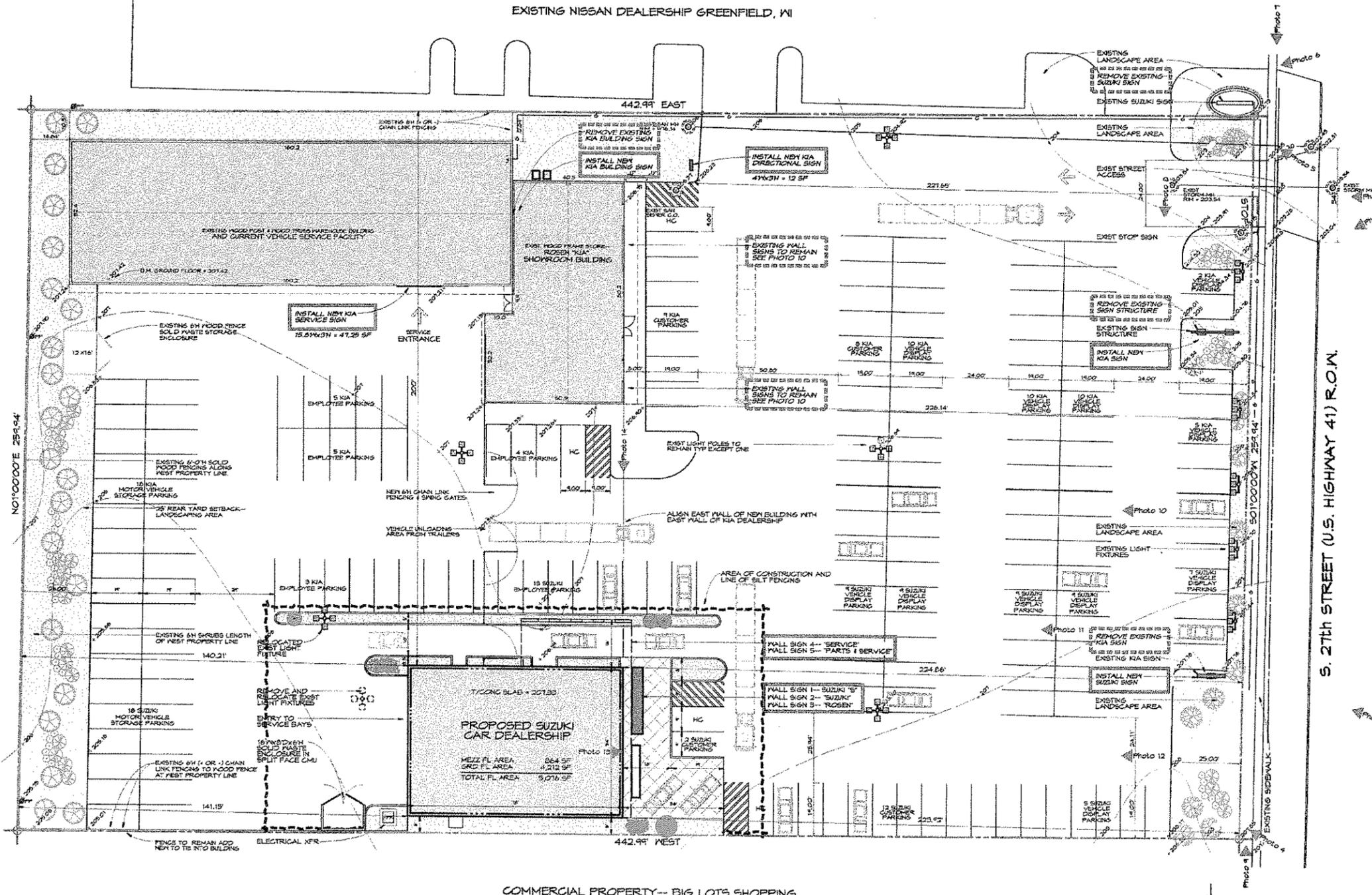


SEE SHEET A102 FOR SIGN DETAILS



EXISTING SITE PLAN WITH PROPOSED CONSTRUCTION

SCALE: 1" = 20 FEET

### SITE & BUILDING AREAS

EXISTING KIA BUILDING		
AREA DESCRIPTION	MEZZANINE	GROUND FL.
SHOWROOM AND OFFICES		5,570 SF
SERVICE AND PARTS DEPARTMENT		8,948 SF
PARTS MEZZANINE	1,400 SF	
EXISTING BUILDING AREAS	1,400 SF	11,965 SF
TOTAL EXISTING KIA BUILDING AREA		13,365 SF

PROPOSED SUZUKI BUILDING		
AREA DESCRIPTION	MEZZANINE	GROUND FL.
SHOWROOM AND OFFICES		2,400 SF
SERVICE AND PARTS DEPARTMENT		1,812 SF
PARTS MEZZANINE	864 SF	
EXISTING GROUND FLOOR BUILDING AREAS	864 SF	4,212 SF
TOTAL PROPOSED SUZUKI BUILDING AREA		5,076 SF

SITE AREAS		
AREA DESCRIPTION	EXISTING	PROPOSED
HARDSCAPE AREA (EXIST 70% & NEW 30%)	41,528 SF	33,836 SF
LANDSCAPE AREA (EXIST 10% & NEW 15%)	11,710 SF	15,140 SF
EXISTING KIA BUILDING (EXIST 10%)	11,965 SF	
PROPOSED SUZUKI BUILDING (NEW 4%)	0 SF	4,212 SF
TOTAL SITE AREA	115,203 SF	115,203 SF
TOTAL SITE AREA (ACRES)		2.64 AC

### ZONING SUMMARY

ADDRESS: 5575 SOUTH 27TH  
 ZONING: LB-1  
 PROPOSED USE: MOTOR VEHICLE SALES  
 LOT AREA: 115,203 SF  
 OWNER: G.S.S. CORPORATION  
 5505 S. 27TH STREET  
 GREENFIELD, WI 53221

