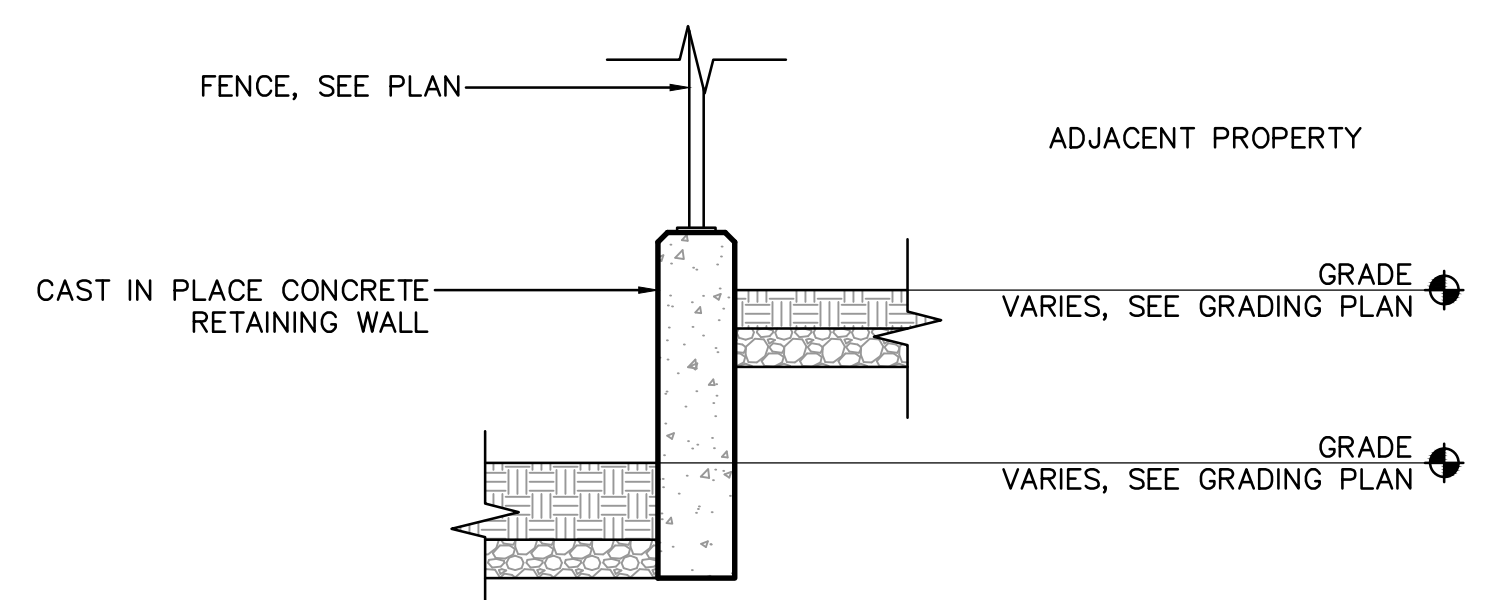
CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSION OF ENTRANCES, VESTIBULES, STAIRS, RETAINING WALLS, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.

CONTRACTOR SHALL PROVIDE EROSION CONTROL FACILITIES IN ACCORDANCE WITH THE CITY OF MILWAUKEE EROSION CONTROL ORDINANCE AND WISCONSIN DNR TECHNICAL STANDARDS.

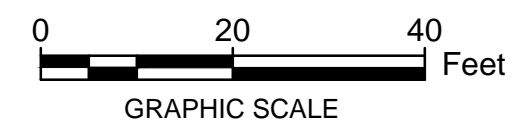
ALL DIMENSIONS AND CORRESPONDING HORIZONTAL CONTROL RELATED TO PAVING REPRESENT FACE OF CURB, ELEVATIONS AND CONTOURS REPRESENT FINISHED GRADES UNLESS OTHERWISE INDICATED. BUILDINGS ARE DIMENSIONED TO FACE OF BUILDING.

BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE SIZE, LOCATION AND ELEVATION OF ALL UTILITIES.

ALL SITE SIGNAGE MUST COMPLY WITH THE MOST RECENT EDITION OF THE FEDERAL HIGHWAY ADMINISTRATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.



**DETAIL AT RETAINING WALL**  
REFER TO STRUCTURAL DRAWINGS FOR FURTHER INFORMATION N.T.S.



**DIGGERS HOTLINE**  
Toll Free (800) 242-8611  
Milwaukee Area (414) 259-1151  
Hearing Impaired TDD (800) 542-2289  
www.DiggersHotline.com

R.A. SMITH NATIONAL ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A. SMITH NATIONAL.

THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

DESCRIPTION	DATE

**R.A. Smith National**  
Beyond Surveying and Engineering

16745 W. Bluemound Road, Brookfield, WI 53005-5938  
262-781-1000 Fax 262-781-8466; www.rasmithnational.com  
Appleton, WI Orange County, CA Pittsburgh, PA

**700 E KILBOURN  
CITY OF MILWAUKEE, WISCONSIN**

**SITE AND LANDSCAPE  
PLAN**

© COPYRIGHT 2014  
R.A. Smith National, Inc.  
DATE: 09/26/2014  
SCALE: 1" = 20'  
JOB NO. 3140345  
PROJECT MANAGER:  
CHRISTOPHER HITCH, P.E.  
DESIGNED BY: AJS  
CHECKED BY: CDH

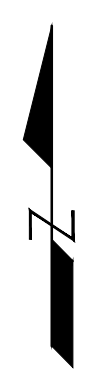
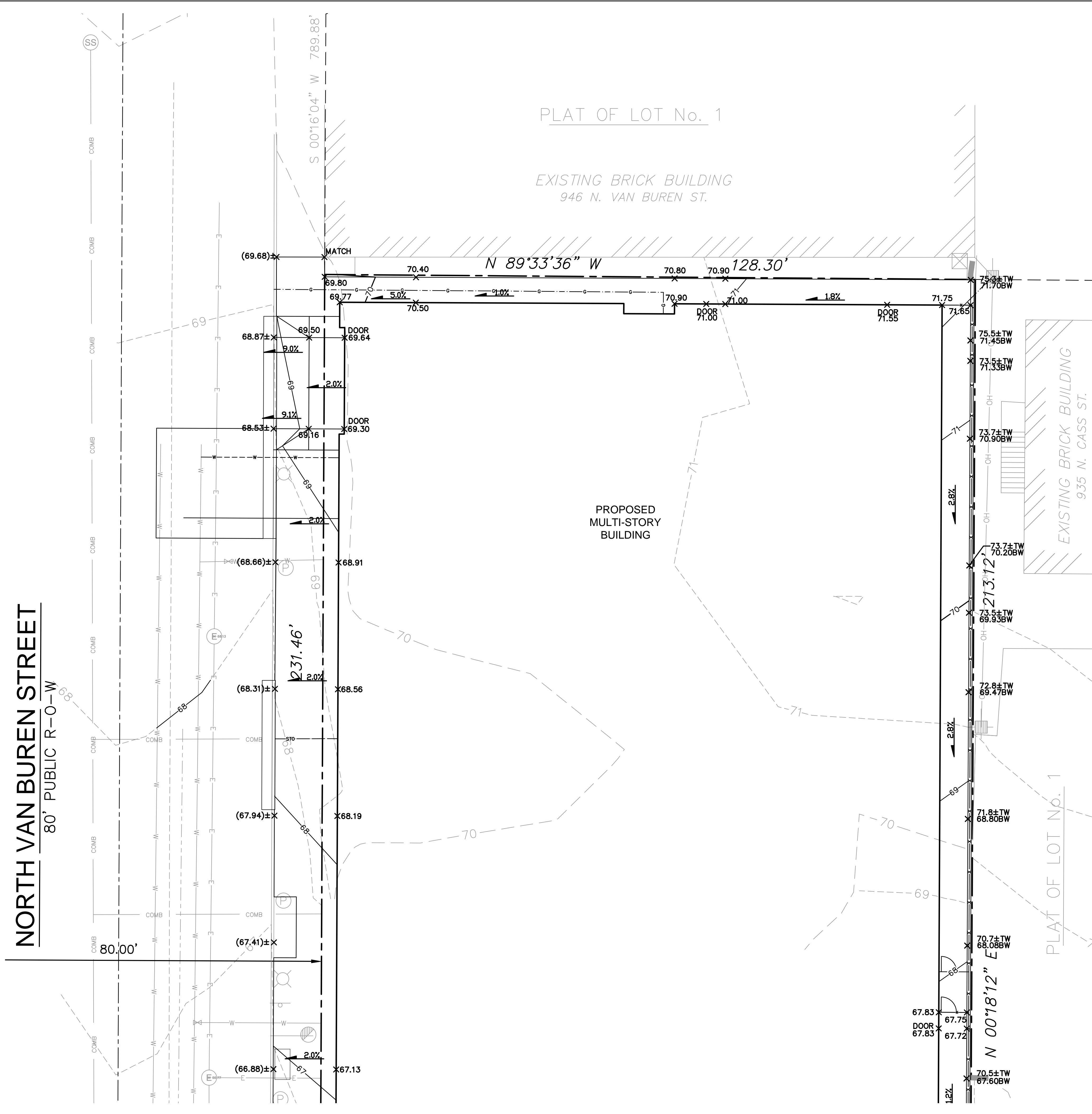
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C1-00



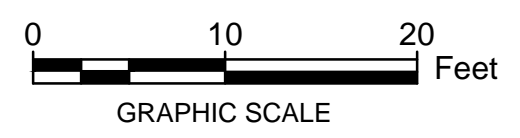


P:\3140345\Drwg Construction Plans\GR001D20.dwg GRADING - NORTH 9/19/2014 4:42:13 PM AJS

**NORTH VAN BUREN STREET**  
80' PUBLIC R-O-W



LEGEND	
---	EXISTING 5-FT CONTOUR
---	EXISTING 1-FT CONTOUR
---	PROPOSED 5-FT CONTOUR
---	PROPOSED 1-FT CONTOUR
X	PROPOSED SPOT GRADE AT GUTTER OR SPOT GRADE ON PAVEMENT
X	PROPOSED SPOT GRADE AT TOP OF CURB
X	PROPOSED GRADE AT TOP/WALL
X	PROPOSED GRADE AT BOTTOM/WALL
→	PROPOSED GRADING SLOPE ARROW



**DIGGERS HOTLINE**  
Toll Free (800) 242-8611  
Milwaukee Area (414) 259-1181  
Hearing Impaired TDD (800) 542-2289  
www.DiggerHotline.com

RIM ELEVATIONS ARE GIVEN TO THE FACE OF CURB FOR INLET GRATES OR THE CENTER OF THE MANHOLE STRUCTURE FOR MANHOLES. PIPE LENGTHS ARE MEASURED TO THE CENTER OF STRUCTURE OR THE END OF PIPE WHERE THERE IS AN ENDWALL.

ALL RETAINING WALLS SHOWN ON THESE PLANS ARE FOR LOCATION AND MATERIAL REFERENCE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR CONSULTING WITH A GEOTECHNICAL ENGINEER AND/OR STRUCTURAL ENGINEER FOR APPROPRIATE DESIGN CERTIFICATION PRIOR TO CONSTRUCTION, DEPENDING ON THE TYPE OF WALL. FOR ALL CONCRETE BLOCK MODULAR SYSTEMS, CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION PER MANUFACTURER'S SPECIFICATIONS. ALL NECESSARY GEOGRID, REINFORCEMENT, BACKFILL, COMPACTION AND DRAIN TILE ARE TO BE COORDINATED BETWEEN THE CONTRACTOR, GEOTECHNICAL ENGINEER, AND SUPPLIER. FOR ALL NATURAL STONE WALLS, CONTRACTOR IS RESPONSIBLE FOR INSTALLATION USING ALL NECESSARY MEANS TO INSURE PROPER SUB-BASE, BACKFILL, DRAIN TILE AND STABILITY. RASN ASSUMES NO RESPONSIBILITY FOR THE INSTALLATION, GEOTECHNICAL INTEGRITY, OR STABILITY OF THESE RETAINING WALLS.

