



Certificate of Appropriateness

Milwaukee Historic Preservation Commission/841 N. Broadway Room B-1/Milwaukee, WI 53202/phone 414-286-5712/414-286-5722

Property 3319 N. LAKE DR. North Lake Drive Estates Historic District

Description of work Phase 1 of the project at 3319 N. Lake Dr. was approved by the HPC on May 9, 2022. Phase 1 consisted of review of new garden wall, new garage, in-ground pool and pool house and landscaping.

Phase 2 consists of the review of the revised pool enclosure, lighting plan and additional landscape. Phase 2 was approved by the HPC on July 11, 2022. The approved elements of Phase 2 are below.

Date issued 7/14/2022 PTS ID 115259 CC File # 220301

In accordance with the provisions of Section 320-21 (11) and (12) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

The all glass pool enclosure or pool conservatory will be constructed as designed with one longer slope (4-1/2 x 12 pitch) and one shorter slope (6-1/2 x 12 pitch). There is precedence for this in a horticultural greenhouse that once was part of the property. This type of treatment was also common in the early 20th century and can be seen in garden building catalogues of the period. The glass walls are designed to slide back and open the pool to the outside.

The lighting will involve a number of different fixtures which are set to illuminate the garage and pool and adjacent areas both on the interior and exterior. There will also be some landscape lighting close to the pool. Lighting calculations show that the maximum intensity will be concentrated at the pool but not spill over to the neighbors' properties.

Additional landscaping, using serviceberry and 14-foot to 16-foot tall arborvitae, will screen the property at its northwest corner. There will also be trees along the perimeter of the property that will screen the pool enclosure from the public. A trimmed boxwood hedge will serve as a base of the glass pool enclosure at its east end and will remain green year round.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Carlen Hatala of the Historic Preservation staff as follows: Phone: (414) 286-5722 E-mail: carlen.hatala@milwaukee.gov.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.milwaukee.gov/build, or call (414) 286-8210.