PROJECT ID: 17335

KIA PARKING	EXISTING	PROPOSED
KIA CUSTOMER PARKING	17 SP + 1 HC	17 SP + 1 HC
KIA EMPLOYEE PARKING	16 SP + 1 HC	16 SP + 1 HC
KIA VEHICLE DISPLAY	114 SP	31 SP
KIA VEHICLE STORAGE	84 SP	15 SP
TOTAL KIA PARKING	349 SP	40 SP

SUZUKI PARKING	EXISTING	PROPOSED
SUZUKI CUSTOMER PARKING (1 SP / 500SF = 9 SP)		13 SP + 1 HC
SUZUKI EMPLOYEE PARKING		11 SP + 1 HC
SUZUKI VEHICLE DISPLAY		48 SP
SUZUKI VEHICLE STORAGE		18 SP
TOTAL SUZUKI PARKING		42 SP
TOTAL KIA AND SUZUKI PARKING		102 SP

### NEIGHBORING PROPERTY

NORTH OF SUBJECT PROPERTY-- NISSAN DEALERSHIP GREENFIELD, WI  
 EAST OF SUBJECT PROPERTY-- COMMERCIAL PROPERTY-- AM DRIVE-IN RESTAURANT AND MULTIFAMILY RESIDENTIAL  
 SOUTH OF SUBJECT PROPERTY-- COMMERCIAL PROPERTY-- BEAUTY SCHOOL & BIG LOTS STORES  
 WEST OF SUBJECT PROPERTY-- RESIDENTIAL

### KIA SETBACKS

SETBACK	EXISTING	PROPOSED
KIA FRONT YARD SETBACK	226.14 FT	NO CHANGE
KIA SIDE YARD SETBACK (NORTH)	10.84 FT	NO CHANGE
KIA SIDE YARD SETBACK (SOUTH)	154.81 FT	NO CHANGE
KIA REAR YARD SETBACK	14.64 FT	NO CHANGE

### SUZUKI SETBACKS

SETBACK	PROPOSED
SUZUKI FRONT YARD SETBACK	223.43 FT
SUZUKI SIDE YARD SETBACK (NORTH)	200 FT
SUZUKI SIDE YARD SETBACK (SOUTH)	6 FT
SUZUKI REAR YARD SETBACK	140.21 FT

### KIA BUILDING HEIGHTS

HEIGHT	EXISTING	PROPOSED
KIA MAXIMUM BUILDING HEIGHT	22 FT	NO CHANGE

### SUZUKI BUILDING HEIGHTS

HEIGHT	EXISTING	PROPOSED
SUZUKI MAXIMUM BUILDING HEIGHT		20 FT

**DAVEY ARCHITECTS LIMITED**  
 585 1/2 West Park Drive, 2nd Floor  
 Highland Park, Illinois 60034  
 Tel: 847.433.9600  
 Fax: 847.433.4787  
 www.daveyarchitects.com

The contractor shall verify and confirm in writing all situations and dimensions on existing work. Copies of the official survey are available upon request.

Contractors and subcontractors shall maintain architectural drawings and drawings of all other trades to verify the location of fixtures, equipment and piping, and for the coordination of all trades.

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**STRUCTURAL ENGINEER:**  
 HUTTNER TRANKUS STRUCTURAL ENGINEERING  
 17 SOUTH BROADWAY AVENUE  
 AURORA, ILLINOIS 60505  
 830.947.2266 OFFICE  
 830.947.2241 FAX

**MECHANICAL, ELECTRICAL, PLUMBING:**  
 HANSEN PETERSON ASSOCIATES, LIMITED  
 511 WEST MAIN STREET  
 WEST DUNDEE, ILLINOIS 60118  
 847.336.7810 OFFICE  
 847.336.7821 FAX

**SURVEYOR:**  
 JANKO AND JANKO ASSOCIATES, INC.  
 111 WEST MORELAND AVENUE  
 PARKERSIA, ILLINOIS 60130-2474  
 815.532.0410 OFFICE  
 815.532.0411 FAX

**LANDSCAPE ARCHITECT:**  
 DAVID R. HUGGILL ASSOCIATES, INC.  
 350 NORTH MILWAUKEE AVENUE  
 LIBERTYVILLE, ILLINOIS 60048  
 847.362.0204 (OFFICE) 847.362.0214 (FAX)