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THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

DATE	DESCRIPTION

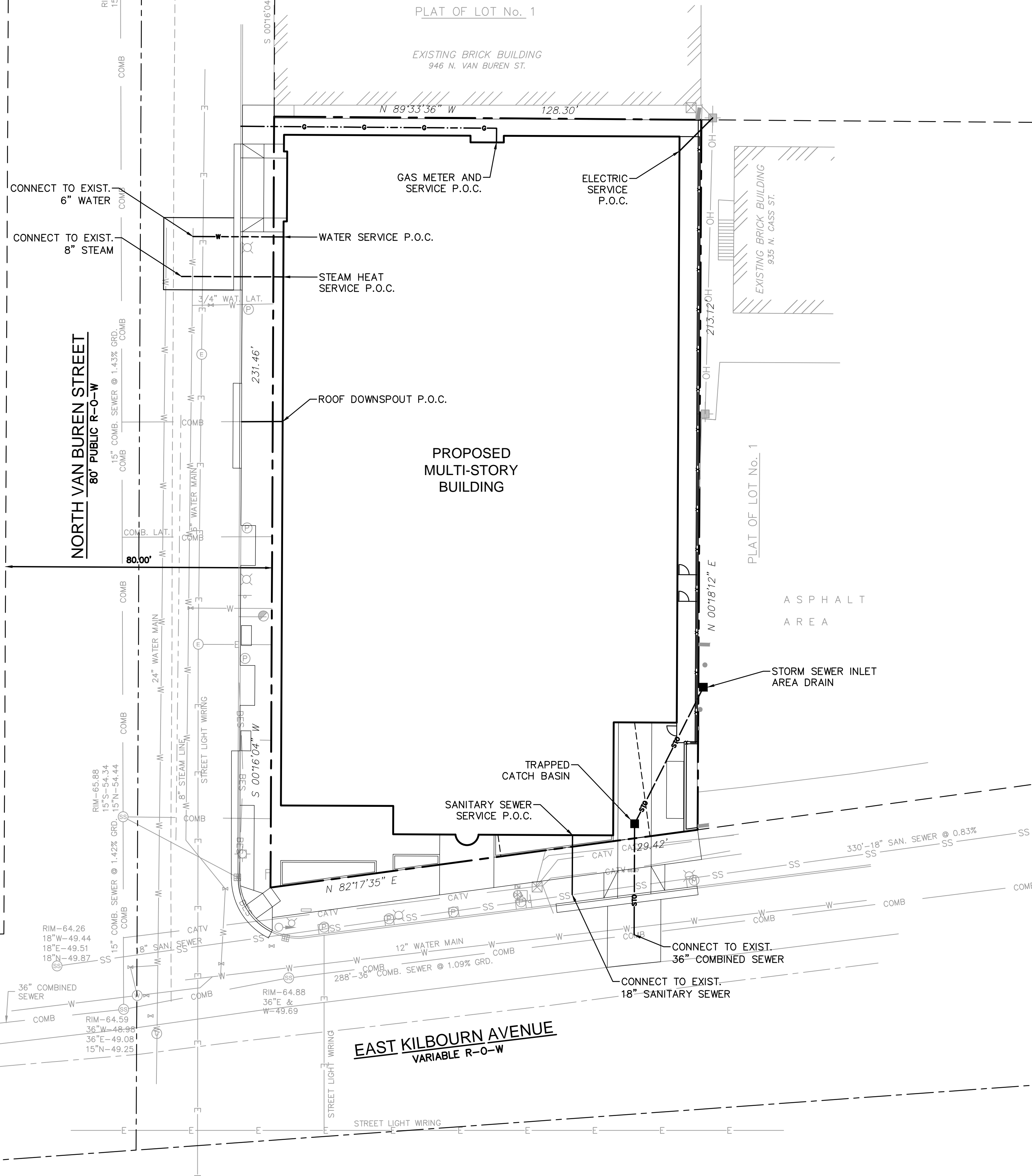
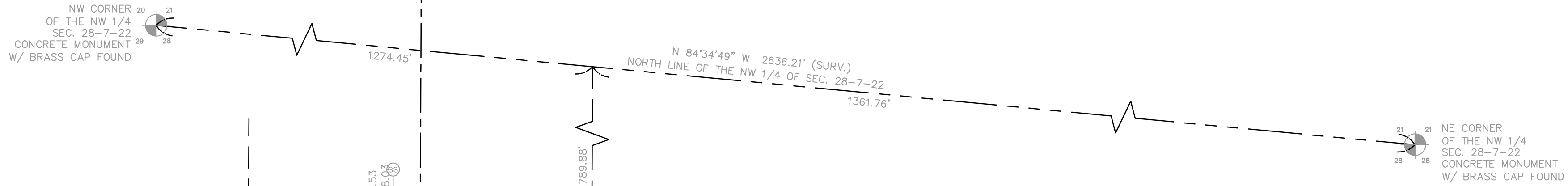
**R.A. Smith National**  
*Beyond Surveying and Engineering*  
16745 W. Bluemound Road, Brookfield, WI 53005-5938  
262-781-1000 Fax 262-781-8466; www.rasmithnational.com  
Appleton, WI Orange County, CA Pittsburgh, PA

700 E KILBOURN  
CITY OF MILWAUKEE, WISCONSIN  
GRADING PLAN  
NORTH

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DATE: 09/26/2014
SCALE: 1" = 10'
JOB NO. 3140345
PROJECT MANAGER: CHRISTOPHER HITCH, P.E.
DESIGNED BY: AJS
CHECKED BY: CDH
<b>SHEET NUMBER</b>
C3-00







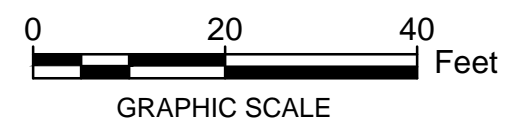
**LEGEND**

	PROPOSED STORM SERVICE
	PROPOSED STEAM SERVICE
	PROPOSED SANITARY SERVICE
	PROPOSED WATER SERVICE
	PROPOSED GAS SERVICE
	PROPOSED ELECTRIC SERVICE

**UTILITY NOTES**

BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE SIZE, LOCATION AND ELEVATION OF ALL UTILITIES.

ALL EXISTING UNUSED SANITARY AND WATER SERVICE LATERALS SERVING THE SITE SHALL BE ABANDONED.



**DIGGERS HOTLINE**  
 Toll Free (800) 242-8811  
 Milwaukee Area (414) 259-1181  
 Hearing Impaired TDD (800) 542-2289  
 www.DiggersHotline.com

TRACER WIRE SHALL BE INSTALLED ON ALL NON-METALLIC SANITARY, STORM AND WATER MAINS, AND LATERALS IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION, LATEST EDITION, AND ANY ADDITIONAL LOCAL REQUIREMENTS AS APPLICABLE.

ALL PROPOSED UTILITY IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE WISCONSIN ADMINISTRATIVE CODE, SECTION SPS 382-387, LATEST EDITION; THE STANDARD SPECIFICATION FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION; AND CITY OF MILWAUKEE DEVELOPMENT REQUIREMENTS.

RIM ELEVATIONS ARE GIVEN TO THE FACE OF CURB FOR INLET GRATES OR THE CENTER OF THE MANHOLE STRUCTURE FOR MANHOLES. PIPE LENGTHS ARE MEASURED TO THE CENTER OF STRUCTURE OR THE END OF PIPE WHERE THERE IS AN ENDWALL.

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THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

DATE	DESCRIPTION

**R.A. Smith National**  
*Beyond Surveying and Engineering*  
 16745 W. Bluemound Road, Brookfield, WI 53005-5938  
 262-781-1000 Fax 262-781-8466; www.rasmithnational.com  
 Appleton, WI Orange County, CA Pittsburgh, PA

**700 E KILBOURN**  
**CITY OF MILWAUKEE, WISCONSIN**  
**UTILITY PLAN**

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DATE: 09/26/2014
SCALE: 1" = 20'
JOB NO. 3140345
PROJECT MANAGER: CHRISTOPHER HITCH, P.E.
DESIGNED BY: AJS
CHECKED BY: CDH
<b>SHEET NUMBER</b>
C4-00

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**ROOM LEGEND**

- AMENITY
- BUILDING SERVICE
- CIRCULATION
- PARKING
- RETAIL

**FitzGerald**  
 Associates Architects  
 912 W. Lake St. Chicago, Illinois  
 t 312-563-9100 f 312-563-1919  
 www.fitzgeraldassociates.net

CONSULTANT:

14053  
 700 EAST KILBOURN  
 MILWAUKEE, WI

CLIENT:  
**CARROLL PROPERTIES**  
 225 W WASHINGTON SUITE 1450  
 CHICAGO, IL 60606

9/26/14 DESIGN REVIEW RESPONSE

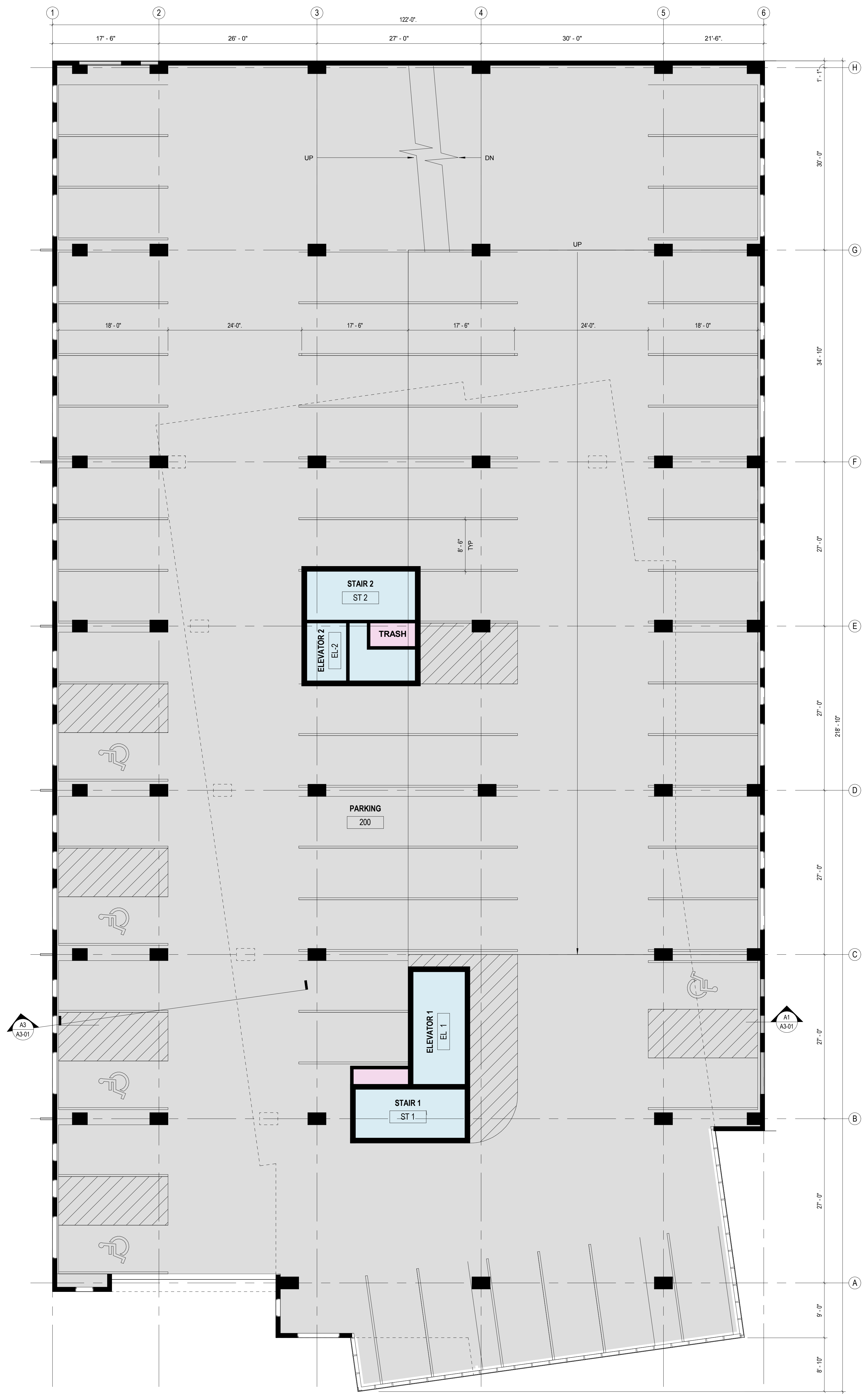
GROUND FLOOR PLAN

A1-01





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**ROOM LEGEND**

- BUILDING SERVICE
- CIRCULATION
- PARKING

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 912 W. Lake St. t 312-563-9100  
 Chicago, Illinois f 312-563-1919  
 www.fitzgeraldassociates.net

CONSULTANT:

14053

**700 EAST  
 KILBOURN  
 MILWAUKEE, WI**

CLIENT:  
**CARROLL  
 PROPERTIES**  
 225 W WASHINGTON  
 SUITE 1450  
 CHICAGO, IL 60606

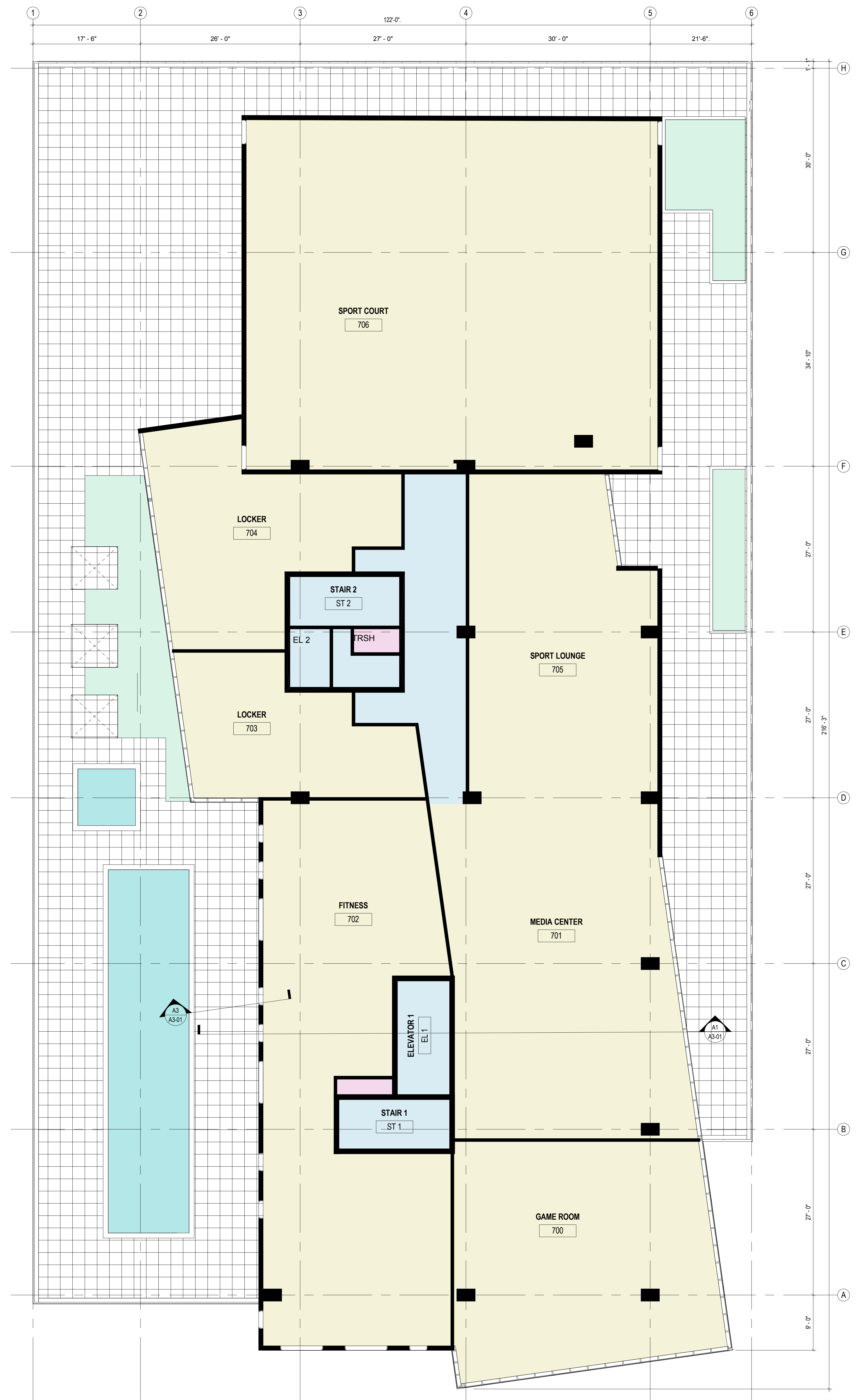
9/26/14 DESIGN REVIEW RESPONSE

**SECOND TO  
 SIXTH FLOOR  
 PLAN**

**A1-02**



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**ROOM LEGEND**

- AMENITY
- BUILDING SERVICE
- CIRCULATION
- VEGETATIVE ROOF

**FitzGerald**  
 Associates Architects  
 912 W. Lake St. Chicago, Illinois  
 t 312-563-9100 f 312-563-1919  
 www.fitzgeraldassociates.net

CONSULTANT:

14053

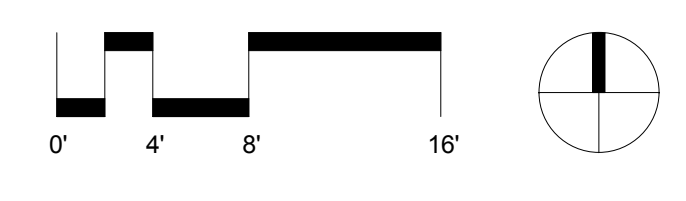
**700 EAST KILBOURN**  
 MILWAUKEE, WI

CLIENT:  
**CARROLL PROPERTIES**  
 225 W WASHINGTON SUITE 1450  
 CHICAGO, IL 60606

9/26/14 DESIGN REVIEW RESPONSE

**SEVENTH FLOOR PLAN**

**A1-03**





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**ROOM LEGEND**

- BUILDING SERVICE
- CIRCULATION
- RESIDENTIAL

**FitzGerald**  
 Associates Architects  
 912 W. Lake St. 1 312-563-9100  
 Chicago, Illinois 1 312-563-1919  
 www.fitzgeraldassociates.net

CONSULTANT:

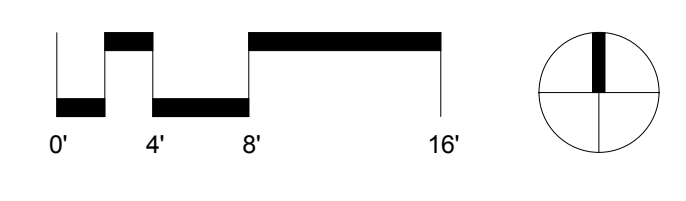
14053  
**700 EAST KILBOURN**  
 MILWAUKEE, WI

CLIENT:  
**CARROLL PROPERTIES**  
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9/26/14 DESIGN REVIEW RESPONSE

**EIGHTH TO THIRTEENTH FLOOR PLAN**

**A1-04**





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### ROOM LEGEND

- BUILDING SERVICE
- CIRCULATION
- RESIDENTIAL

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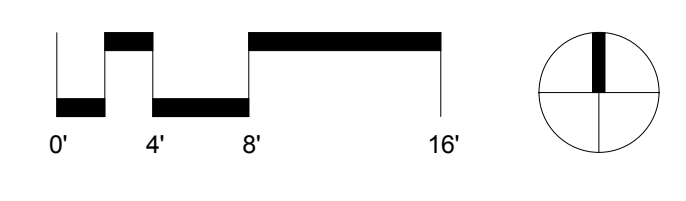
14053

**700 EAST  
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9/26/14 DESIGN REVIEW RESPONSE

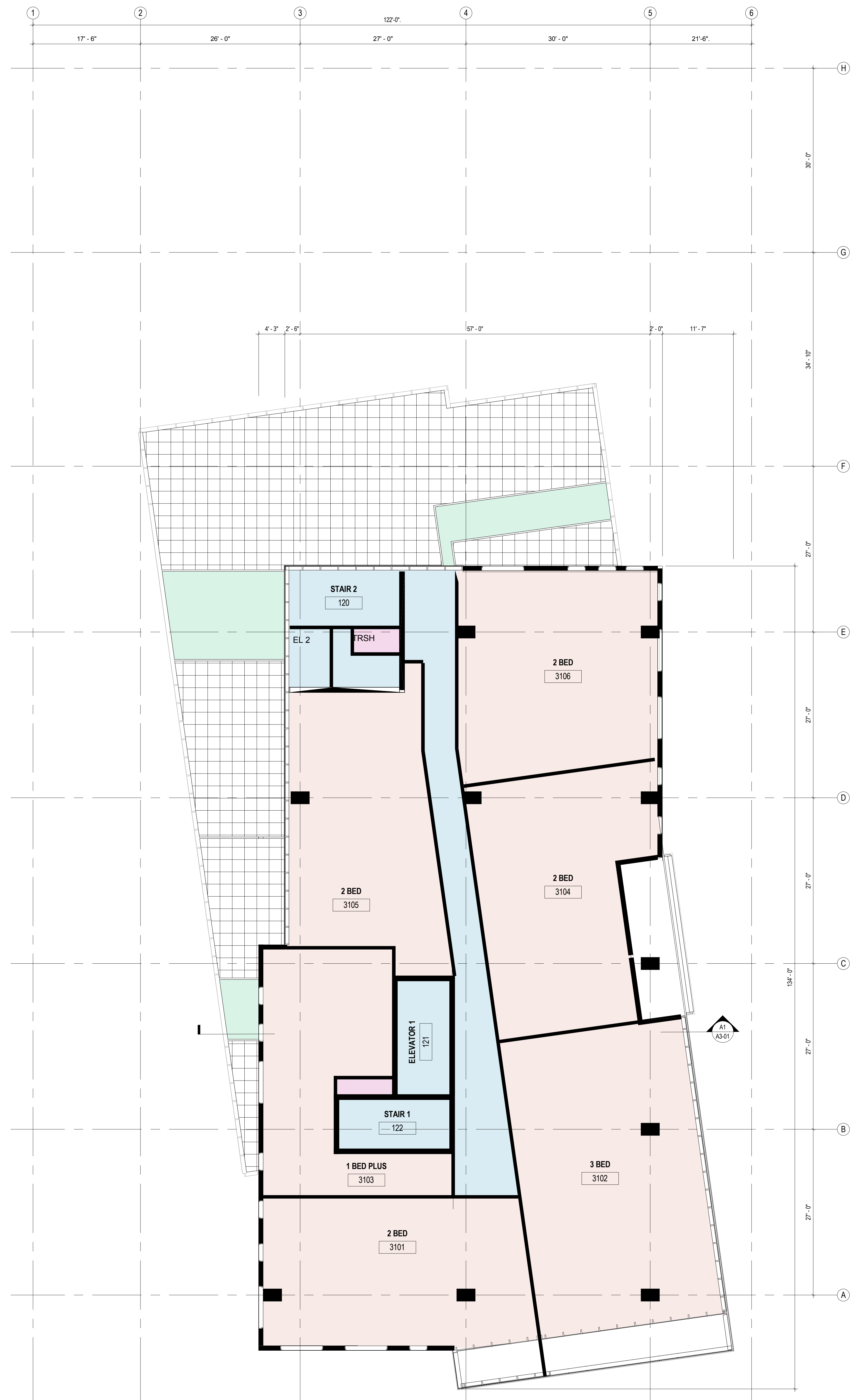
**FOURTEENTH TO  
 THIRTIETH  
 FLOOR PLAN**



# A1-05



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### ROOM LEGEND

- BUILDING SERVICE
- CIRCULATION
- RESIDENTIAL
- VEGETATIVE ROOF

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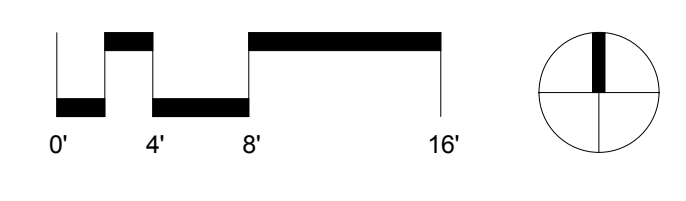
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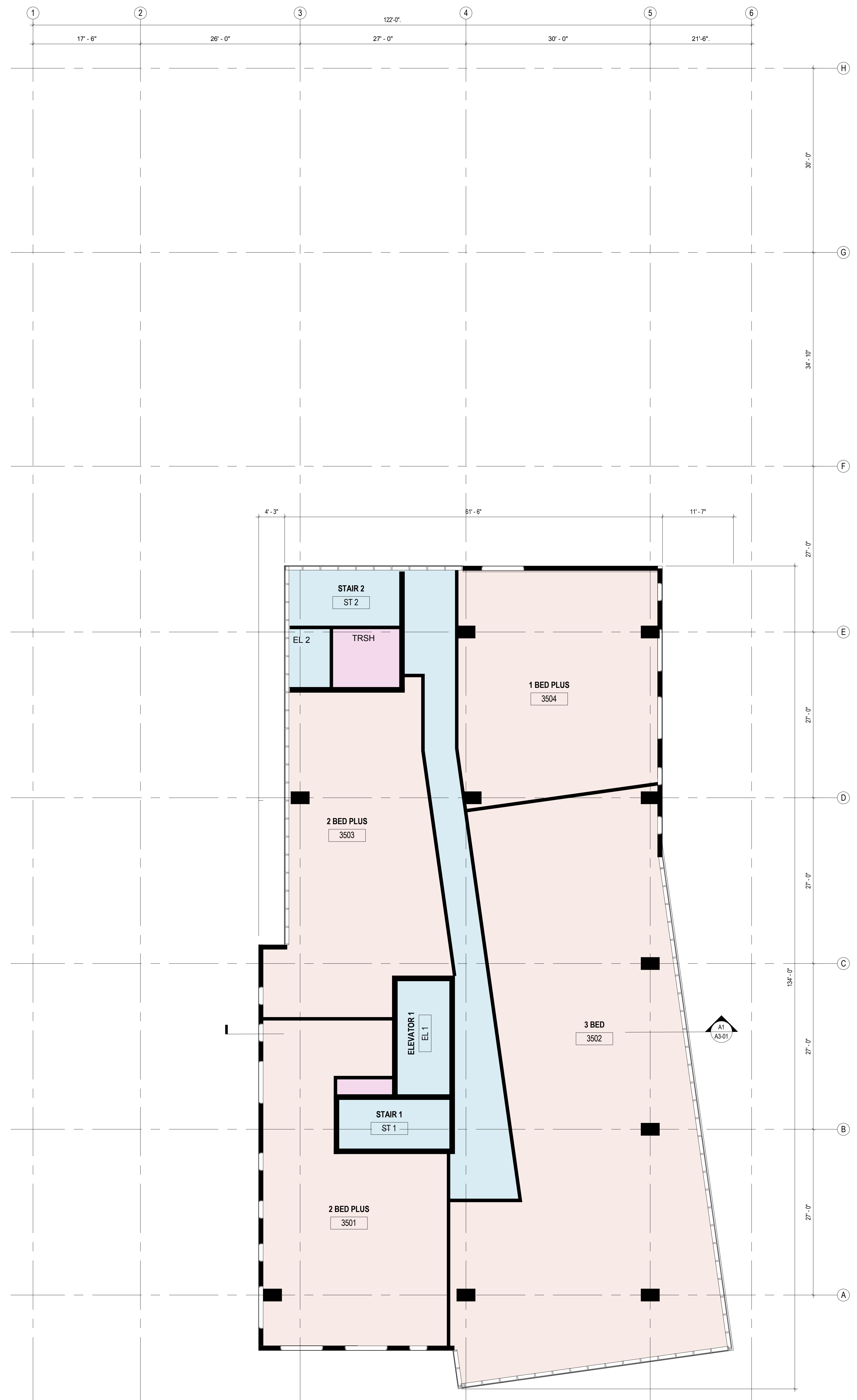
**THIRTY-FIRST TO  
 THIRTY-FOURTH  
 FLOOR PLAN**