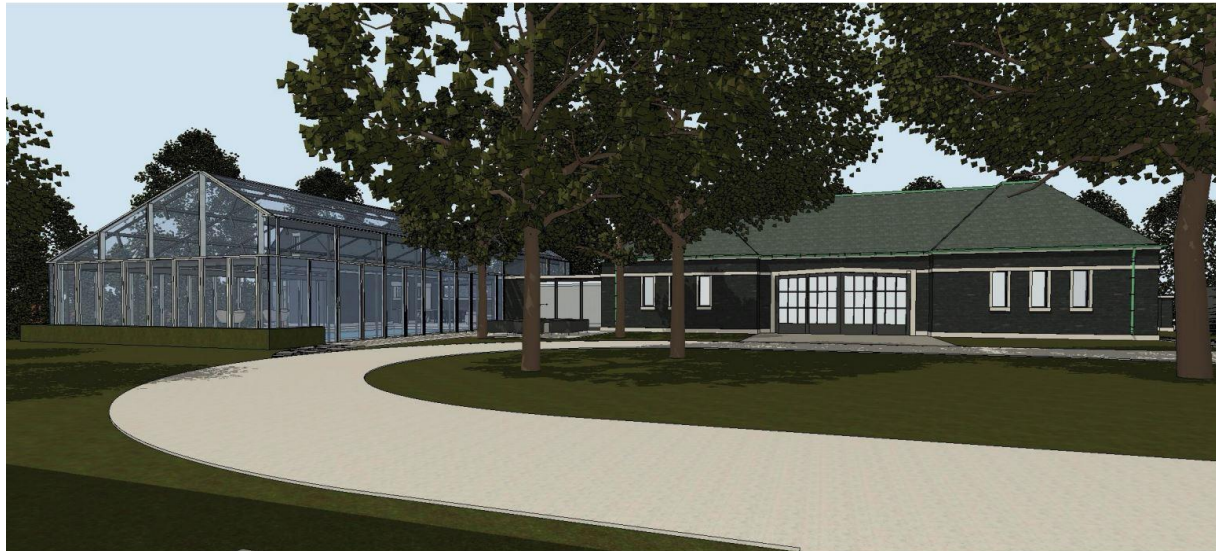


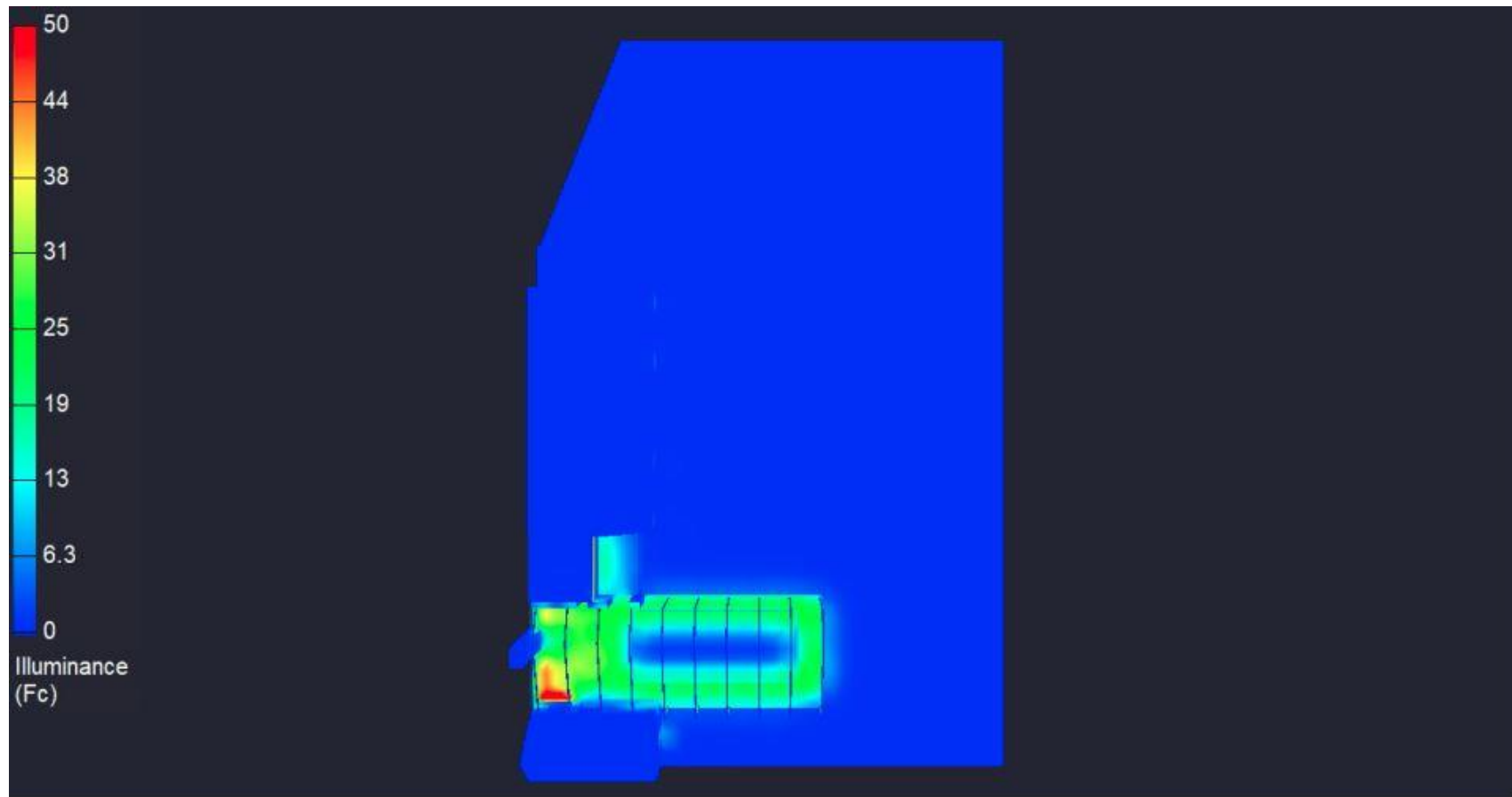
City of Milwaukee Historic Preservation Staff