NEW CAR DEALERSHIP BY

# ROSEN SUZUKI

5575 SOUTH 27TH STREET  
 MILWAUKEE, WISCONSIN

## CONSTRUCTION DRAWINGS

### ISSUES

By	Date	For
DRG	05-25-04	OVERZONING REVIEW
DRG	05-21-04	PERMIT REVIEW
DRG	04-29-04	CITY BOZA REVIEW

Architectural Master Site Plan, Area Tabulations, and Zoning Data

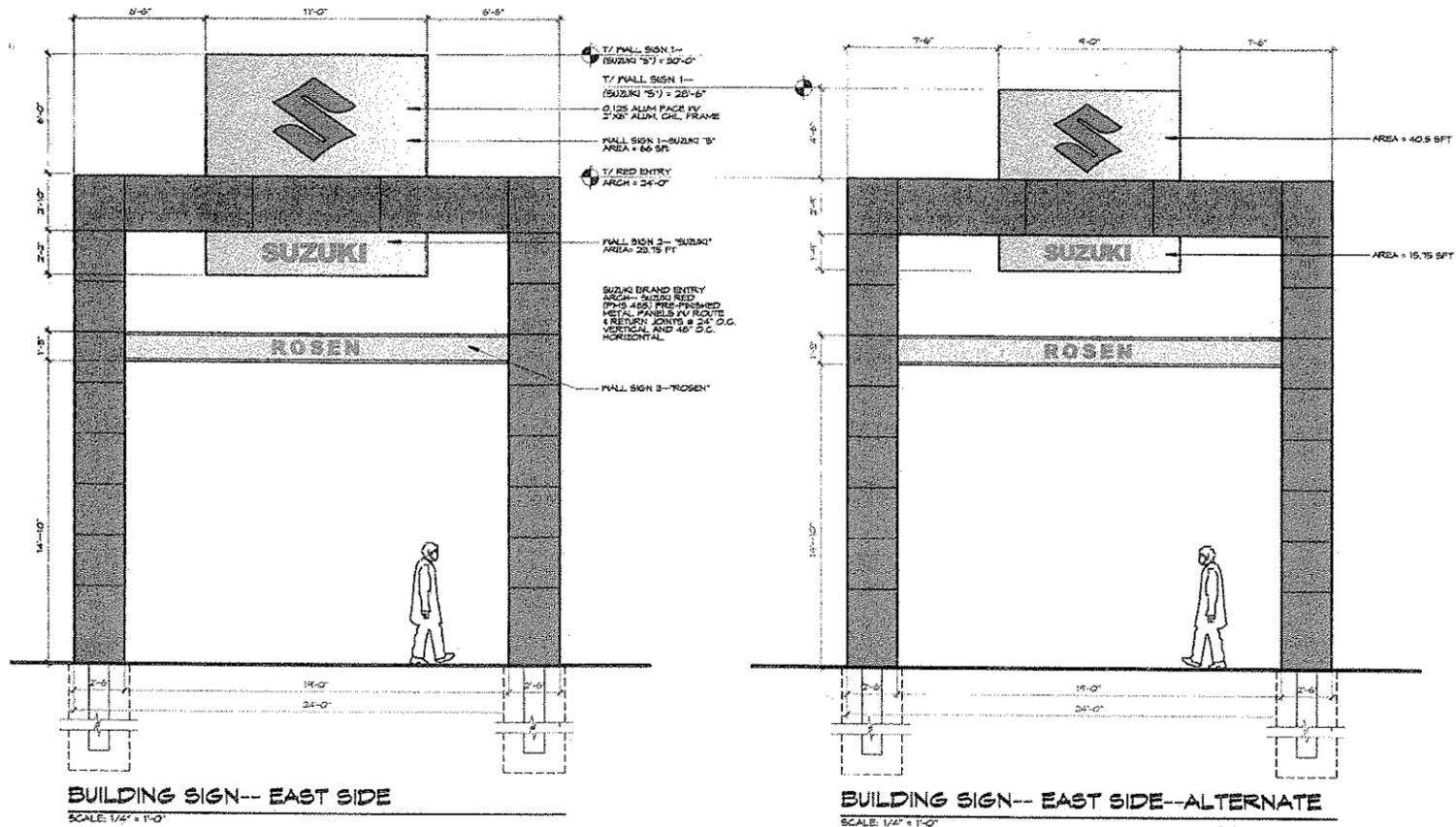
Scale: 1" = 20 FEET

Issue Date: MAY 21, 2004

Drawn By: DRG  
 Project Number: 0235 ROSEN SUZUKI MILWAUKEE, WI

Drawing Number: A101

EXHIBIT A  
 040395



**BUILDING SIGN-- EAST SIDE**

SCALE: 1/2" = 1'-0"

**BUILDING SIGN-- EAST SIDE--ALTERNATE**

SCALE: 1/2" = 1'-0"

**WALL SIGN 1--**  
 3" DEEP RAISED SUZUKI "S" LOGO SIGN FABRICATED FROM 0.063 RETURNS WITH NO BACKS, ACRYLIC FACE WITH 1" TRIM CAP AND INTERNALLY ILLUMINATED WITH WAMCO L.E.D. SYSTEM.

**WALL SIGN 2--**  
 3" DEEP RAISED SUZUKI "S" LOGO (RED)--  
 3/16" WHITE ACRYLIC FACE WITH APPLIED #3660-43 LIGHT TOMATO RED VINYL  
 -- RED PMS 485 RETURN AND TRIM CAP  
 -- RED WAMCO L.E.D. SYSTEM

**WALL SIGN 3--**  
 "SUZUKI" LETTERS (BLUE)--  
 3/16" WHITE ACRYLIC FACE WITH APPLIED #3660-151 SULTAN BLUE VINYL WITH 1/4" WHITE OUTLINE  
 -- WHITE RETURN AND TRIM CAP  
 -- WHITE WAMCO L.E.D. SYSTEM  
 -- INTERNAL ILLUMINATION

**WALL SIGN 4--**  
 "ROSEN" LETTERS (BLUE)--  
 3/16" WHITE ACRYLIC FACE WITH APPLIED #3660-151 SULTAN BLUE VINYL  
 -- WHITE RETURN AND TRIM CAP  
 -- WHITE WAMCO L.E.D. SYSTEM  
 -- INTERNAL ILLUMINATION

**WALL SIGN 5--**

**"SERVICE" CABINET SIGN--**  
 3/16" WHITE ACRYLIC FACE WITH APPLIED #3660-151 SULTAN BLUE VINYL  
 -- WHITE RETURN AND TRIM CAP  
 -- WHITE WAMCO L.E.D. SYSTEM  
 -- INTERNAL ILLUMINATION

**WALL SIGN 5--**



MANUFACTURE (1) ALUMINUM CONSTRUCTED SINGLE FACE WALL SIGN INTERIOR ILLUMINATED W/2400 FLUORESCENT LAMPS.