# A1-06



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### ROOM LEGEND

- BUILDING SERVICE
- CIRCULATION
- RESIDENTIAL

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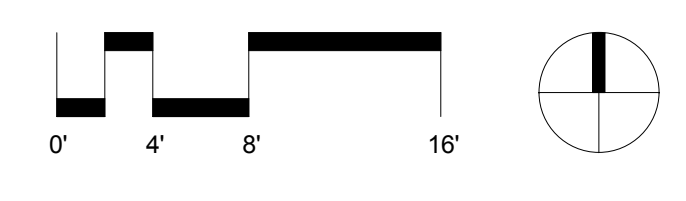
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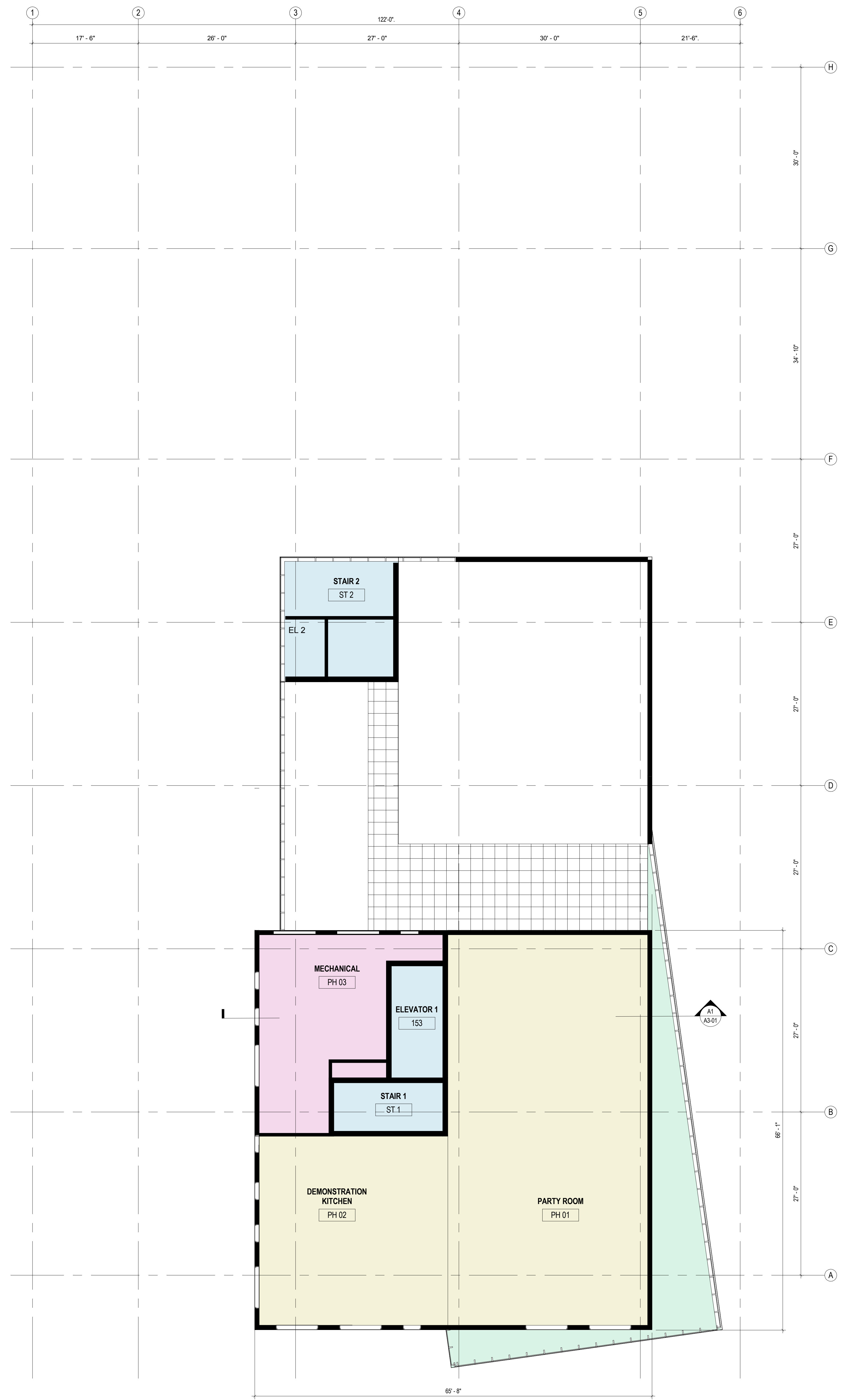
**THIRTY-FIFTH  
FLOOR PLAN**

**A1-07**





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### ROOM LEGEND

- AMENITY
- BUILDING SERVICE
- CIRCULATION
- VEGETATIVE ROOF

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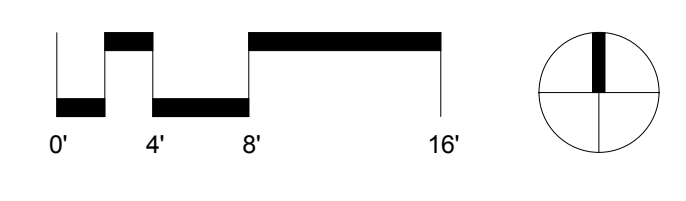
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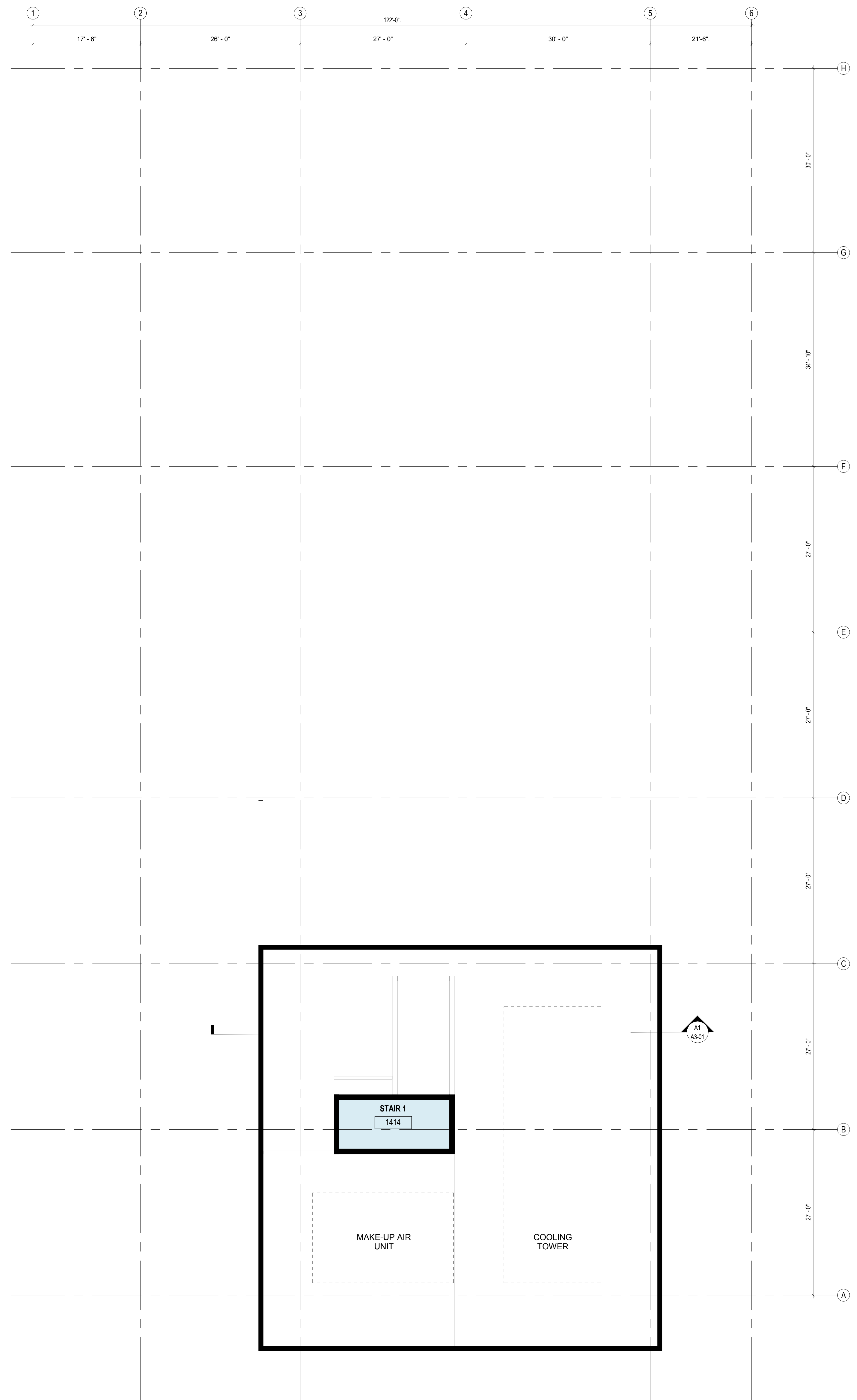
**PENTHOUSE FLOOR PLAN**