Copies to: Development Center



Proposed glass pool conservatory in two different views



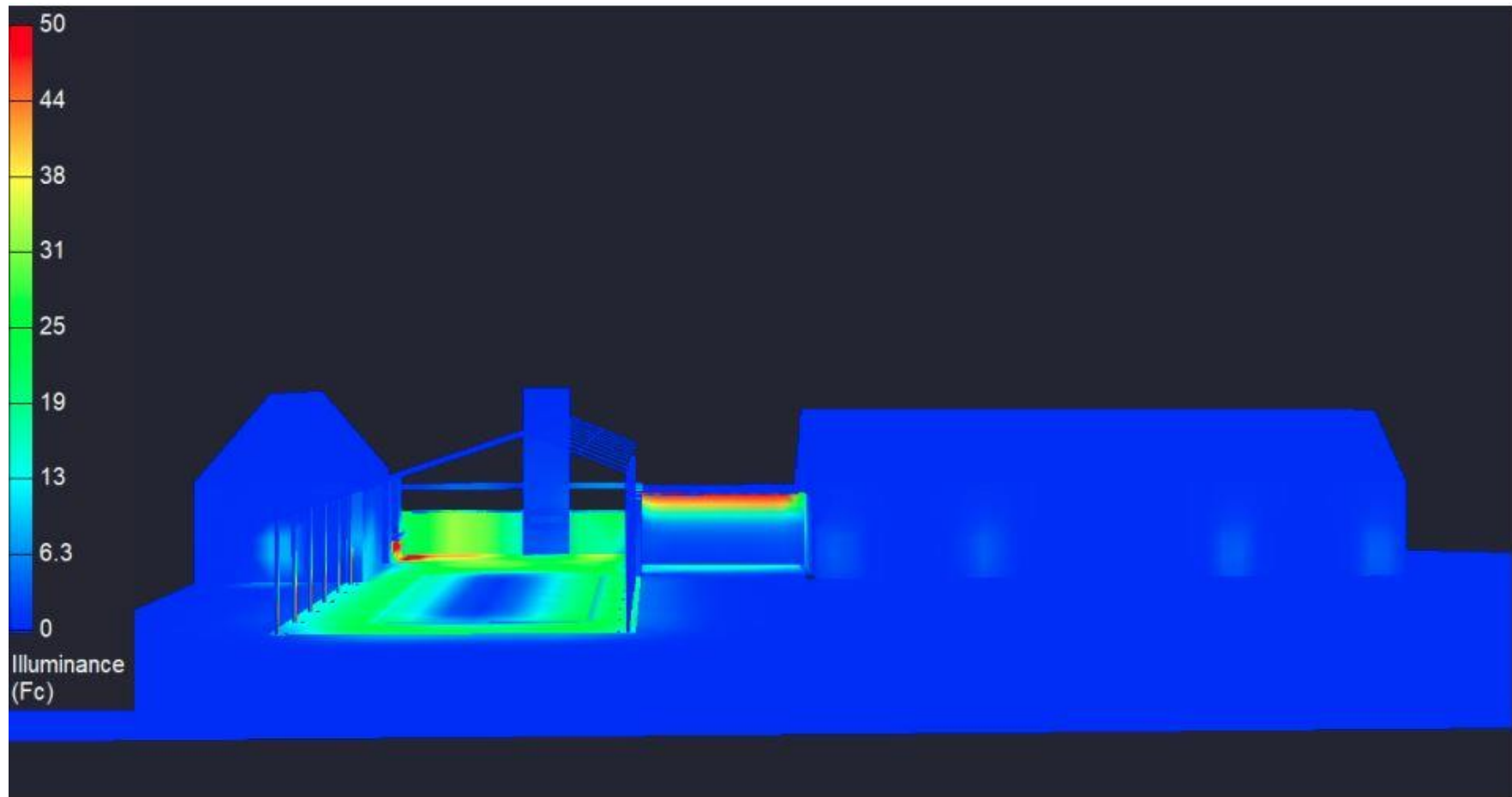


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MILWAUKEE POOL HOUSE - OUTBUILDING
AGI CALCULATIONS
SCALE: N/A
DATE: 06/14/2022

Lighting calculation showing light diminished at northwest corner of the property