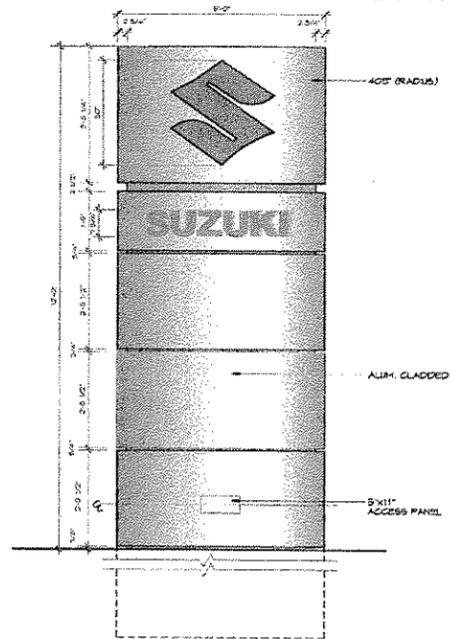
WHITE IMPACT MODIFIED ACRYLIC FACE W/FRST SURFACE APPLIED TRANSLUCENT VINYL GRAPHICS

"LOGO"  
 3/16" #3660-43 LT.TOMATO RED VINYL OVERLAY

"SUZUKI"  
 3/16" #3660-151 SULTAN BLUE VINYL FILM OVERLAY.

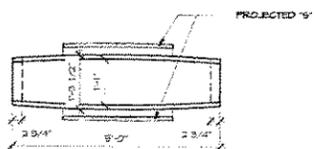
"PARTS-SERVICE & ARCH" CABINET AND RETAINERS GLOSS METALLIC SILVER (MATTHEWS SV0C10355P)

NOTE:  
 ALL EXPOSED FASTENERS TO BE COUNTERSUNK FOR FLUSH FINISH. PAINT FASTENERS TO MATCH CABINET.



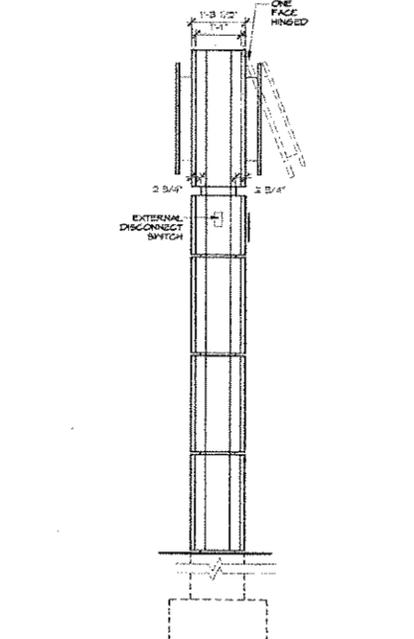
**ELEVATION-- GROUND SIGN**

SCALE: 1/2" = 1'-0"



**PLAN-- GROUND SIGN**

SCALE: 1/2" = 1'-0"



**GROUND SIGN-- SIDE ELEVATION**

SCALE: 1/2" = 1'-0"

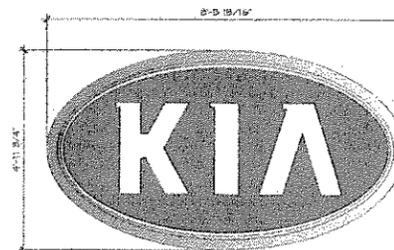
**SPECIFICATION**  
 "S" SUZUKI CABINET & POLE COVERS:  
 FABRICATED ALUMINUM CABINET PAINTED GLOSS METALLIC SILVER (MATTHEWS SV0C10355P) & RED (PMS 485). ALL EXPOSED FASTENERS TO BE COUNTER SUNK FOR FLUSH FINISH. PAINT FASTENERS TO MATCH CABINETS. PAINT INTERIORS OF LOWER CABINET WHITE.

"S" LOGO:  
 FACE 3/16" WHITE ACRYLIC W/APPLIED # 3660-43 LT.TOMATO RED VINYL RETURN & TRIM CAP. PAINT TO MATCH PMS RED 485. PAINT INTERIOR OF LETTER WHITE. ILLUMINATION: GELCORE TETRA RED LED.

"SUZUKI LETTERS"  
 FACE: THERMOFORMED .118" TH. TRANSL. WHITE ACRYLIC (2" DEPTH) W/APPLIED # 3660-151 SULTAN BLUE VINYL WITH 1/4" WHITE OUTLINE. ILLUMINATION: FLUORESCENT LAMPS.

ELECTRICAL DATA:  
 "S" LOGO  
 42" RED GELCORE LEDS ( PER FOOT) POWERED BY (1) G6GLP33 P0WERSUPPLY @120VAC, 0.5A

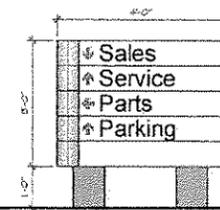
"SUZUKI" LETTERS:  
 (1) F36T12 & (1) F24T12 H.O FLUORESCENT LAMPS



**BUILDING SIGN-- KWL-4**

TOTAL AREA: 32.64 SFT.

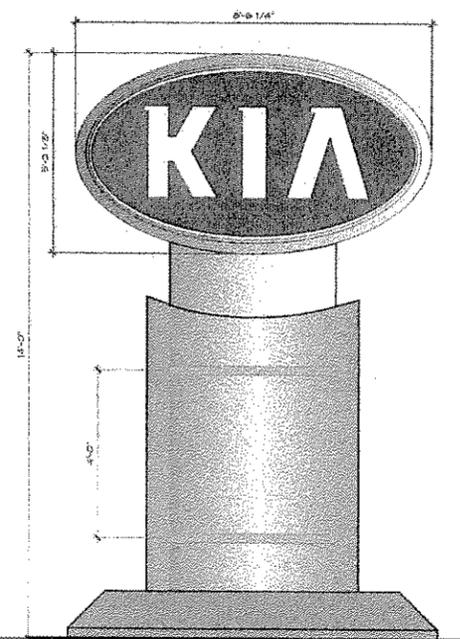
SCALE: 1/2" = 1'-0"



**DIRECTION SIGN--**

TOTAL AREA: 12 SFT.