**A1-08**





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### ROOM LEGEND

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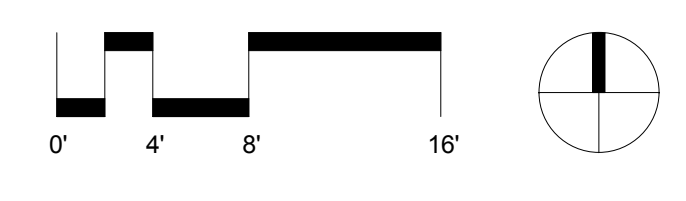
**700 EAST  
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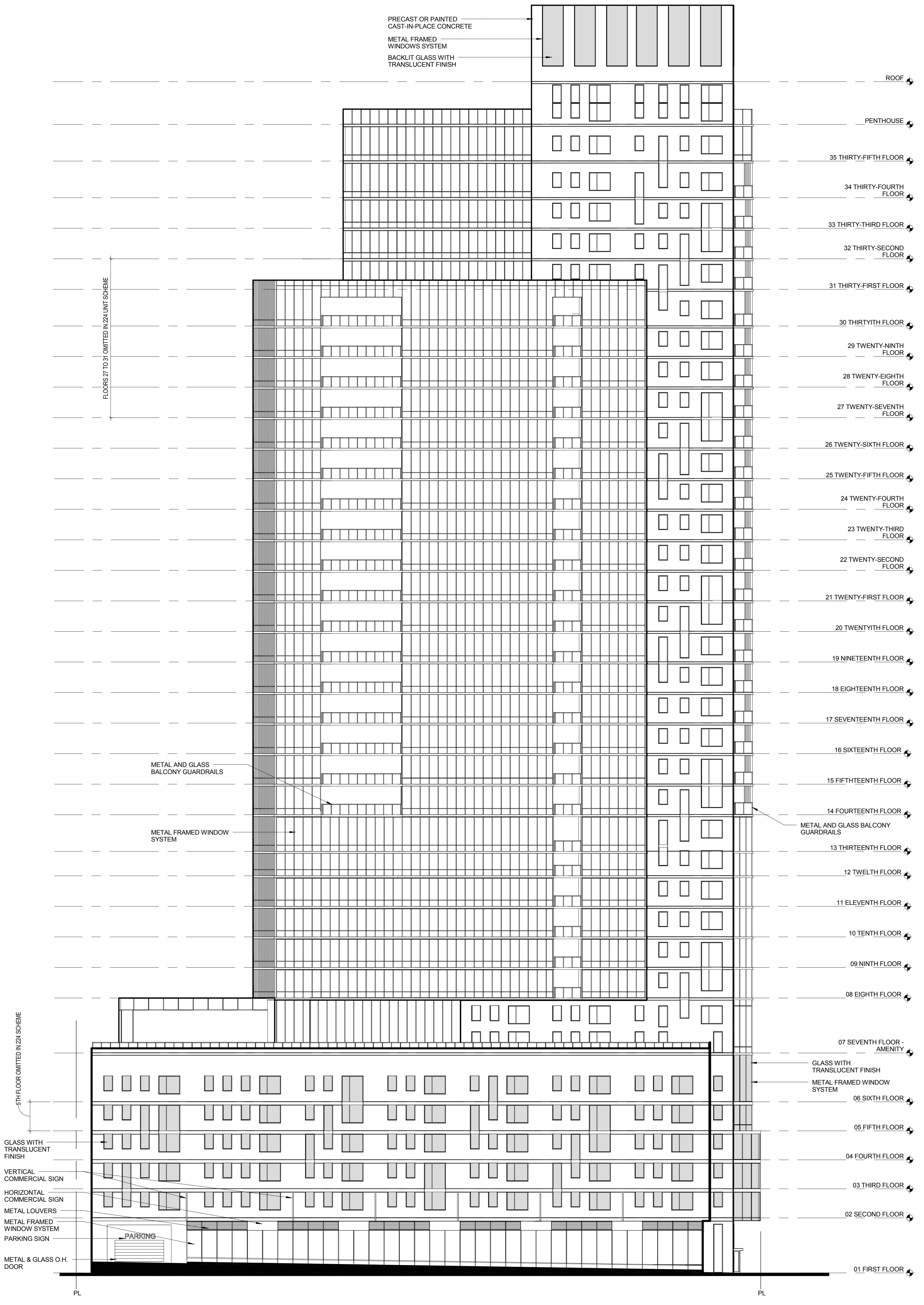
ROOF PLAN

**A1-09**

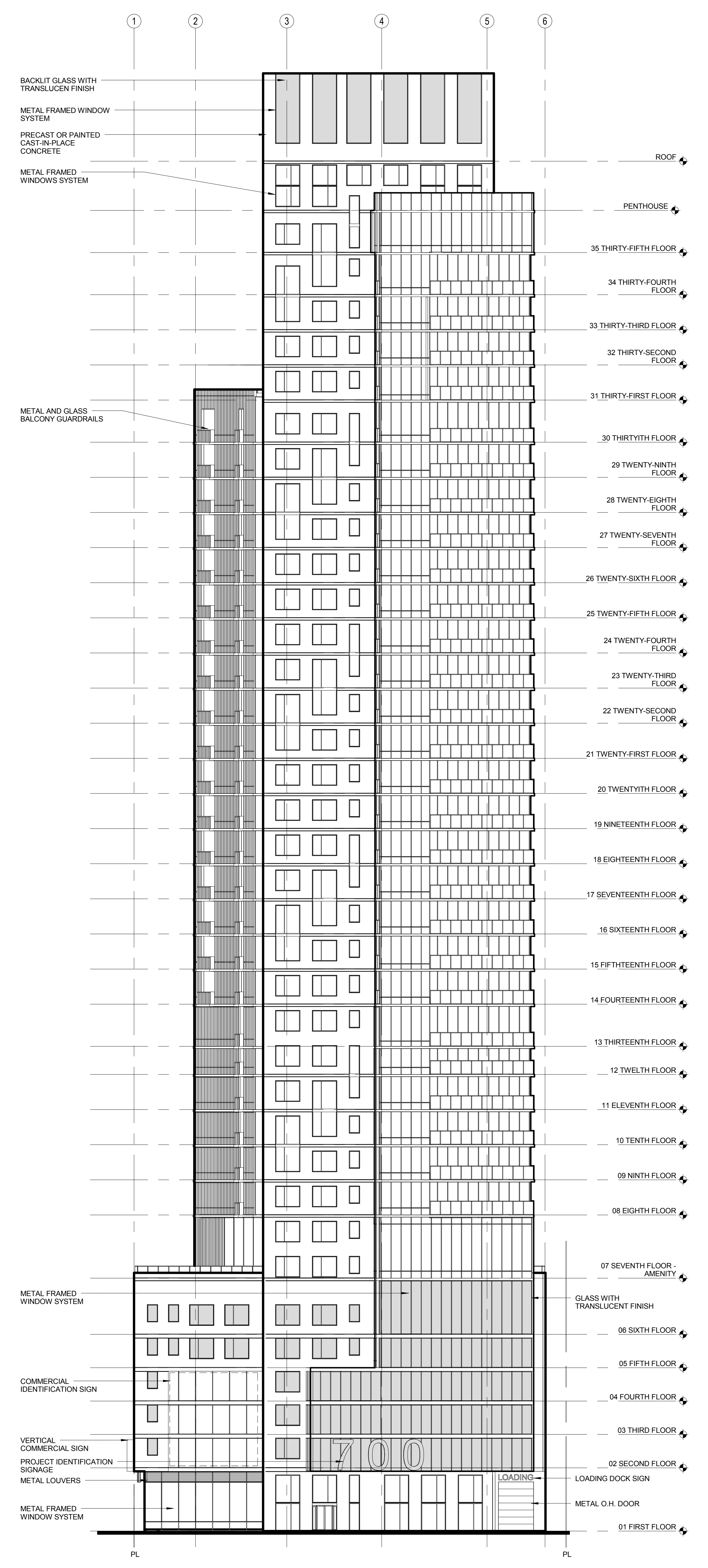




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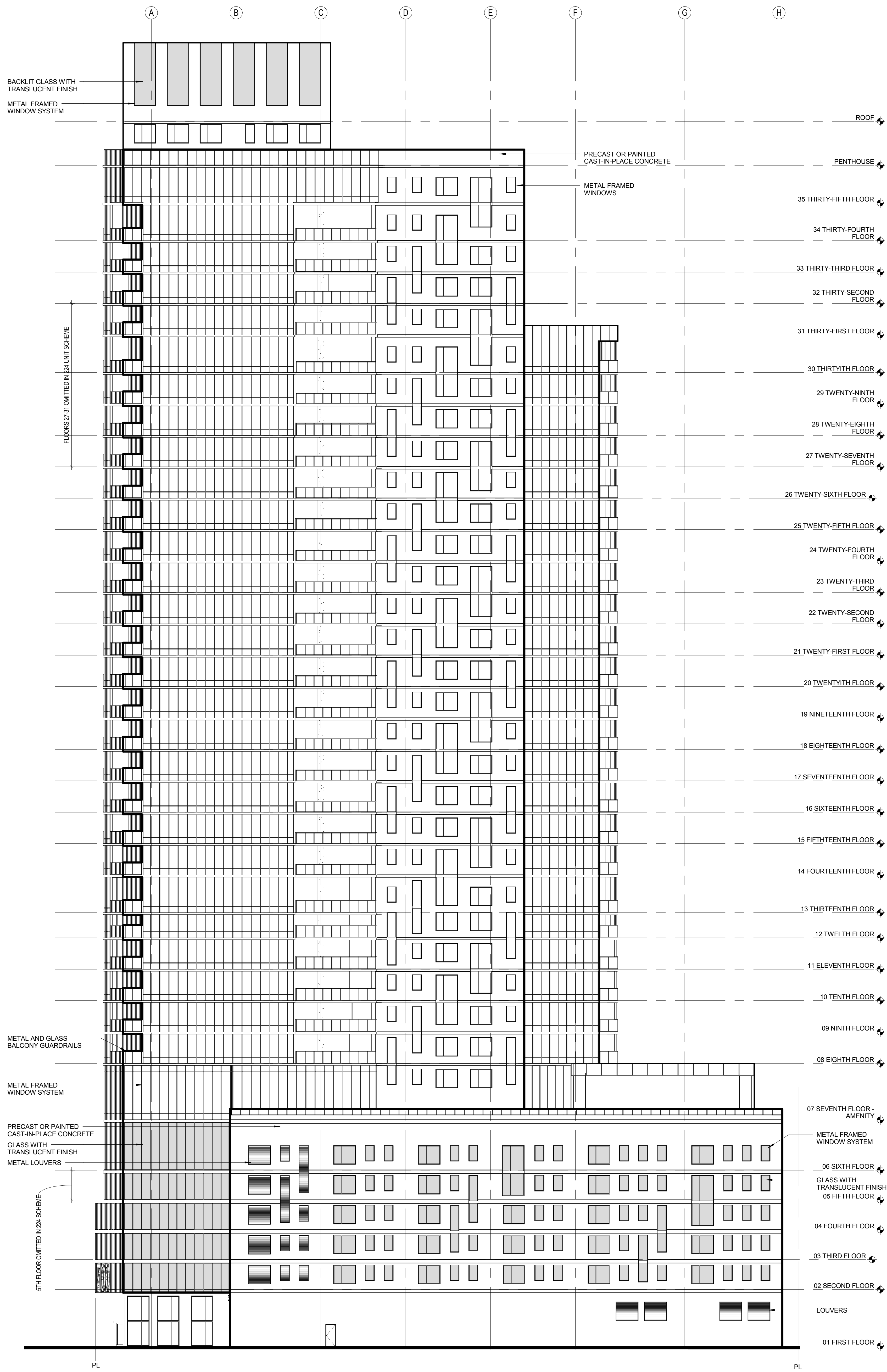
**A2 WEST ELEVATION**  
1/16" = 1'-0"



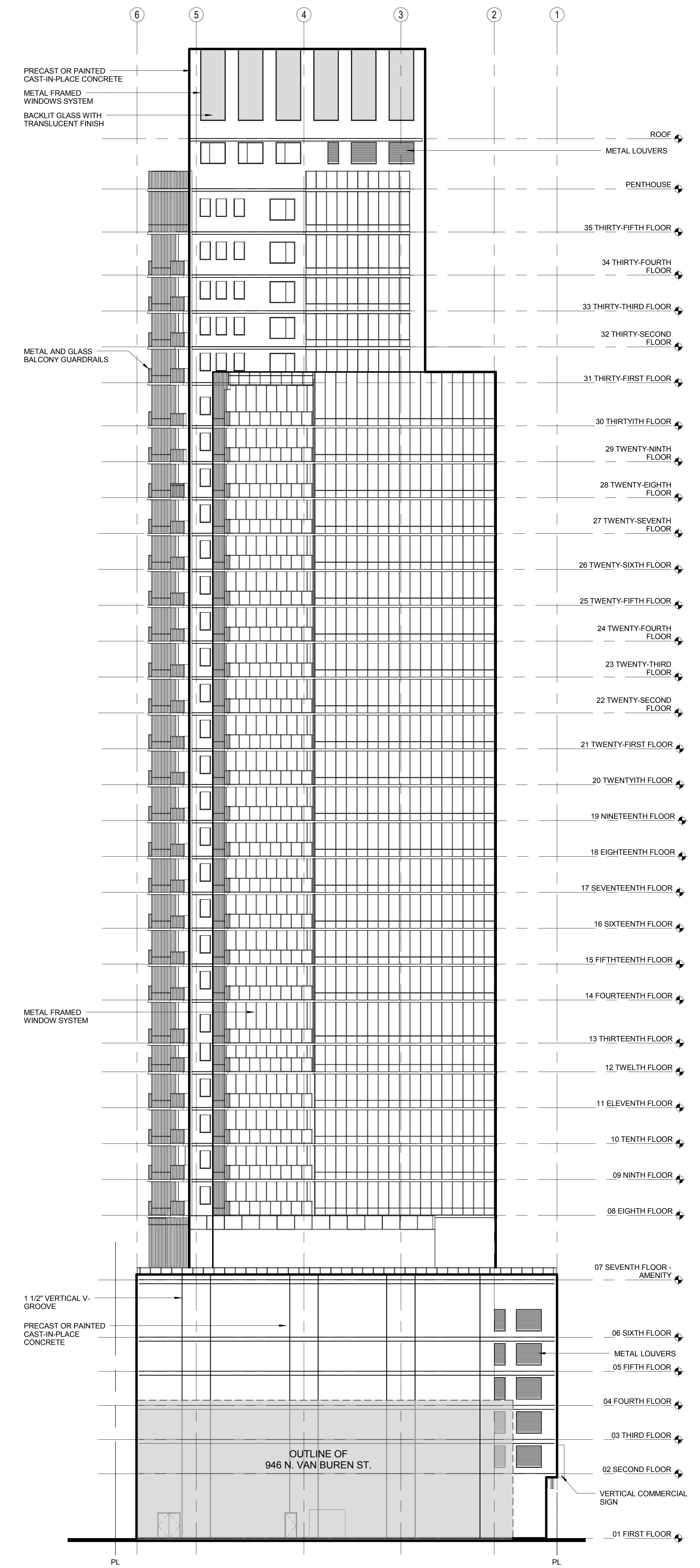
**A1 SOUTH ELEVATION**  
1/16" = 1'-0"



