


LEASE AGREEMENT

38874

This Agreement ("Lease" or "Agreement"), made this 18th day of July, 2001, between the CITY OF MILWAUKEE, a Wisconsin municipal corporation, hereinafter referred to as "Lessor," and PrimeCo Personal Communications, Limited Partnership, d/b/a Verizon Wireless, hereinafter referred to as "Lessee."

Verizon Wireless Personal Communications LP 

RECITALS

A. Lessor is the owner of a building located on the Property at 5600 W. Oklahoma Avenue, City of Milwaukee, County of Milwaukee, State of Wisconsin, as legally described on Exhibit "A" attached hereto and incorporated herein ("Property").

B. Lessee desires to lease certain space on the Property, hereinafter referred to as "the Leased Space" and as described on Exhibit "B" and attached hereto and incorporated herein, and requires certain non-exclusive easement rights of access for the term of this Lease, for: (1) utility lines and cables; and (2) vehicular ingress and egress across and over Lessor's Property for access to the Leased Space and Lessee's equipment, including shelter; antennas and appurtenances as described on Exhibit "C" attached hereto and incorporated herein ("Equipment") and certain temporary construction rights of entry to the Property.

C. Lessor is willing to rent to the Lessee the Leased Space and certain non-exclusive easement rights of access for the term of this Lease, for (1) utility lines and cables; and (2) vehicular ingress and egress across and over Lessor's Property for access to the Leased Space and Lessee's Equipment under the following terms and conditions.

AGREEMENT

1. Term.

a. Initial Term. This Agreement shall be for an initial term of five (5) Years ("Initial Term"), commencing upon Lessee's commencement of construction ("Commencement Date"). Lessee shall advise Lessor in writing of the date it commences construction of its Equipment on the leased space no later than five business days after the commencement of construction.

b. Option to Extend. Lessee shall have the option to extend the term of this Lease for four (4) additional periods of five (5) years (each additional five year period being an "Option Term"), upon the same terms and conditions of this Agreement, except for the payment of rent as set forth below, upon written notice to

Lessor of Lessee's intention to exercise its option, at least one hundred and twenty (120) days before the expiration of the Initial Term, or each succeeding Option Term.

At least ninety (90) days before the expiration of the Initial Term and each Option Term thereafter, Lessor and Lessee shall in good faith commence negotiations toward extending the term of the Lease for an additional Option Term of five (5) years, including renegotiations of the rental amount. If, at the end of the Initial Term and each Option Term thereafter, Lessor and Lessee have not executed an amendment to this Lease modifying the Term herein described, this Lease shall be deemed to have been extended by the parties for an additional Option Term at current rental amounts increased by five percent (5%) annually, unless either Lessee or Lessor notifies the other in writing at least sixty (60) days before the expiration of such Option Term, that it chooses to terminate this Lease rather than have it extended.

2. Termination by Lessor for Special Purpose. If, during the final year of the Initial Term or during any year of an Option Term of this Lease, the Common Council of the City of Milwaukee determines that the Leased Space is needed for a special purpose by Lessor or any of its bureaus or departments, this Lease, and any extension thereof, shall be subject to cancellation by Lessor upon one (1) years' prior written notice to Lessee. In the event of such termination, Lessee shall pay a prorated rent amount hereunder during the period between the date of Lessor's notice of termination and Lessee's vacation of the Leased Space. During such period, Lessee shall be entitled to remove from the Lease Space all of Lessee's Equipment and Improvements, including all supporting apparatus. This Termination by Lessor for Special Purpose may not be exercised in the first nine years of this Lease.

3. Rent. Annual rent shall be Seventeen Thousand and No/100 Dollars (17,000.000) the first year of the Initial Term, increased every year of the Initial Term by five percent (5%). Rent shall be paid in advance and delivered on the commencement date and every year thereafter to the address set forth in this Lease for giving notices.

The annual rent for each year for the Initial Term shall be as follows:

INITIAL TERM

YEAR 1	\$17,000.00
YEAR 2	\$17,850.00
YEAR 3	\$18,743.00
YEAR 4	\$19,680.00
YEAR 5	\$20,664.00

Rental amount shall be renegotiated before the end of the Initial Term, and before the end of each succeeding Option Term.