SCALE: 1/2" = 1'-0"



**GROUND SIGN--KPS-4**

FRONT ELEVATION

TOTAL AREA: 35 SFT

SCALE: 1/2" = 1'-0"



**SERVICE SIGN--**

TOTAL AREA: 47.25 SFT.

SCALE: 1/2" = 1'-0"

**KIA SIGNS**

FOR LOCATION OF SIGNS  
 PLEASE REFER SHEET A101 & A301

**Becker Architects Limited**  
 385 Elm Park, Suite 275  
 Highland Park, Illinois 60034  
 Tel: 847.433.0000  
 Fax: 847.433.0787  
 www.beckerarchitects.com

The contractor shall verify and confirm to entity all dimensions and dimensions of existing work. Copies of the official survey are available upon request.

Contractors and subcontractors shall examine architectural drawings and drawings of all other trades to verify the location of features, elevations and markings, and for the coordination of all trades.

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**STRUCTURAL ENGINEERS:**  
 HETTER TRANSONA STRUCTURAL ENGINEERING  
 711 SOUTH BROADWAY AVENUE  
 AURORA, ILLINOIS 60505  
 847.611.2340 OFFICE  
 847.611.2041 FAX

**MECHANICAL ELECTRICAL PLUMBING:**  
 HANSEN PALMER ASSOCIATES, LIMITED  
 811 WEST MAIN STREET  
 WEST BLOOMINGTON, ILLINOIS 60090  
 847.536.9210 OFFICE  
 847.536.9221 FAX

**SURVEYOR:**  
 JANKO AND JANKO ASSOCIATES, INC.  
 111 WEST HOBLAND AVENUE  
 WILKESHA, ILLINOIS 60150-2474  
 847.520.5410 OFFICE  
 847.520.5451 FAX

**LANDSCAPE ARCHITECT:**  
 DAVID R. NUGALUM ASSOCIATES, INC.  
 250 NORTH MILWAUKEE AVENUE  
 LIBERTYVILLE, ILLINOIS 60045  
 847.562.2204 (OFFICE) 847.362.0214 (FAX)

NEW CAR DEALERSHIP BY

**ROSEN SUZUKI**

5575 SOUTH 27th STREET  
 MILWAUKEE, WISCONSIN

**CONSTRUCTION DRAWINGS**

ISSUES

By	Date	For
DRG	06-25-04	OVERLOOKING REVIEW
DRG	05-21-04	PERMIT REVIEW
DRG	04-21-04	CITY BOZA REVIEW

Scale  
 1" = 20 FEET

Issue Date  
 MAY 21, 2004

Drawn By  
 DRG

Project Number  
 0395 ROSEN SUZUKI  
 MILWAUKEE, WI

Drawing Number  
**A102**

**EXTERIOR ELEVATION NOTES**

- 04- MASONRY**
- 4.01- EXTERIOR WALLS SHALL BE CONCRETE MASONRY UNITS.
  - 4.02- PROVIDE VERTICAL WALL REINFORCING PER STRUCTURAL DRAWINGS.
  - 4.03- PROVIDE "JUR-O-MALL" HORIZONTAL WALL REINFORCING AT 16" O.C. TYPICAL UNLESS NOTED OTHERWISE.
  - 4.04- PROVIDE ALL ACCESSORY MASONRY ITEMS SUCH AS BUT NOT LIMITED TO:
    - ADJUSTABLE COLUMN KEE TIES
    - CONTROL JOINTS AND SEALANT SYSTEMS
    - ADJUSTABLE VERTICAL TIES
    - SELF-ADHERING, IN-WALL AC MIL MEMBRANE FLASHING
    - COTTON CORD KEEPING MATERIAL
  - 4.05- SEAL ALL EXTERIOR MASONRY WALLS WITH "S-PRO" SEALER SYSTEMS AS PROVIDED BY MASONRY SUPPLY COMPANY. INSTALL MASONRY SEALER PER MANUFACTURER'S REQUIREMENTS.
  - 4.06- PROVIDE SAMPLES OF ALL EXTERIOR MASONRY BLOCKS FOR COLOR APPROVAL BY ARCHITECT. COLOR SHALL BE LIGHT GRAY WITH STANDARD WHITE SCOUT COLOR.
  - 4.07- PROVIDE MASONRY CONTROL JOINTS AS SHOWN AND PER STRUCTURAL DRAWINGS.
- 05- STEEL**
- 5.01- PROVIDE STEEL LITELS FOR ALL MASONRY OPENINGS PER STRUCTURAL DRAWINGS.
  - 5.02- INSTALL GRILLAGE BEAMS PER STRUCTURAL PLANS.
- 07- THERMAL AND MOISTURE PROTECTION**
- 7.01- RUN ROOFING MATERIAL OVER THE TOP OF ALL EXTERIOR MASONRY WALLS AND ATTACH TO OUTSIDE FACE OF CONTIGUOUS P.T. ROOF NAILED.
  - 7.02- INSTALL CONTINUOUS ANODIZED ALUMINUM FLASHING PER MANUFACTURER'S REQUIREMENTS.
  - 7.03- CAULK INSIDE AND OUTSIDE OF ALL EXTERIOR DOORS AND WINDOWS TO ADJACENT MASONRY.
- 08- DOORS, WINDOWS & HARDWARE**
- 8.01- INSTALL ALL EXTERIOR DOORS AND WINDOWS FLUSH WITH INSIDE FACE OF 2" C.M.U. WALL UNLESS NOTED OTHERWISE.
  - 8.02- INSTALL TEMPERED GLASS ADJACENT TO DOORS AND WINDOWS. T = TEMPERED GLASS.
  - 8.03- COORDINATE DOORS AND WINDOWS SYSTEMS WITH THE APPROPRIATE SCHEDULE.
  - 8.04- PROVIDE CONTINUOUS SEALANT AT EXTERIOR AND INTERIOR OF ALL DOOR AND WINDOW FRAMES.
  - 8.05- STOREFRONT SYSTEM TO HAVE WHITE ANODIZED ALUMINUM FINISH. ALTERNATE FINISH SHALL BE CLEAR ANODIZED ALUMINUM.
- 09- FINISHES**
- 9.01- PAINT EXTERIOR METAL DOORS AND FRAMES TO MATCH COLOR OF C.M.U. (LIGHT GRAY) PER ROOM FINISH SCHEDULE.
- 10- SPECIALTIES ITEMS**
- 10.01- SIGN INSTALLER SHALL OBTAIN A SEPARATE SIGN PERMIT FROM THE CITY FOR INSTALLATION OF ALL SITE AND BUILDING SIGNS. SIGNS ARE BY OWNER.