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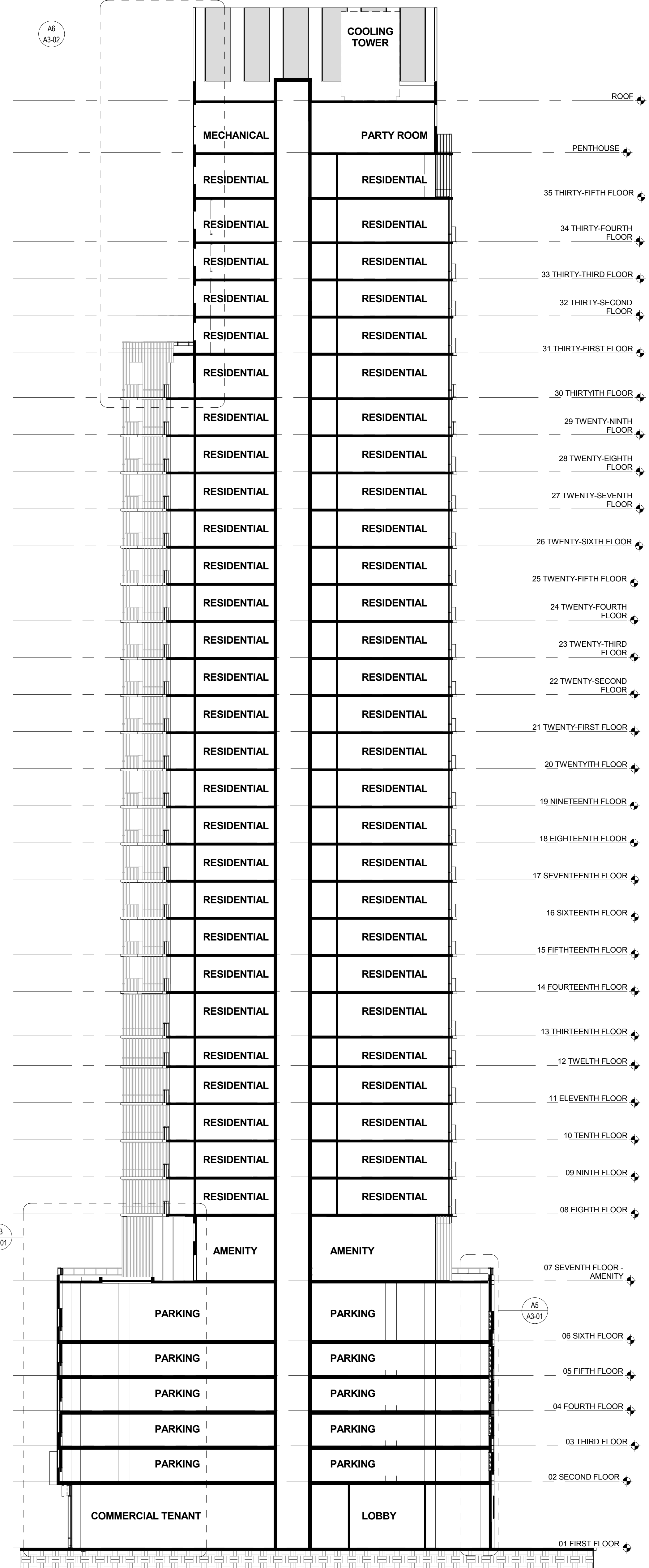
**A2 EAST ELEVATION**  
1/16" = 1'-0"



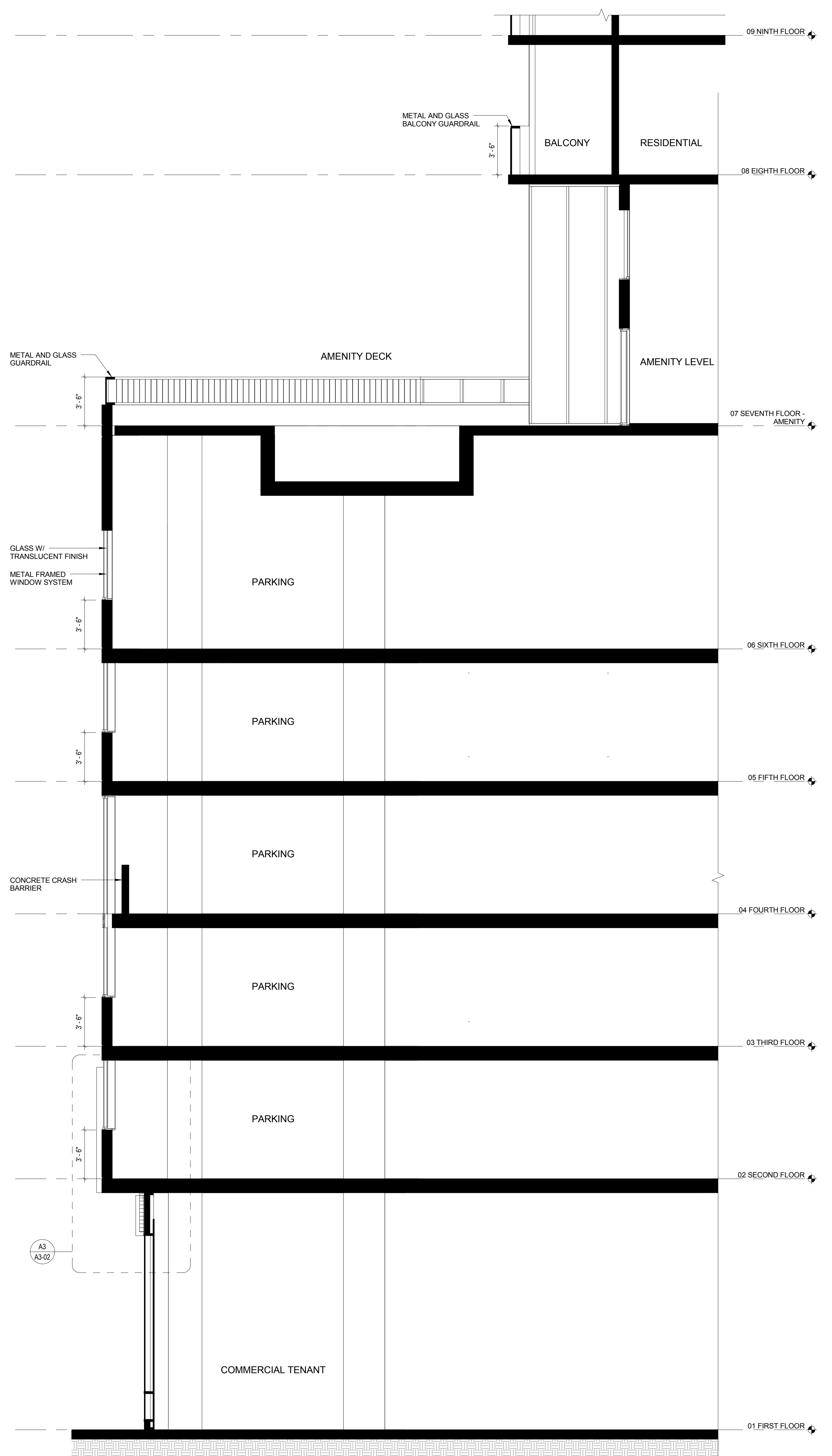
**A1 NORTH ELEVATION**  
1/16" = 1'-0"



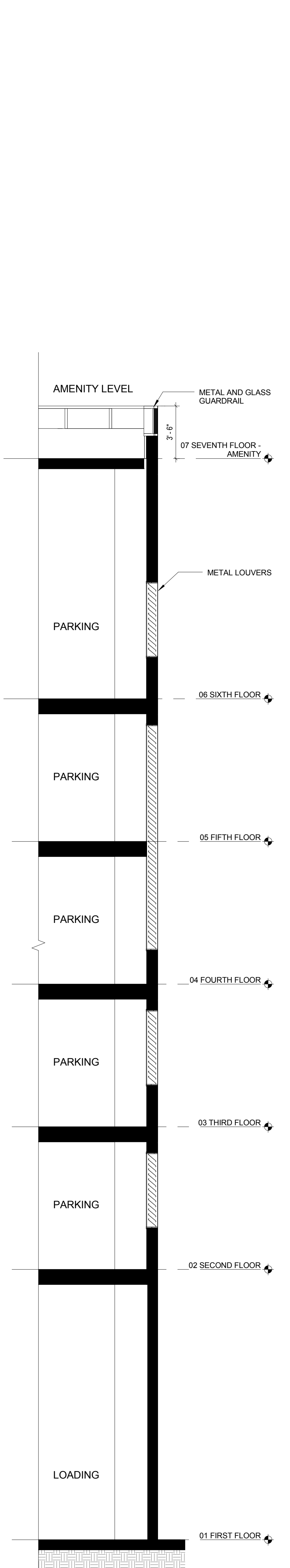
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**A1 SECTION AT COL LINE B**  
1/16" = 1'-0"



**A3 EXTERIOR WALL SECTION @ GARAGE**  
1/4" = 1'-0"



**A5 EXT WALL SECTION @ LOUVER**  
1/4" = 1'-0"

CONSULTANT:

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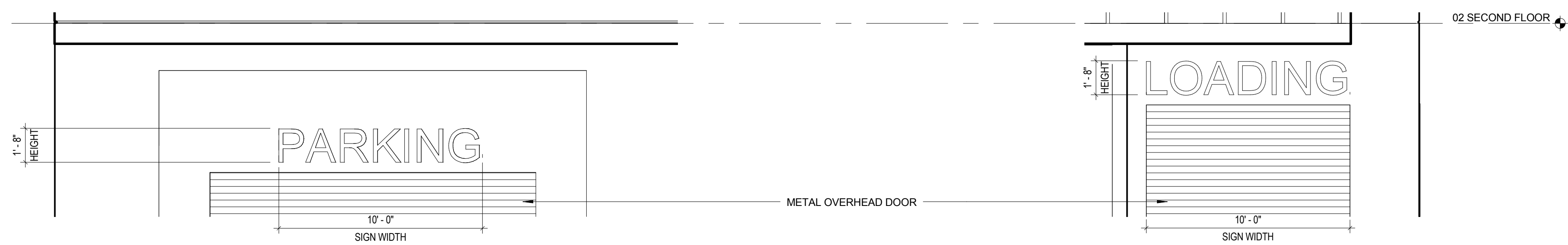
9/26/14 DESIGN REVIEW RESPONSE