4. Use. Lessee shall use the Leased Space for the purpose of installing, maintaining, and operating a nine-antenna array plus related cabling for wireless communications and uses incidental thereto. Copies of Lessee's FCC filing papers and any issued licenses must be provided to Lessor. Lessee shall not use the Leased Space for the provision of "cable services" or as a "cable television system" as those terms are defined in state and federal law nor shall Lessee use the Leased Space as a

"cable communications system" as defined in sec. 99-3-5, Milwaukee Code of Ordinances.

a. The Equipment shall be specified and provided by Lessee along with plans and specifications for their installation. Said plans and specifications are subject to Lessor's approval not to be unreasonably withheld, delayed or conditioned. These items shall be installed by Lessee at Lessee's cost. Subsequent maintenance and replacement of the Equipment shall be responsibility and at the discretion of Lessee. All improvements shall be installed according to the plans approved by Lessor. Lessee shall follow EIA and NEC guidelines in regards to antenna system grounding.

b. This Agreement shall not be construed so as to preclude additions, deletions, or modifications by Lessor to Lessor's own facilities at this location. Lessor agrees, however, not to make or allow to be made, during the term of this Agreement or any Option Term, any such additions, deletions, or modifications to its own facilities at this location which would interfere with Lessee's intended use. Likewise, no such additions, deletions, or modifications to Lessee's facilities at this location shall be made which, within Lessor's reasonable discretion, would interfere with Lessor's use of its facilities.

c. Lessee shall bear all responsibility and expense of obtaining all necessary permits and licenses from the Federal Communications Commission ("FCC") and shall be fully responsible for installing and operating its antenna and equipment in compliance with Federal Communications Commission rules and regulations. Any radio interference to other radio systems using Lessor's Property, within 30 days of commencement of Lessee's operations, caused by Equipment of Lessee shall be corrected immediately by Lessee, at Lessee's expense. Lessor shall notify Lessee if such interference affects Lessor's critical public service communications and Lessee agrees to correct the problem immediately, or to temporarily cease operation until the problem is corrected. Failure to immediately correct the problem, or to temporarily cease operation for interference with Lessor's critical public service communications systems shall, at the option of Lessor, constitute for Lease termination.

d. Lessor will be responsible for necessary repair and maintenance of the Property. Lessee shall have the right to replace or upgrade its Equipment at any time during the term of the Lease without receiving prior approval from the Lessor provided that Lessee's Equipment replacement or upgrade does not violate any other provision of this Lease.

e. Lessee will be responsible for installation and payment of all utilities required by its use of the Leased Space. Lessee shall pay any real estate taxes and personal property taxes levied against Leased Space and the improvements constructed thereon by Lessee, if any, and any increase in real estate taxes directly attributable to the improvements therein constructed by Lessee.

f. Lessee and its authorized representatives have a right to ingress and egress to and from the Leased Space for the purposes set forth herein twenty-four (24) hours per day, seven days per week. Lessee will notify the proper agents or authorities informing Lessor of their intentions and actions.

g. Lessor must be supplied with the name, title, telephone number and pager of current technical representatives of Lessee, to which radio-related issues will be referred. At all times, these persons must have the authority to resolve radio interference issues.

6. Termination.

a. By Lessee: It is understood and agreed that Lessee's ability to use the Leased Space is contingent upon its obtaining and maintaining, after the execution of this Agreement, all the certificates, permits, and other approvals that may be required by any federal, state, or local authorities. Lessor shall cooperate with Lessee in its efforts to obtain such approvals and shall take no action which would adversely affect the status of the Leased Space with respect to the proposed use thereof by Lessee. In the event that any of such applications should be finally rejected or any certificate, permit, license, or approval issued to Lessee is canceled, expires, lapses, or is otherwise withdrawn or terminated by governmental authority so that Lessee, in its sole discretion, will be unable to use the Leased Space for its intended purposes, Lessee shall have the right to terminate this Agreement upon 30-days written notice to Lessor.

Said termination right shall also apply in the event that Lessee is otherwise, within its sole discretion, precluded from using the Leased Space for its intended purpose. Notice of Lessee's exercise of this right to terminate shall be given to Lessor in writing six (6) months in advance of intended termination date as provided under paragraph 17 below. All rentals paid for the lease of the Leased Space to said termination date shall be retained by Lessor. Upon such termination, this Agreement shall become null and void and all parties shall have no further obligations, including the payment of money, to each other.

Lessee upon termination of this Agreement, shall, within a reasonable period, remove its personal property and fixtures and restore the Leased Space to its original condition, reasonable wear and tear and damage not caused by Lessee excepted.

b. Default. Except as expressly limited herein, Lessor and Lessee shall each have such remedies for the default of the other party hereto as may be provided at law or equity following written notice of such default and failure to cure the same within thirty (30) days, nevertheless, this agreement may not be terminated if the defaulting party commences action to cure the default within 30 days and proceeds with due diligence to fully cure the default. With respect to Lessee's default, the cure period shall not exceed 90 days unless both parties agree in writing to extend the cure period.