**Becker Architects Limited**  
 505 Elm Park, Suite 204  
 Highland Park, Ill. 60035  
 Tel: 847.433.8600  
 Fax: 847.433.8787  
 www.beckerarchitects.com

The contractor shall verify and confirm in writing all operations and dimensions of existing work. Copies of the official survey are available upon request.

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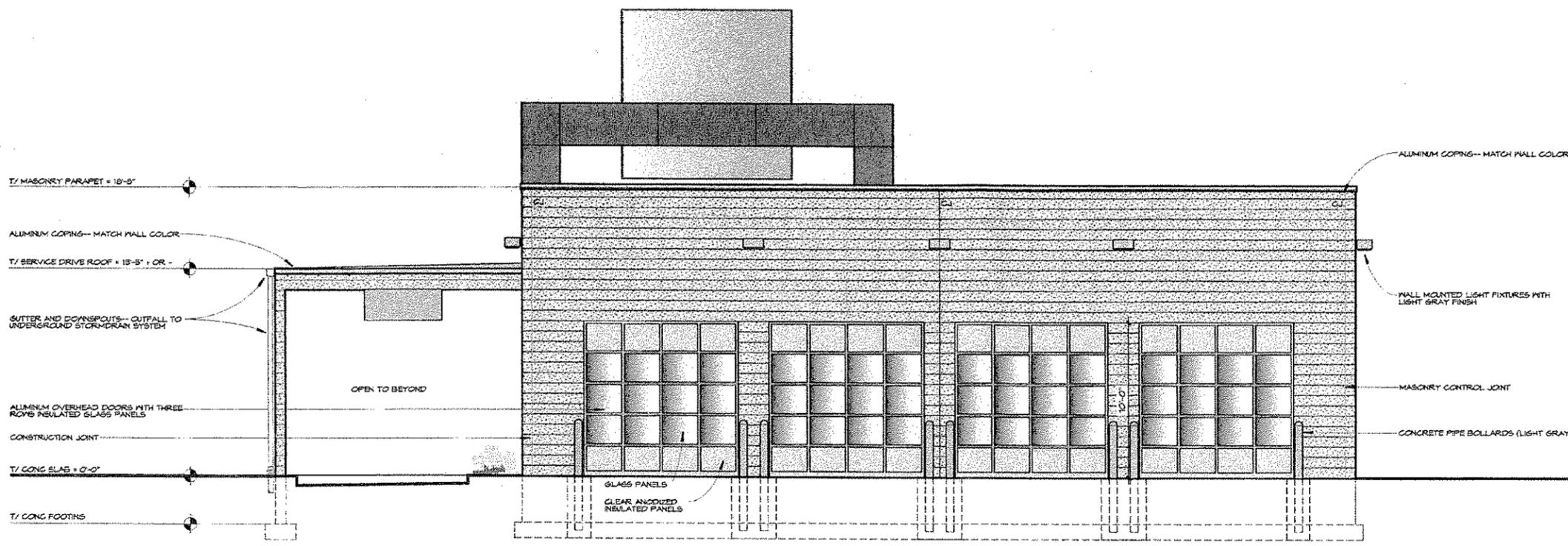
**STRUCTURAL ENGINEER:**  
 MUTTER TRANIGA STRUCTURAL ENGINEERING  
 71 SOUTH BROADWAY AVENUE  
 NAPERVILLE, ILLINOIS 60563  
 630.841.2266 OFFICE  
 630.841.2041 FAX

**MECHANICAL ELECTRICAL PLUMBING:**  
 HANSEN PALMER ASSOCIATES, LIMITED  
 511 WEST MAIN STREET  
 WEST GANDER, ILLINOIS 60118  
 847.836.9315 OFFICE  
 847.836.9311 FAX