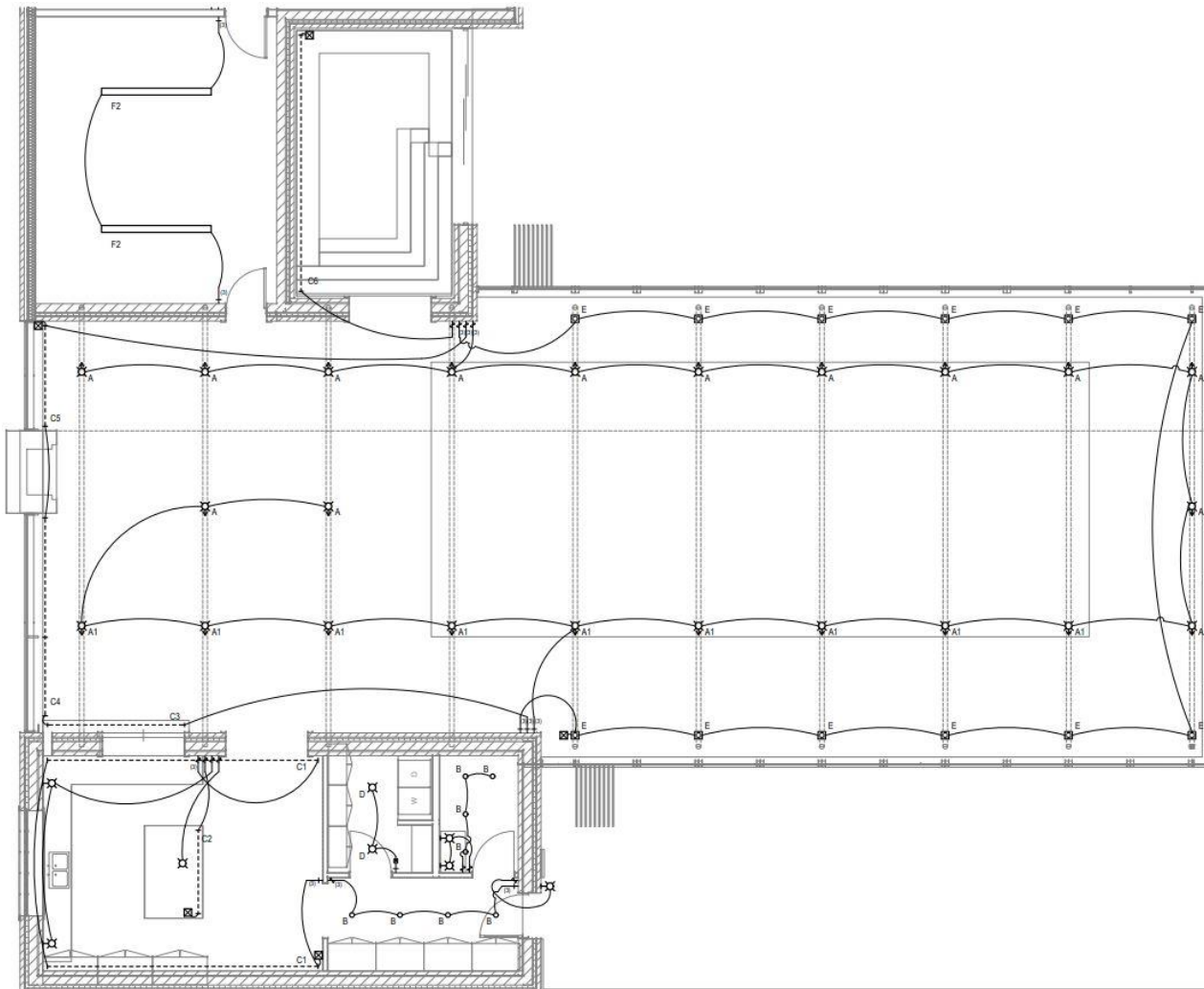


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MILWAUKEE POOL HOUSE - OUTBUILDING
AGI CALCULATIONS
SCALE: N/A
DATE: 06/14/2022

Lighting calculation showing how light diminishes as one goes west from the pool



SYMBOLS KEY:

- RECESSED DOWNLIGHT FIXTURE
- RECESSED ADJUSTABLE FIXTURE
- ⊕ SURFACE MOUNTED PENDANT OR CHANDELLIER
- ⊕ SURFACE MOUNTED WALL SCONCE
- ⊕ LINEAR LINE VOLTAGE FIXTURE
- ⊕ LINEAR LOW VOLTAGE FIXTURE
- ⊕ VERTICALLY MOUNTED LINEAR LOW VOLTAGE FIXTURE
- ⊕ RECESSED CEILING LINEAR LIGHT FIXTURE
- ⊕ RECESSED WALL MOUNTED FIXTURE
- ⊕ CEILING MOUNTED MONOPOINT
- ⊕ WALL OR BEAM MOUNTED MONOPOINT

- ⊕ IN-GRADE UPLIGHT
- ⊕ LANDSCAPE ACCENT
- ⊕ TREE-STANDING LAMP
- ⊕ FAN / MOTOR
- ⊕ TRANSFORMER - 120V/12V OR 120V/24V
- ⊕ SWITCHED CLOCK RECEPTACLE
- ⊕ DUPLEX RECEPTACLE (WP) WEATHER PROOF
- ⊕ CEILING FAN

- ⊕ WALL BOX DIMMER (D) DIMMY
- ⊕ RELAY ELECTRONIC LOW VOLTAGE
- ⊕ RELAY MAGNETIC LOW VOLTAGE
- ⊕ SINGLE POLE SWITCH (S) 3-WAY (S) 4-WAY (S) JAMB
- ⊕ MOTION SENSOR SWITCH
- ⊕ SMART DIMMER ON LIGHTING SYSTEM
- ⊕ SMART SWITCH ON LIGHTING SYSTEM
- ⊕ LIGHTING CONTROL KEYPAD
- ⊕ CONTROL SYSTEM LOAD ID NUMBER

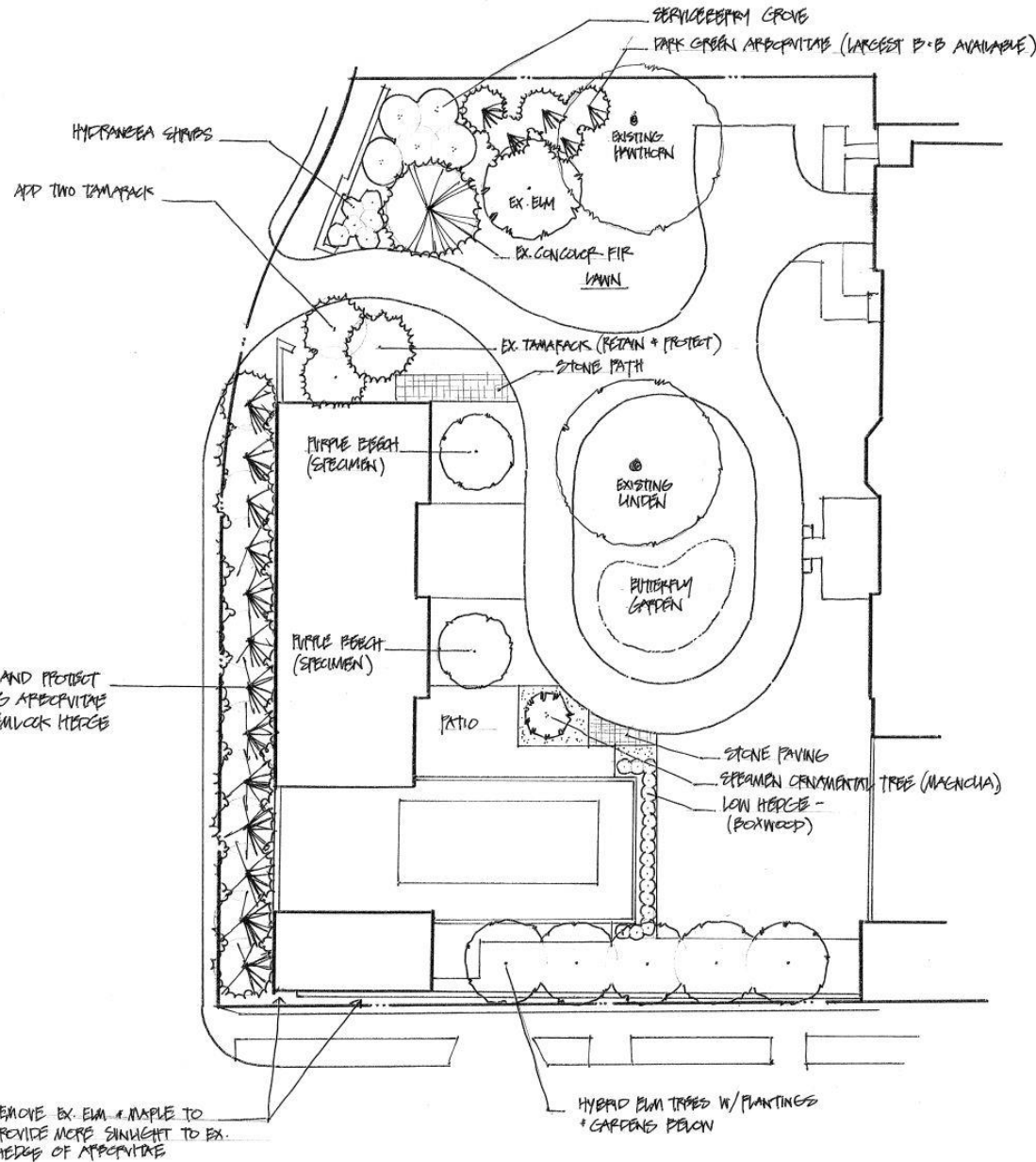
GENERAL NOTES:

1. REFER TO ARCHITECTURAL AND MECHANICAL DRAWINGS FOR ADDITIONAL LIGHTING INFORMATION.

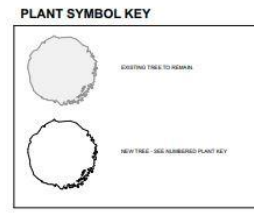
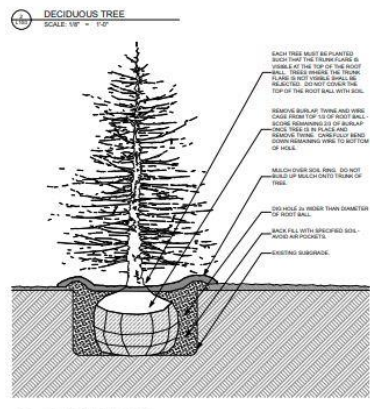
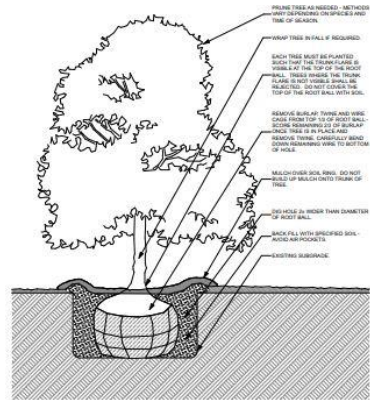
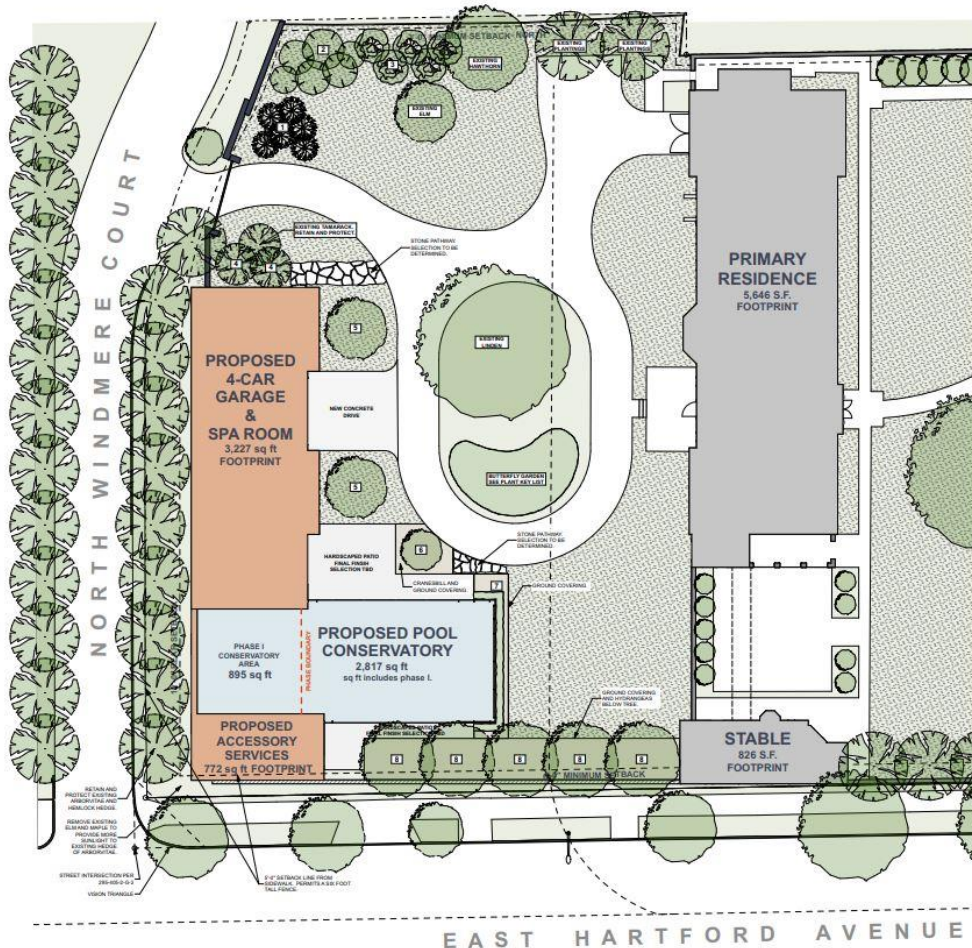
KEY NOTES:

- ⊕ TBD
- ⊕ TBD

Light fixtures



Landscape Plan



LANDSCAPE PLAN - GENERAL NOTES

- CONTRACTOR IS RESPONSIBLE FOR CONTACTING PUBLIC AND PRIVATE AGENCIES TO OBTAIN NECESSARY PERMITS AND APPROVALS FOR ANY WORKING ON EARTHWORK.
- ANY WORK NOT SPECIFIED BY CONTRACTOR SHALL BE REFERRED TO ORIGINAL CONDITIONS.
- TOP SOIL SHALL BE PLACED TO WITHIN 4" OF PROPOSED GRADE BY THE ORIGINAL CONTRACTOR. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION OF A LANDSCAPE PLAN. A MINIMUM DEPTH OF 4" OF ALL SOILS, IMPROVED AND NON-IMPROVED SOILS, IS REQUIRED FOR ALL AREAS. FRESH LANDSCAPE SOILS TO BE USED. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES AND DRIVEWAYS.
- ALL PLANTING SHALL BE PLACED TO WITHIN 4" OF PROPOSED GRADE. REMOVE EXCESS SOIL FROM TOP OF ROOT BALL. IF NEEDED, SHADY SIDE WALLS OF TREES MUST BE PROTECTED FROM THE SOIL. REMOVE BURLAP TRUNKS AND WIRE CAGES AND DISPOSE APPROPRIATELY. REMOVE BURLAP TRUNKS AND WIRE CAGES FROM TOP OF SOIL BALL. SCORE REMOVED BURLAP TRUNKS IN A WAVE AND REMOVE TRUNK COMPLETELY AND DISPOSE APPROPRIATELY TO THE TOP OF HILL. AND WILL NOT BE USED IN SOIL. SCORE THE REMAINING TRUNKS OF BURLAP AND REMOVE TRUNKS. SOIL MUST BE UNDER TRUNK DETERMINED BY TRUNK BALL. BACK FILL WITH ENRICHED SOIL. MOULD AND PROTECT. EXISTING SUBGRADE. MAINTAIN SOIL LEVEL. DO NOT ADD SOIL TO RAISE LEVEL OF TREE. SOIL MUST BE UNDER TRUNK DETERMINED BY TRUNK BALL. BACK FILL WITH ENRICHED SOIL. MOULD AND PROTECT. EXISTING SUBGRADE. MAINTAIN SOIL LEVEL. DO NOT ADD SOIL TO RAISE LEVEL OF TREE.
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LANDSCAPE PLAN
 SCALE: 1/8" = 1'-0"

PLANT SCHEDULE



Landscaping plan in color