7. Indemnification. Lessee shall indemnify and hold Lessor harmless against any claim of liability or loss from personal injury or property damage resulting from or arising out of the use and occupancy of the Leased Space by Lessee, its servants or agents, excepting, however, such claims or damages as may be due to or caused by negligence or intentional acts of Lessor, its employees, invites, agents or contractors.

8. Insurance.

a. Liability. Lessee shall maintain, at its sole cost and expense, Public liability insurance with an initial coverage limit of at least One Million Dollars (\$1,000,000) against any claims for personal injury or property damage relating to or arising from the installation, existence, use, repair, maintenance, replacement or removal of the antenna or Equipment by a single Person or for the aggregate of claims by any number arising out of a single occurrence.

b. Property Damage. Lessor shall maintain, at its sole cost and expense, all perils insurance with extended coverage and replacement cost endorsements insuring the Property at its full insurable value. Lessee shall be responsible for obtaining its own coverages for its Equipment.

c. Additional Insured/Certificate of Insurance. The Lessor shall be named as an additional insured on all insurance policies described in this Section and shall be given thirty (30) days prior written notice of any cancellation, non-renewal, or material change in any insurance coverage. A certificate of insurance showing that such coverage is in effect shall be provided to the Lessor within fifteen (15) days of the date first above written and annually thereafter during the term of this Lease.

9. [Reserved]

10. Casualty. In the event the Leased Space is destroyed or damaged in whole or in part by casualty during the term of this Lease, and to the extent that the Leased Space is not useful for Lessee's option (exercised by notice to Lessor) this Lease may be terminated as of the date of the notice. In the event the Lease is not terminated by Lessee, the rent shall abate while and to the extent that the Leased Space is not useful for Lessee's purposes. Nothing herein shall require the Lessor to rebuild following destruction or damage.

11. Environmental Pollutants. Lessee shall not, either with or without negligence, cause or permit the escape, unlawful disposal or release beyond lawful limits of any Hazardous Materials as hereinafter defined. Lessee shall not bring onto the Leased Space and/or Property or knowingly allow the storage or use of Hazardous Materials in any manner if prohibited by law or if not sanctioned by the highest standards prevailing in the industry for the storage and use of such substances or materials. For the purposes of this paragraph, the term "Hazardous Materials" shall mean, (i) any substances defined as "hazardous substances," "pollutants," "contaminants," "hazardous materials," "hazardous wastes," or "hazardous or toxic substances" as now or hereafter defined in any applicable federal, state or local law, regulation, ordinances, or directive, including, but not limited to, the Resource Conservation and Recovery Act of 1976 (42 U.S.C. Sec. 6901 et. Seq.); the Comprehensive Environmental Response, Compensation and Liability Act of 1980, as any such acts may be amended by SARA, 42 U.S.C. Sec. 9601, et. Seq.; the Hazardous Materials Transportation Act, 49 U.S.C. Sec. 1801, et. Seq.; the Toxic Substance Control Act, 15 U.S.C. Sec. 2601, et. Seq.; the Resource Conservation and Recovery Act, as amended (42 U.S.C. Sec. 9601, et. Seq.); the Clean Water Act, 33 U.S.C. Sec. 1251 et. Seq.; the Clean Air Act, 42 U.S.C. Sec. 7412, et. Seq.; as any such acts may be amended, modified or supplemented; (ii) those substances listed or otherwise identified in the regulations adopted and publications issued, as may be amended, modified or supplemented, pursuant to any of the above-

referenced statutes; (iii) any friable asbestos, airborne asbestos, or any substance or material containing asbestos; (iv) any substance, the presence of which on the Leased Space and/or Property is prohibited by any legal requirement of any governmental authority or which may give rise to an assessment of a governmental authority; and (v) any other substance which by legal requirement of any governmental authority requires special handling in its collection, storage, treatment, or disposal.

a. If, either during the term hereof or within two years of its expiration, a federal or state agency shall, in its reasonable discretion, require testing to ascertain whether or not there has been any release of Hazardous Materials by Lessee, then the reasonable costs thereof shall be reimbursed by Lessee to Lessor upon demand as additional Rent if such requirement applies to the Leased Space and/or Property. If testing conducted by Lessor pursuant to this subparagraph identifies the presence of any release of Hazardous Materials by Lessee, Lessee shall have the right and opportunity to perform, at Lessee's costs, a retest to confirm or refute the results of Lessor's testing. Lessee shall execute affidavits, representations and the like from time to time during the term hereof or within two years of its expiration, at Lessor's request concerning Lessee's best knowledge and belief regarding the presence of Hazardous Materials on the Leased Space and/or Property.