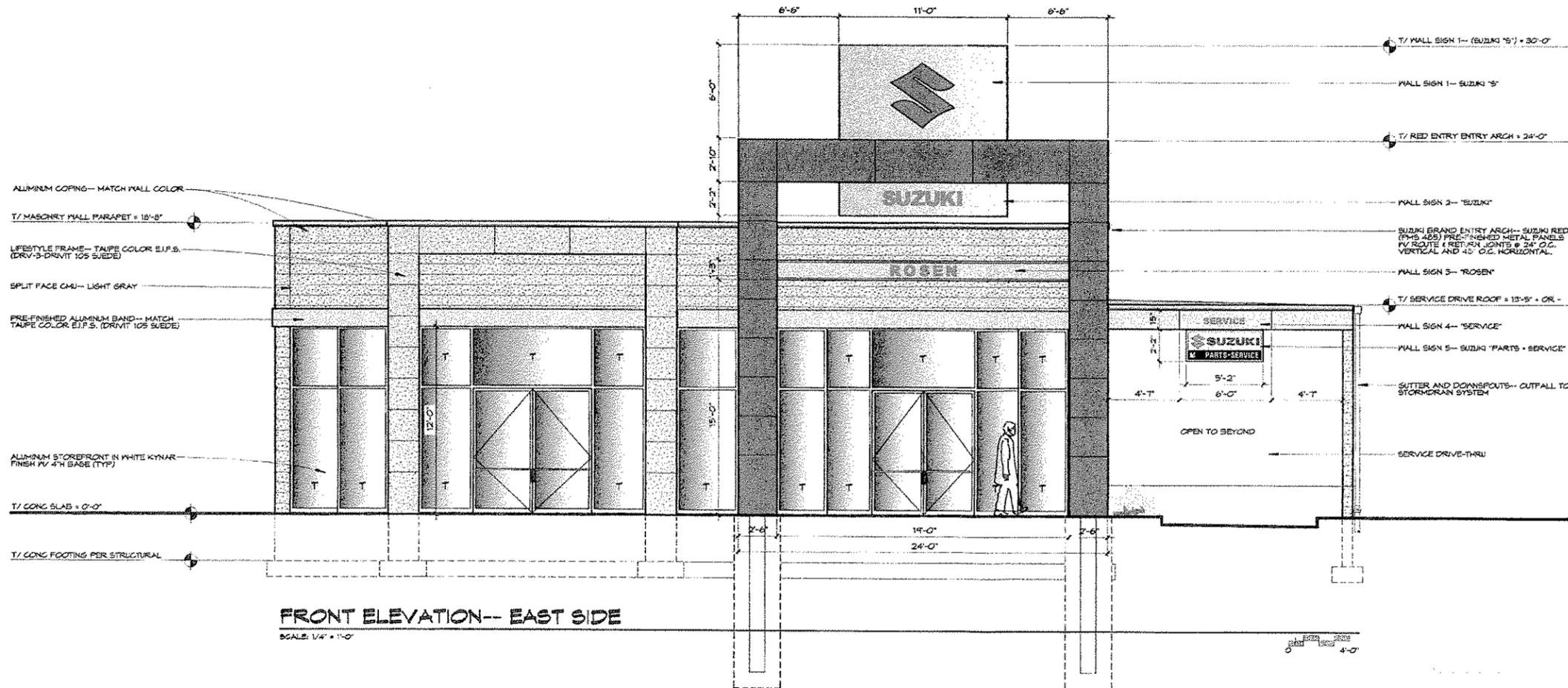
**CIVIL ENGINEER:**  
 JANKE AND JANKE ASSOCIATES, INC.  
 111 WEST NORTON AND BLVD.  
 MANKESHIA, MISSOURI 63103-2471  
 262.543.5741 OFFICE  
 262.542.7545 FAX

**LANDSCAPE ARCHITECT:**  
 DAVID R. HIGGALUM ASSOCIATES, INC.  
 LANDSCAPE DESIGN  
 390 NORTH MILWAUKEE AVENUE  
 LIBERTYVILLE, ILLINOIS 60048  
 647.362.0204 or 647.362.0314 FAX

**NEW BUILDING FACILITIES FOR**  
**ROSEN SUZUKI**  
 5575 SOUTH 27th STREET  
 MILWAUKEE, WI



**REAR ELEVATION-- WEST SIDE**  
 SCALE: 1/4" = 1'-0"



**FRONT ELEVATION-- EAST SIDE**  
 SCALE: 1/4" = 1'-0"

**CONSTRUCTION DRAWINGS**

Drawing Issues

By	Date	For

DRW 05-21-04 PERMIT REVIEW

Drawing Title

**EXTERIOR BUILDING ELEVATIONS**

Scale: 1/4" = 1'-0"

Issue Date: MAY 21, 2004

Drawn By: DRW

Project Number: 0305 ROSEN SUZUKI MILWAUKEE, WI

Drawing Number: **A301**

The contractor shall verify and confirm to writing all situations and dimensions of existing work. Copies of the actual survey are available upon request.  
 Corrections and substitutions shall require architectural drawings and drawings of all other trades to verify the location of basins, equipment and roughing, and for the coordination of all trades.  
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**STRUCTURAL ENGINEER:**  
 HUTTNER TRANKHA STRUCTURAL ENGINEERING  
 71 SOUTH BROADWAY AVENUE  
 AURORA, ILLINOIS 60505  
 630.841.3241 OFFICE  
 630.841.3241 FAX

**MECHANICAL ELECTRICAL PLUMBING:**  
 HANSEN PALMER ASSOCIATES, LIMITED  
 511 WEST MAIN STREET  
 WEST BURGESS, ILLINOIS 60118  
 631.536.1518 OFFICE  
 631.536.1521 FAX

**CIVIL ENGINEER:**  
 JANIKO AND JANIKO ASSOCIATES, INC.  
 711 WEST MORRISLAND AVENUE  
 PARKERSHUR, ILLINOIS 60474  
 312.543.5711 OFFICE  
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**LANDSCAPE ARCHITECT:**  
 DAVID R. HEGALLUM ASSOCIATES, INC.  
 LANDSCAPE DESIGN  
 560 NORTH MILWAUKEE AVENUE  
 LIBERTYVILLE, ILLINOIS 60048  
 847.562.0204 — 847.562.0214 FAX