**BUILDING SECTIONS**

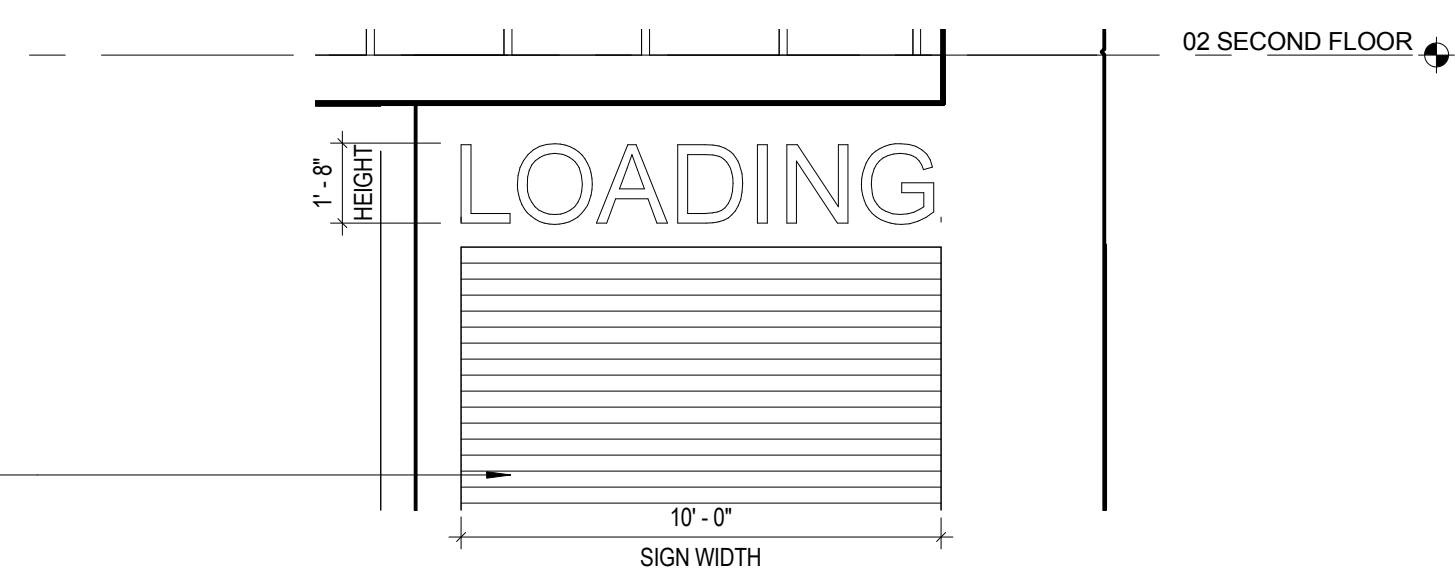
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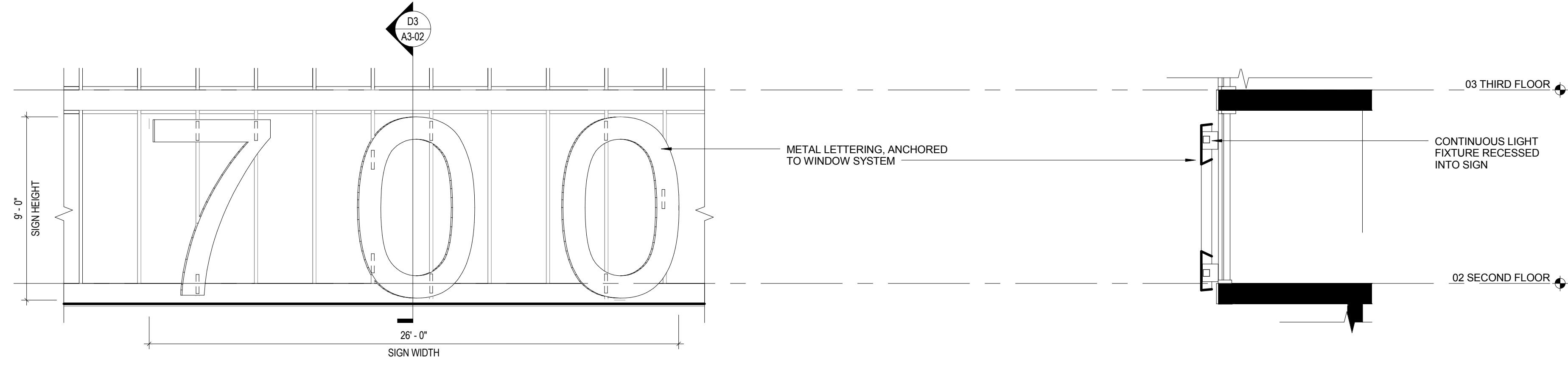
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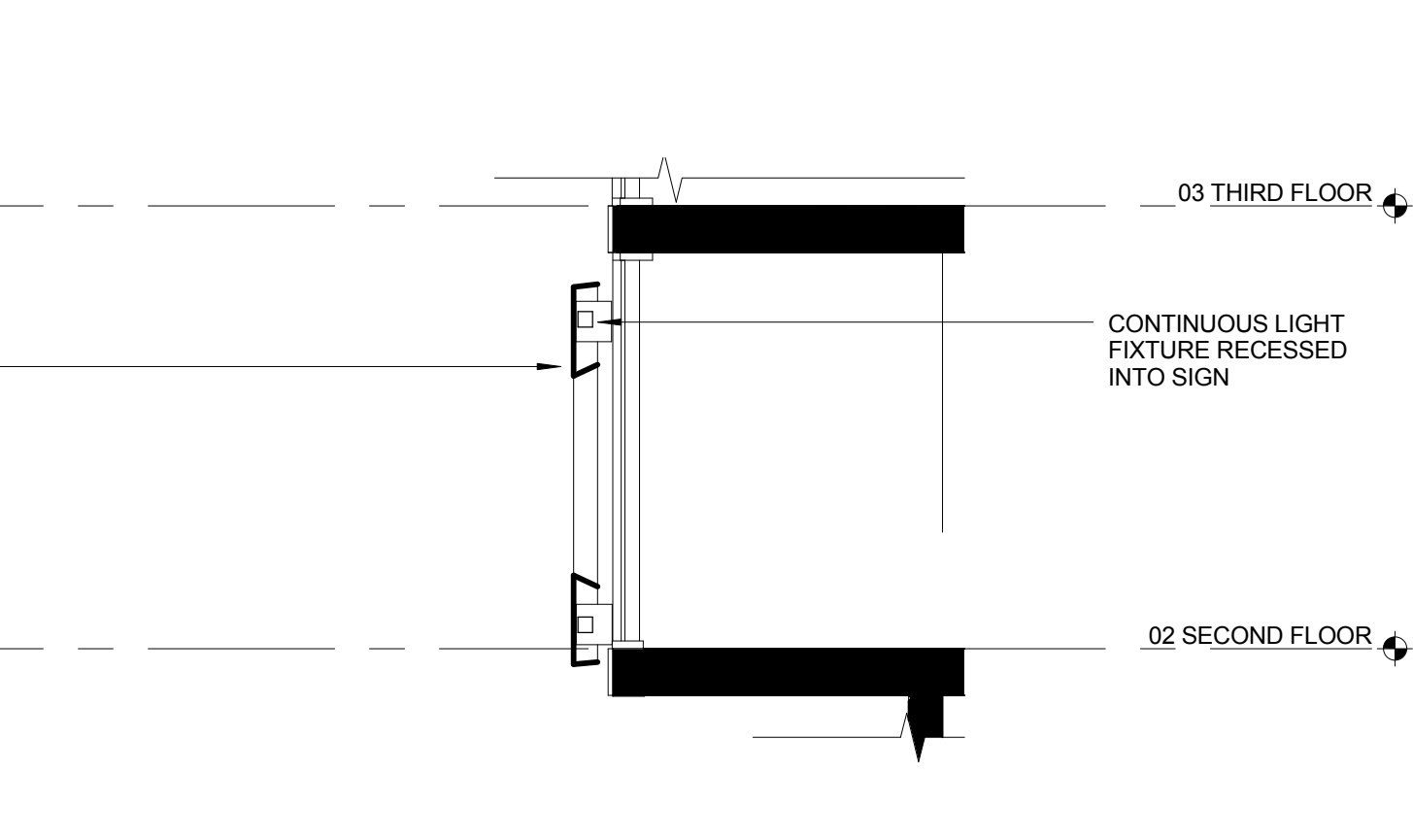
**E1** PARKING SIGN - ENLARGED ELEVATION  
1/4" = 1'-0"  
1 PARKING SIGN 1 LOADING SIGN, SEE ELEVATIONS FOR LOCATION



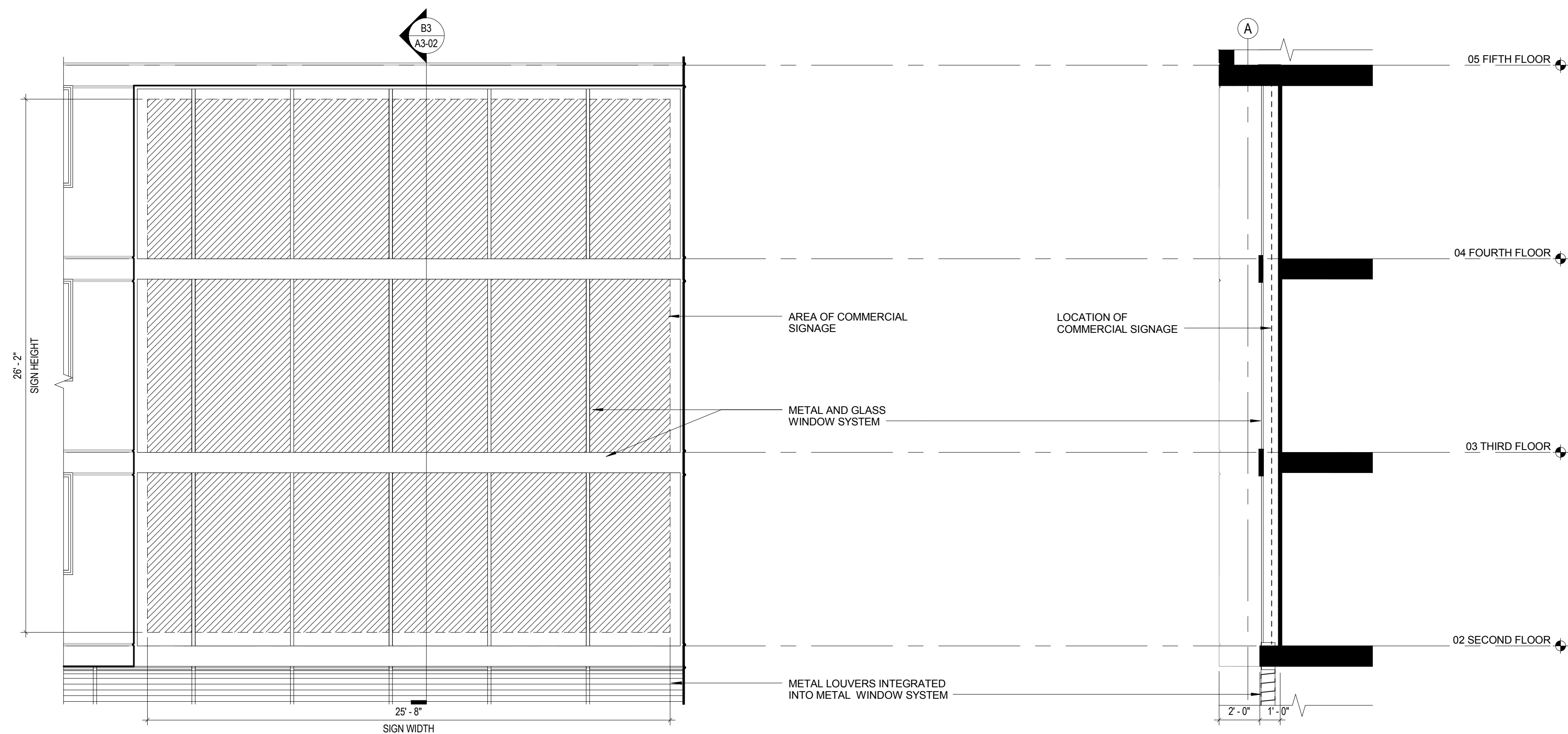
**E3** LOADING SIGN - ENLARGED ELEVATION  
1/4" = 1'-0"