b. Lessee Indemnification of Lessor. Lessee shall indemnify and hold harmless Lessor, its officers, employees, agents, successors and assigns from and against any and all losses, claims, damages, penalties, liabilities, costs and expenses (including reasonable attorney's fees and court costs), fines, injuries, penalties, response costs (including the cost of any required or necessary investigation, testing, monitoring, repair cleanup detoxification, preparation of any closure or other required plans, or other removal, response or remedial action at or relating to the Property) (collectively, the "Claims and Costs"), with respect to, as a direct or indirect result of, or arising out of any of the following: (i) any legal requirements, lawsuit (brought or threatened), reasonable settlement, or requirement of any insurer of the Leased Space and/or Property or any portion thereof, relating to the generation, presence, management, disposal, release (or threatened release), escape, seepage, leakage or cleanup of any Hazardous Materials at, on, from or under all or a portion of the Leased Space and/or Property for which Lessee, its agents, contractors, or invitees are responsible, or (ii) the migration of Hazardous Materials caused by Lessee from the Leased Space and/or Property to any other Property to any other property or onto the Leased Space and/or Property; or (iii) the treatment, disposal or storage of Hazardous Materials or the transportation of Hazardous Materials from the Leased Space and/or Property by Lessee, its agents, contractors or invitees; or (iv) the incorporation by Lessee of any Hazardous Materials in the Leased Space.

c. Lessor Indemnification of Lessee. Lessor agrees to indemnify, defend and hold Lessee and its officers, partners, employees and agents harmless from any claims, judgments, damages, penalties, fines, costs, liabilities (including sums paid in settlements of claims) or loss including attorneys' fees, consultant fees and expert fees which arise during or after the term of this Lease from or in connection with the presence in the soil, groundwater or soil vapor on or under the Property of Hazardous Materials, unless the Hazardous Materials are present solely as a result of the negligence or willful misconduct of Lessee, its officers, employees or agents. Without limiting the generality of the foregoing, the indemnification provided by this paragraph 11 c. shall specially cover costs incurred in connection with any investigation of site

conditions. or any cleanup, remediation, removal or restoration work required by any federal, state or local governmental agency or political subdivision because of the presence of Hazardous Materials in the soil, groundwater or soil vapor on or under the Property, unless the Hazardous Materials are present solely as a result to the negligence or willful misconduct of Lessee, its officers, employees or agents. Without limiting the generality of any of the foregoing, the indemnification provided by paragraph 11.c. shall also specifically cover costs incurred in connection with:

1. Hazardous Materials present in the soil, groundwater or soil vapor on or under the Property before the term of this Lease commenced;
2. Hazardous Material that migrate, flow, percolate, diffuse or in any way move onto or under the Property after the term of this Lease commenced, except if caused by Lessee; or
3. Hazardous Materials present on or under the Property as a result of any discharge, dumping or spilling (accidental or otherwise) onto the Property, prior to, during or after the term of this Lease by any person, corporation, partnership or entity other than Lessee.

d. Condition of Property. Compliance with Law. Lessor represents that Lessor's Property (including without limitation, the location for the Leased Space) and all improvements thereto, are in compliance with all building, life/safety, disability and other laws, codes and regulations of any governmental or quasi-governmental authority. Lessee agrees that subject to Lessor's compliance with the terms of this paragraph, any improvements constructed by Lessee on the Property Lessee's equipment and all of the operations of Lessee within the Property shall be in compliance with all applicable laws, codes and regulations.

The foregoing conditions and indemnifications in subparagraphs 11.a, 11.b and 11.c shall survive the expiration or earlier termination of this Lease.

12. Quiet Enjoyment: Cooperation: Estoppel Letters. Lessor covenants and agrees that upon payment by Lessee of the rental under this Lease and upon the observance and performance of all the covenants, terms and conditions on Lessee's part to be observed and performed, Lessee shall peaceably and quietly hold and enjoy the Leased Space, rights, and privileges granted hereunder for the term hereby demised without hindrance or interference by Lessor or any other person. However, Lessor may lease space on the Property to third parties if such use does not hinder or interfere with lessee's use of the Leased Space as provided hereunder.

Both parties agree to strive to maintain an amiable long-term relationship and to use best efforts to fulfill the terms and conditions of this Lease. Lessor agrees to cooperate with Lessee in any efforts by Lessee to secure, maintain, or renew any governmental permits or license necessary to use the Leased Space as contemplated in this Lease, and to join in any application or other document reasonably requested by Lessee.

Lessor and Lessee agree to furnish to each other upon request, letters confirming whether this Lease is in full force and effect free or known defaults and such other matters concerning the status of this Lease which may be reasonably requested.