**NEW BUILDING FACILITIES FOR**  
**ROSEN SUZUKI**  
 5575 SOUTH 27th STREET  
 MILWAUKEE, WI

**CONSTRUCTION DRAWINGS**

Drawing Issues

No.	Date	For
DRO	05-21-04	PERMIT REVIEW

Drawing Title  
**EXTERIOR BUILDING ELEVATIONS**

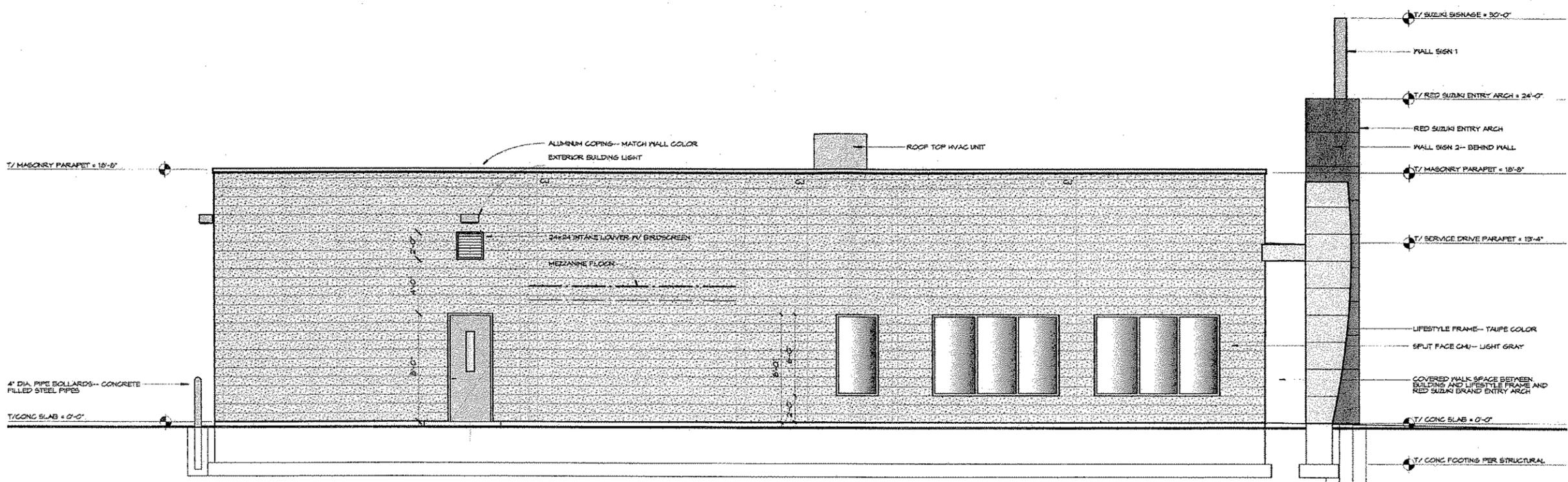
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Issue Date  
 MAY 21, 2004

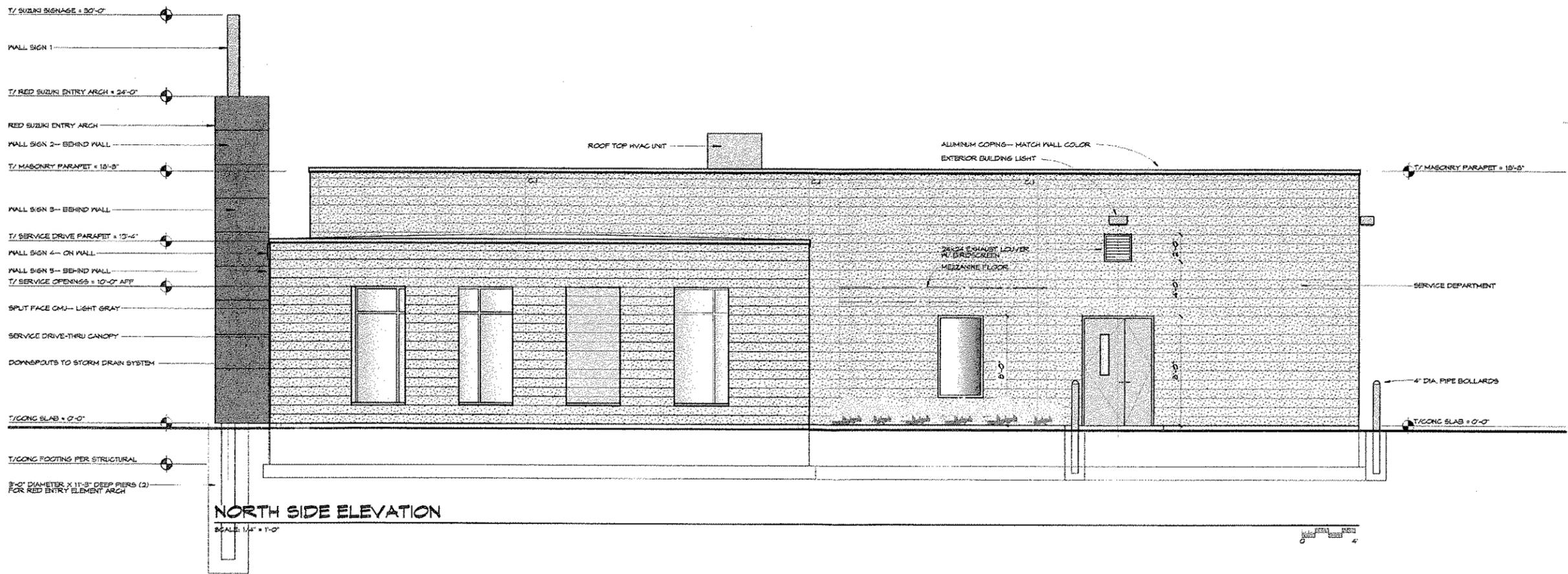
Drawn By  
 DRO

Project Number  
 0335 ROSEN SUZUKI  
 MILWAUKEE, WI

Drawing Number  
**A302**



**SOUTH SIDE ELEVATION**  
 SCALE 1/4" = 1'-0"



**NORTH SIDE ELEVATION**  
 SCALE 1/4" = 1'-0"