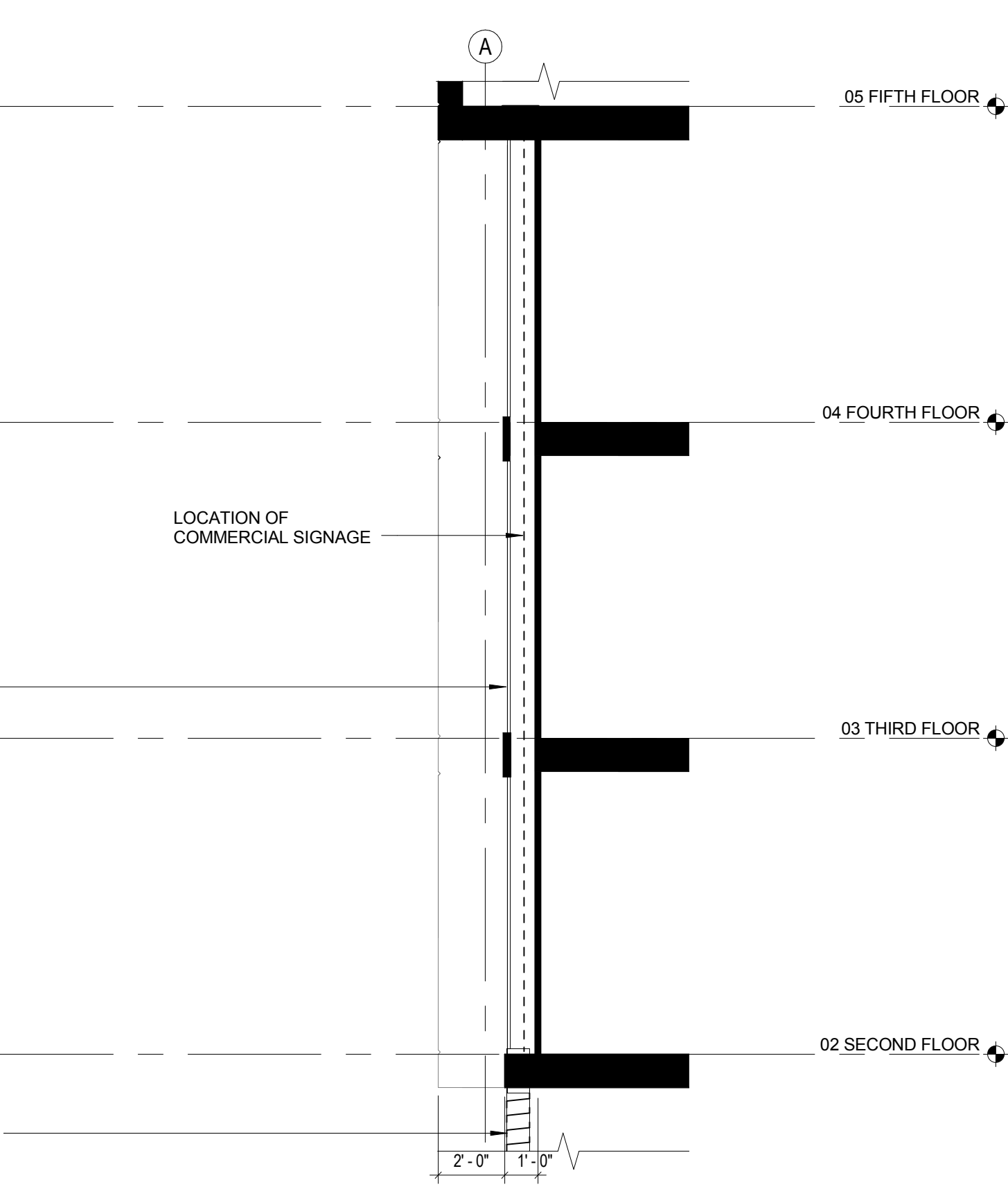
**D1** BUILDING IDENTIFICATION SIGN - ENLARGED ELEVATION  
1/4" = 1'-0"  
1 PROJECT IDENTIFICATION SIGN, SEE ELEVATIONS FOR LOCATION



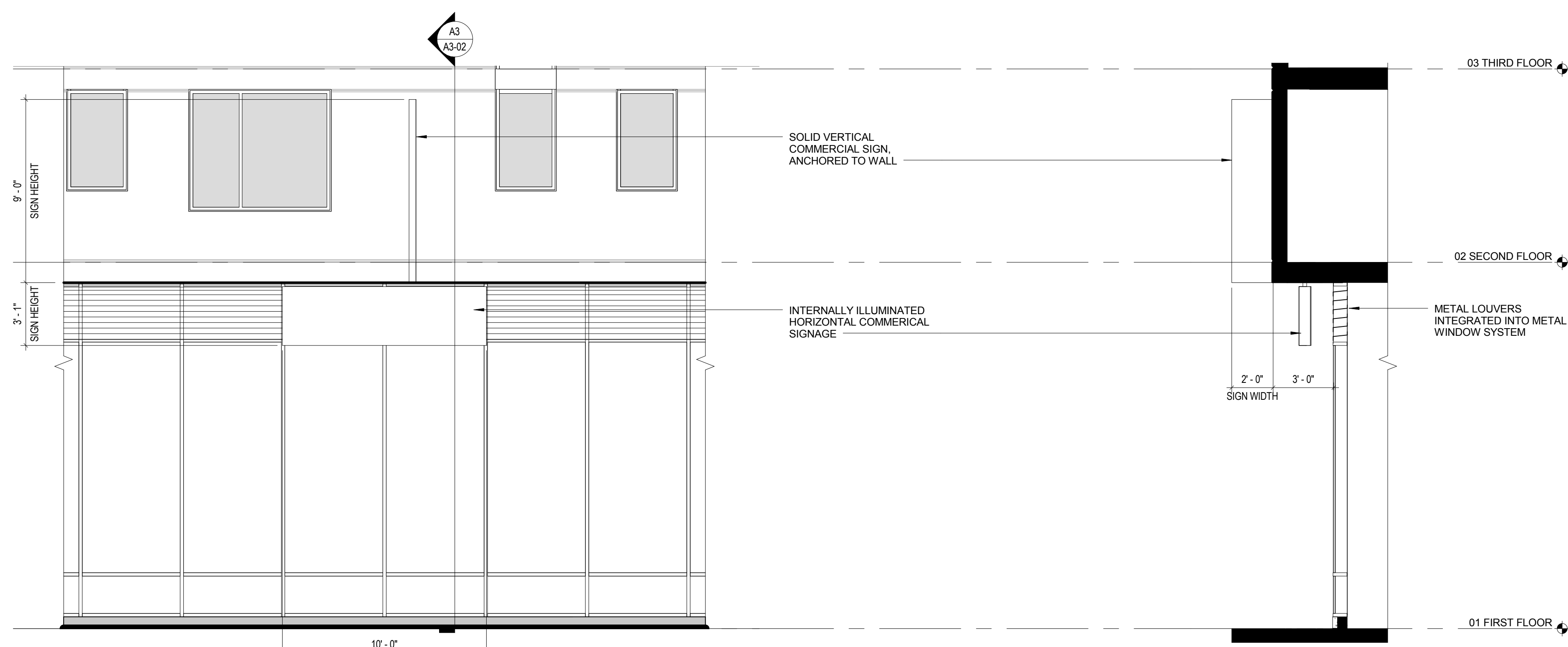
**D3** BUILDING IDENTIFICATION SIGN - SECTION  
1/4" = 1'-0"



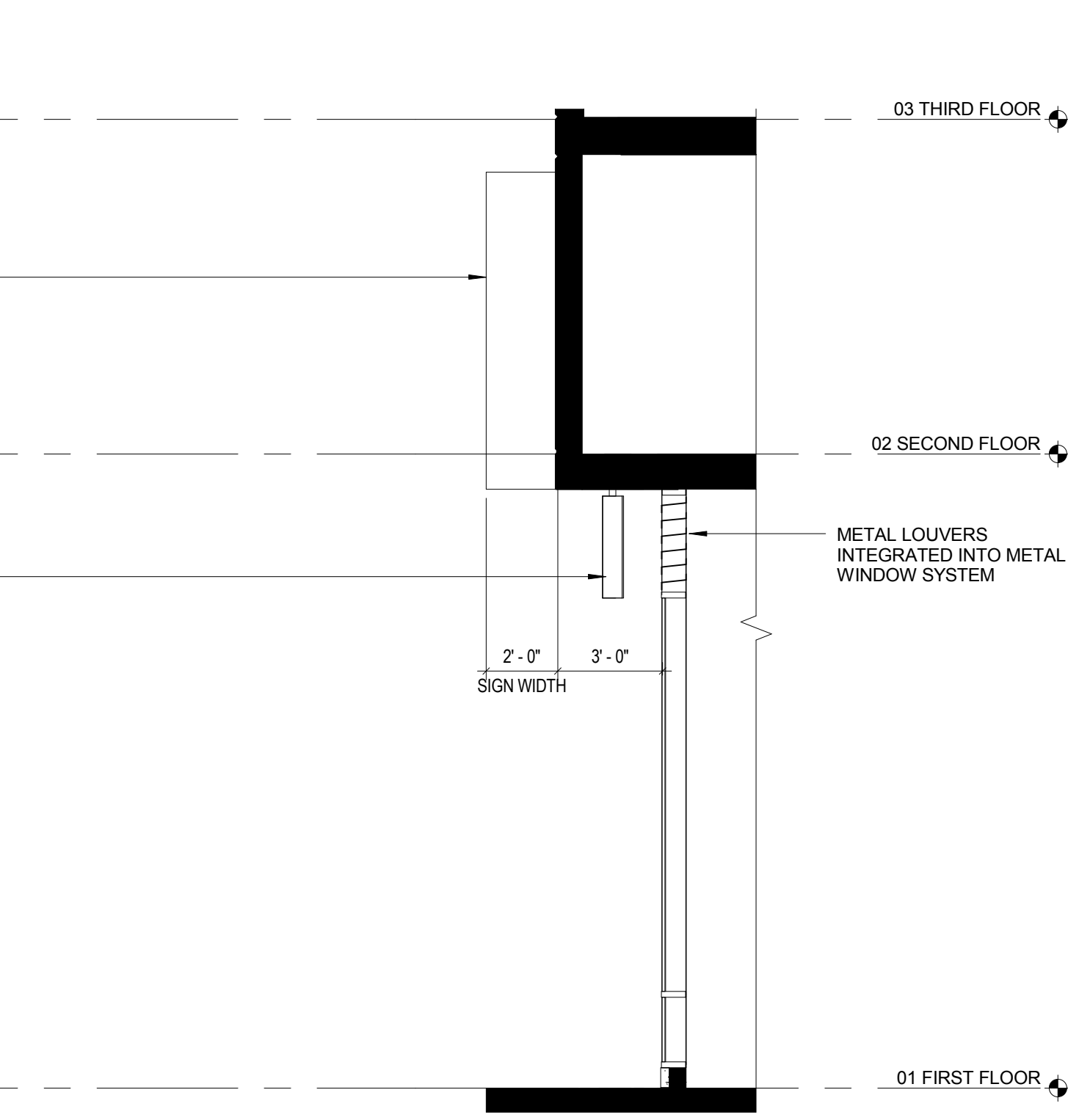
**B1** COMMERCIAL IDENTIFICATION SIGN - ENLARGED ELEVATION  
1/4" = 1'-0"  
1 COMMERCIAL IDENTIFICATION SIGN, SEE ELEVATIONS FOR LOCATION



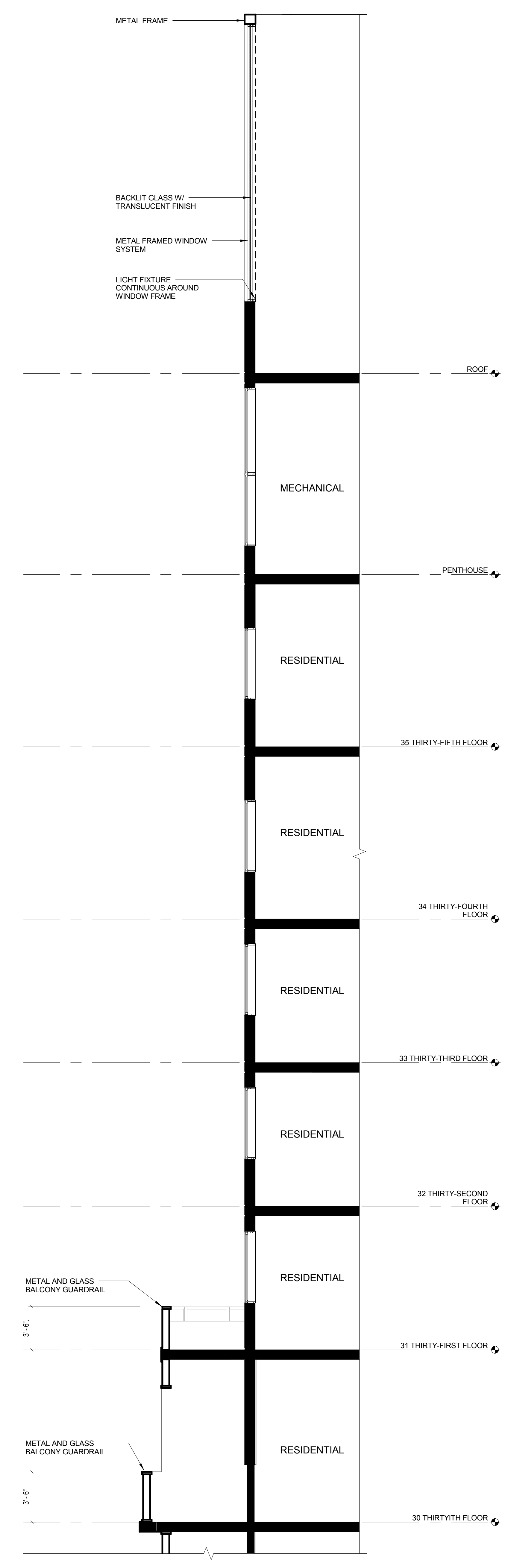
**B3** COMMERCIAL IDENTIFICATION SIGN - SECTION  
1/4" = 1'-0"



**A1** HORIZONTAL AND VERTICAL SIGNS - ENLARGED ELEVATION  
1/4" = 1'-0"  
5 COMMERCIAL HORIZONTAL AND 6 COMMERCIAL VERTICAL SIGNS, SEE ELEVATIONS FOR LOCATION



**A3** HORIZONTAL & VERTICAL SIGNAGE - SECTION  
1/4" = 1'-0"



**A6** EXTERIOR WALL SECTION @ ROOF  
1/4" = 1'-0"