13. Lessor Representations. Lessor represents that it is seized of good and sufficient title and interest in the Property and has full authority to enter into, execute and perform its obligations under this Agreement. Lessor further covenants that there are no liens, judgments, or impediments of title on the Property.

14. Paragraph Headings: Entire Agreement: Oral Modifications. The section or paragraph headings contained herein are for convenience only and shall not be deemed a part of this Lease. This Lease contains the entire understanding between the parties with reference to the matters contained herein, there being no terms, conditions, warranties, or representations other than those contained herein, and no amendment hereto shall be valid unless made in writing and signed by both of the parties hereto.

15. Construction of Lease. This Lease shall be construed in accordance with the laws of the State of Wisconsin. In the event that any provisions hereof shall be legally unenforceable, the remaining provisions shall nevertheless be carried into effect. The parties agree that time is of the essence of this Lease.

16. Assignment. This Agreement may not be sold, assigned, or transferred at any time by Lessee without the prior written consent of the Lessor, except to Lessee's partners, affiliates or subsidiaries, or affiliates, or subsidiaries of Lessee's partners. Requests for Lessor's consent on assignment shall be joined in by the proposed assignee and shall provide that assignee agrees to assume all of the obligations and liabilities of the lessee, unless release or the Lessee is not requested.

17. Notices. All notices hereunder must be in writing and shall be deemed validly given when mailed by first class mail with proper postage addressed as follows (or any other address that the party to be notified may have designated to the sender by like notice.)

LESSEE:

Verizon Wireless
180 Washington Road
Bedminster, NJ 07921
ATTN: Network Real Estate Dept.
(908) 306-7735

With a copy to:

LESSOR:

City of Milwaukee
Department of Administration
Room 606
200 E. Wells Street
Milwaukee, WI 53202
(414) 286-8689

With a copy to:

Office of the City Attorney
City Hall, Room 800
200 East Wells Street
Milwaukee, WI 53202
(414) 286-2601

18. Successors. This Agreement shall extend to and bind the heirs, personal representatives, successors and assigns of the parties hereto.

19. Lease Memorandum. The parties agree to execute a Memorandum of Lease in recordable form intended for notification and recording to give notice to the public of the existence of this Lease.

20. [Reserved]

21. Personal Property. The Lessee's Equipment shall remain the personal property of Lessee, shall not be deemed to be permanently attached to the Leased Space, and shall be maintained and repaired solely by Lessee.

22. Waiver of Landlord's Lien. To the extent permitted by law, Lessor hereby waives any and all lien rights it has or may have, statutory or otherwise, concerning the Lessee's Equipment, and all related equipment and antennas, which shall be deemed personal property for the purposes of this agreement, regardless of whether or not the same is deemed real or personal property under applicable law.

23. Condemnation. In the event that all or substantially all of Lessor's Property is condemned by an authorized governmental or quasi-governmental authority, this Agreement shall terminate upon the date of the taking and each party shall have the right to maintain their own respective actions against the condemning authority for their respective damages and neither party shall have any interest in any award granted to the other. In the event of such a taking, any excess prepaid rent shall be promptly repaid to Lessee.

LESSOR:

CITY OF MILWAUKEE

BY: 

John O. Norquist, Mayor

BY: 

Ronald D. Leonhardt
City Clerk

CONTERSIGNED:

BY: 

W. Martin Morics
City Comptroller

DEPUTY

BZ

SIGNATURES CONTINUED ON NEXT PAGE

LESSEE: *Verizon Wireless Personal
Communications LP f/k/a*

PRIMECO PERSONAL
COMMUNICATIONS, LIMITED ^(P)
PARTNERSHIP D/B/A VERIZON
WIRELESS

Kay Schlicht

Witness

BY: *[Signature]*

Michael S. Irizarry
ITS: *Area VP of Network, Midwest
Great Lakes Area*

Date: *02-01-02*

EXHIBIT "A"
LEGAL DESCRIPTION OF THE PROPERTY

All that part of the West 1/2 of the Southwest 1/4 of Section 11, in Town 6 North, Range 21 East, in the City of Milwaukee, County of Milwaukee, State of Wisconsin, bounded and described as follows:

Commencing at a point on the South line of said 1/4 Section 332 feet West of the Southeast corner of said West 1/2 of said 1/4 Section; thence North on a line parallel to the East line of said West 1/2 of said 1/4 Section 328 feet to a point; thence West on a line parallel to the South line of said 1/4 Section 232.42 feet to a point; thence South on a line parallel to the East line of said said West 1/2 of said 1/4 Section 154.40 feet to a point; thence East on a line parallel to the South line of said 1/4 Section 52 feet to a point; thence South on a line parallel to the East line of said West 1/2 of said 1/4 Section 173.60 feet to a point in the South line of said 1/4 Section; thence East on the South line of said 1/4 Section 180.42 feet to the place of commencement.

EXCEPTING THEREFROM the South 60 feet thereof and that part thereof described in Warranty Deed recorded as Document No. 4229677.

EXHIBIT "B"
DESCRIPTION OF THE LEASED SPACE

LEASE PARCEL

A part of the West Half (W½) of the Southwest Quarter (SW¼) of Section Eleven (11), Township Six (6) North, Range Twenty-One (21) East, City of Milwaukee, Milwaukee County, Wisconsin containing 440 square feet (0.010 acres) of land and being described by:

Commencing at the Southwest (SW) Corner of said Section 11; thence N88°-33'-45"E 967.43 feet along the South line of the SW¼ of said Section 11 to the South extension of the West line of South 56th Street; thence N00°-27'-13"W 60.01 feet along said West line to the North line of West Oklahoma Avenue; thence S88°-33'-45"W 150.40 feet along said North line; thence N00°-27'-13"W 130.21 feet; thence N89°-32'-47"E 9.41 feet to the point of beginning; thence N88°-53'-16"E 22.00 feet; thence S01°-06'-44"E 20.00 feet; thence S88°-53'-16"W 22.00 feet; thence N01°-06'-44"W 20.00 feet to the point of beginning; being subject to any and all easements and restrictions of record.

20 FOOT WIDE INGRESS/EGRESS EASEMENT

A 20 foot wide Ingress/Egress Easement being a part of the West Half (W½) of the Southwest Quarter (SW¼) of Section Eleven (11), Township Six (6) North, Range Twenty-One (21) East, City of Milwaukee, Milwaukee County, Wisconsin containing 2,262 square feet (0.052 acres) of land and being 10 feet either side of and parallel to the following described line:

Commencing at the Southwest (SW) Corner of said Section 11; thence N88°-33'-45"E 967.43 feet along the South line of the SW¼ of said Section 11 to the South extension of the West line of South 56th Street; thence N00°-27'-13"W 60.01 feet along said West line to the North line of West Oklahoma Avenue; thence S88°-33'-45"W 114.34 feet along said North line to the point of beginning; thence N01°-06'-44"W 75.00 feet; thence N28°-59'-13"W 28.12 feet; thence N01°-06'-44"W 10.00 feet to a point in the South line of afore described LEASE PARCEL and the point of termination.

8 FOOT WIDE UTILITY EASEMENT

An 8 foot wide Utility Easement being a part of the West Half (W½) of the Southwest Quarter (SW¼) of Section Eleven (11), Township Six (6) North, Range Twenty-One (21) East, City of Milwaukee, Milwaukee County, Wisconsin containing 1,521 square feet (0.035 acres) of land and being 4 feet either side of and parallel to the following described line:

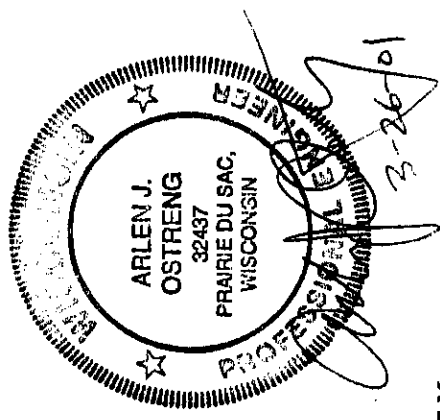
Commencing at the Southwest (SW) Corner of said Section 11; thence N88°-33'-45"E 967.43 feet along the South line of the SW¼ of said Section 11 to the South extension of the West line of South 56th Street; thence N00°-27'-13"W 60.01 feet along said West line to a point on the North line of West Oklahoma Avenue; thence S88°-33'-45"W 150.40 feet along said North line; thence N00°-27'-13"W 130.21 feet; thence N89°-32'-47"E 9.41 feet; thence S01°-06'-44"E 16.00 feet to the point of beginning; thence S88°-53'-16"W 4.00 feet; thence N01°-06'-44"W 40.00 feet; thence N88°-53'-16"E 79.50 feet; thence S76°-41'-13"E 31.18 feet; thence N88°-53'-16"E 35.47 feet to a point on the West line of South 56th Street and the point of termination.

EXHIBIT "C"
DESCRIPTION OF LESSEE'S EQUIPMENT

See attached construction drawings.

verizon wireless

56TH ST FIREHOUSE #140405 MILWAUKEE, WISCONSIN



SHEET INDEX: NO.: PAGE TITLE:

T-1	TITLE SHEET
C-1	SITE SURVEY
C-2	SITE PLAN
C-3	ELEVATION
C-4	DETAILS
C-5	SHELTER LAYOUT
E-1	UTILITY PLAN
G-1	GROUNDING DETAILS
G-2	GROUNDING DETAILS
S-1	STRUCTURAL DETAILS
N-1	GENERAL NOTES
N-2	GENERAL NOTES

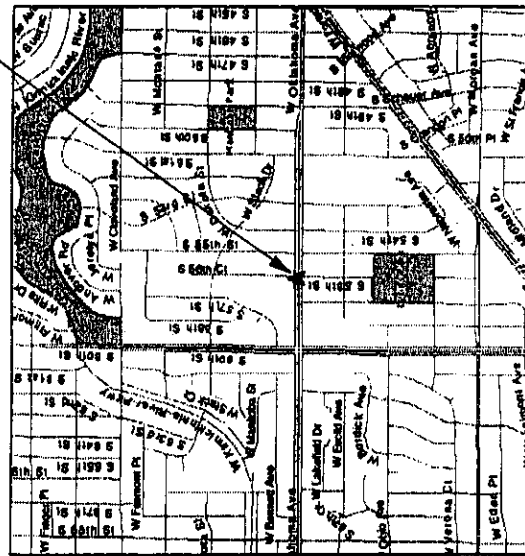
PROJECT INFORMATION:

SITE NAME: 56TH FIREHOUSE
 SITE #: 140405
 SITE ADDRESS: 5600 W. OKLAHOMA AVE MILWAUKEE, WI 53219
 OWNER: CITY OF MILWAUKEE 809 NORTH BROADWAY MILWAUKEE, WI 53202
 SECTION, TOWNSHIP, RANGE: SEC II T6N R2E
 ZONING: R040
 TAX I.D.: 513-9951-200-3
 POWER: WEPKO 1-800-242-9137
 TELEPHONE: AMERITECH 1-800-660-5806

CONSULTANTS:

ENGINEER: RAMAKER & ASSOCIATES, INC. 1120 DALLAS STREET SAUK CITY, WI 53583 CONTACT: KEN BAUMGARDT PHONE: (608) 643-4100 FAX: (608) 643-7999
 SURVEYOR: RAMAKER & ASSOCIATES, INC. 1120 DALLAS STREET SAUK CITY, WI 53583 CONTACT: MATT REICEL PHONE: (608) 643-4100 FAX: (608) 643-7999
 SITE ACQUISITION: WFI 207 EAST BUFFALO ST. SUITE 610 MILWAUKEE, WI 53202 CONTACT: TIM KLINGMAN PHONE: (414) 224-5100 MOBILE: (414) 254-1940 FAX: (414) 224-6382
 CONSTRUCTION MANAGER: WFI 207 EAST BUFFALO ST. SUITE 610 MILWAUKEE, WI 53202 CONTACT: DAVE NELSON PHONE: (414) 224-5100 FAX: (414) 224-6382 MOBILE: (608) 239-6311

SITE LOCATION



SITE LOCATION MAP

SCALE: NTS

**Approved
For Construction**

JOB NAME: 56TH STREET FIRE HOUSE		DRAFTED: RPD		REVISIONS		SHEET NUMBER	
FILE NAME: 5172_1-LOOP	CHECKED: DCL	NO.	DATE	REMARKS	T-1		
JOB NUMBER: 5172	DATE: 03/26/01						
RAMAKER & ASSOCIATES, INC. Consulting Engineers 1120 DALLAS STREET SAUK CITY, WISCONSIN 53583 PHONE: (608) 643-4100 FAX: (608) 643-7999 web: www.ramaker.com				PROJECT DESCRIPTION: SITE NAME: 56TH STREET FIRE HOUSE SITE NUMBER: 140405 SITE ADDRESS: 5600 W. OKLAHOMA AVE. MILWAUKEE, WI 53219 OWNER: CITY OF MILWAUKEE 809 NORTH BROADWAY MILWAUKEE, WI 53202			

VERIZON PROJECT: 55TH STREET FIREHOUSE CDB 140405
 DRAWN FOR: VERIZON WIRELESS
 700 WEST WISCONSIN STREET
 MILWAUKEE, WI 53204
 011-380-5300

AND
 DRAWN FOR:
 WIRELESS FACILITIES INCORPORATED
 300 EAST BUFFALO STREET
 MILWAUKEE, WI 53202

CITY OF MILWAUKEE
 500 WEST WISCONSIN STREET
 MILWAUKEE, WI 53202-3617

PROPERTY ADDRESS:
 FIREHOUSE NO. 10
 55TH STREET
 MILWAUKEE, WI 53208

TAX KEY NO.
 513-9951-200

ZONED: RD 40

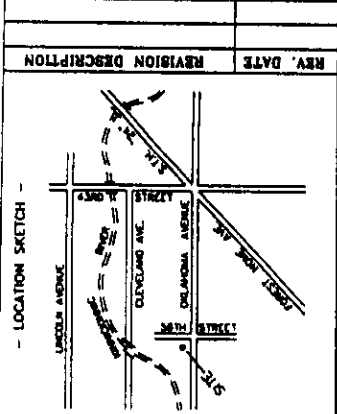
VERIZON WIRELESS
 A PART OF THE W 1/2 OF THE SW 1/4
 SECTION 11, T.6N., R.21E.
 MILWAUKEE, MILWAUKEE COUNTY, WISCONSIN

VERIZON WIRELESS
 VERIZON WIRELESS
 SITE SURVEY

PROJECT
 55TH STREET
 FIREHOUSE
 CDB 140405

FILE NO.
 K-27402

SHEET NO.
 1 OF 1

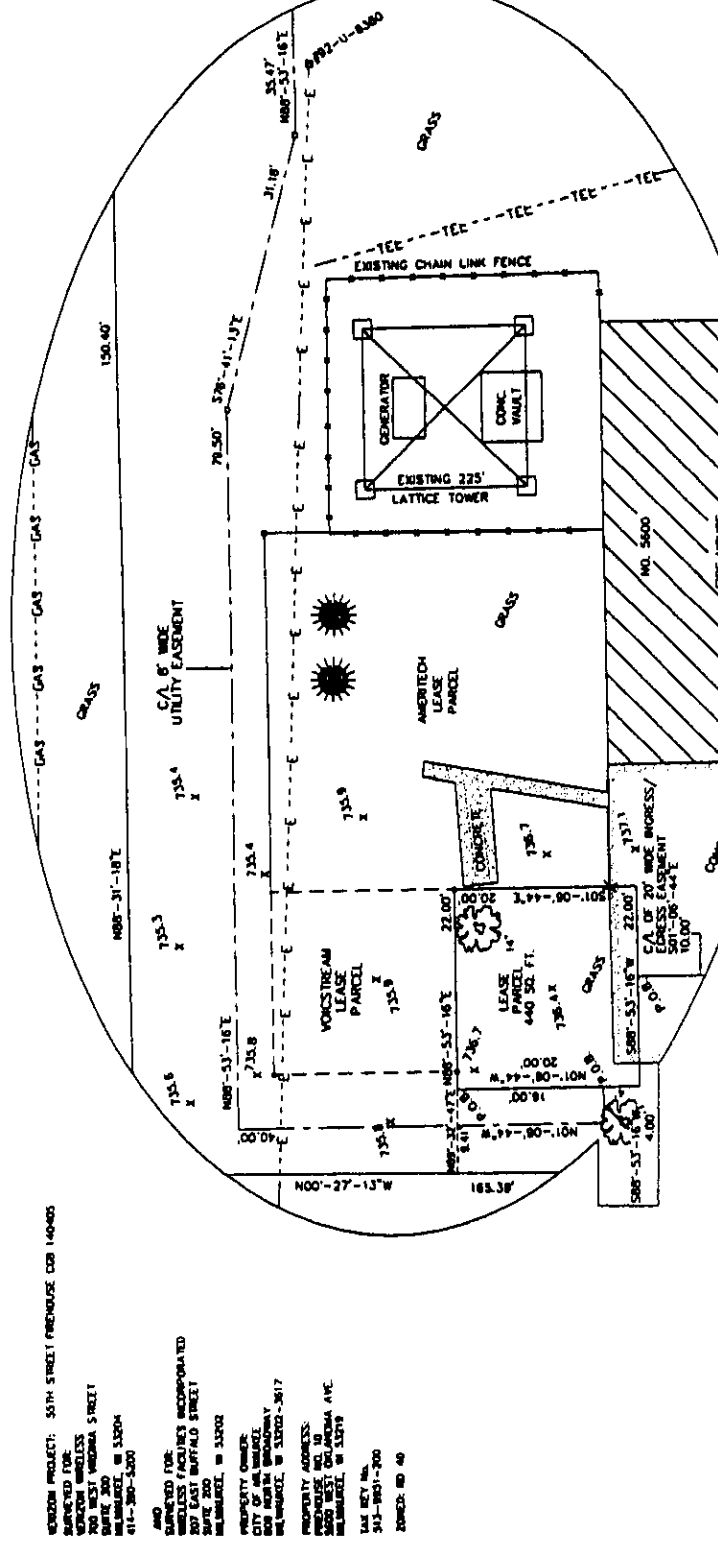
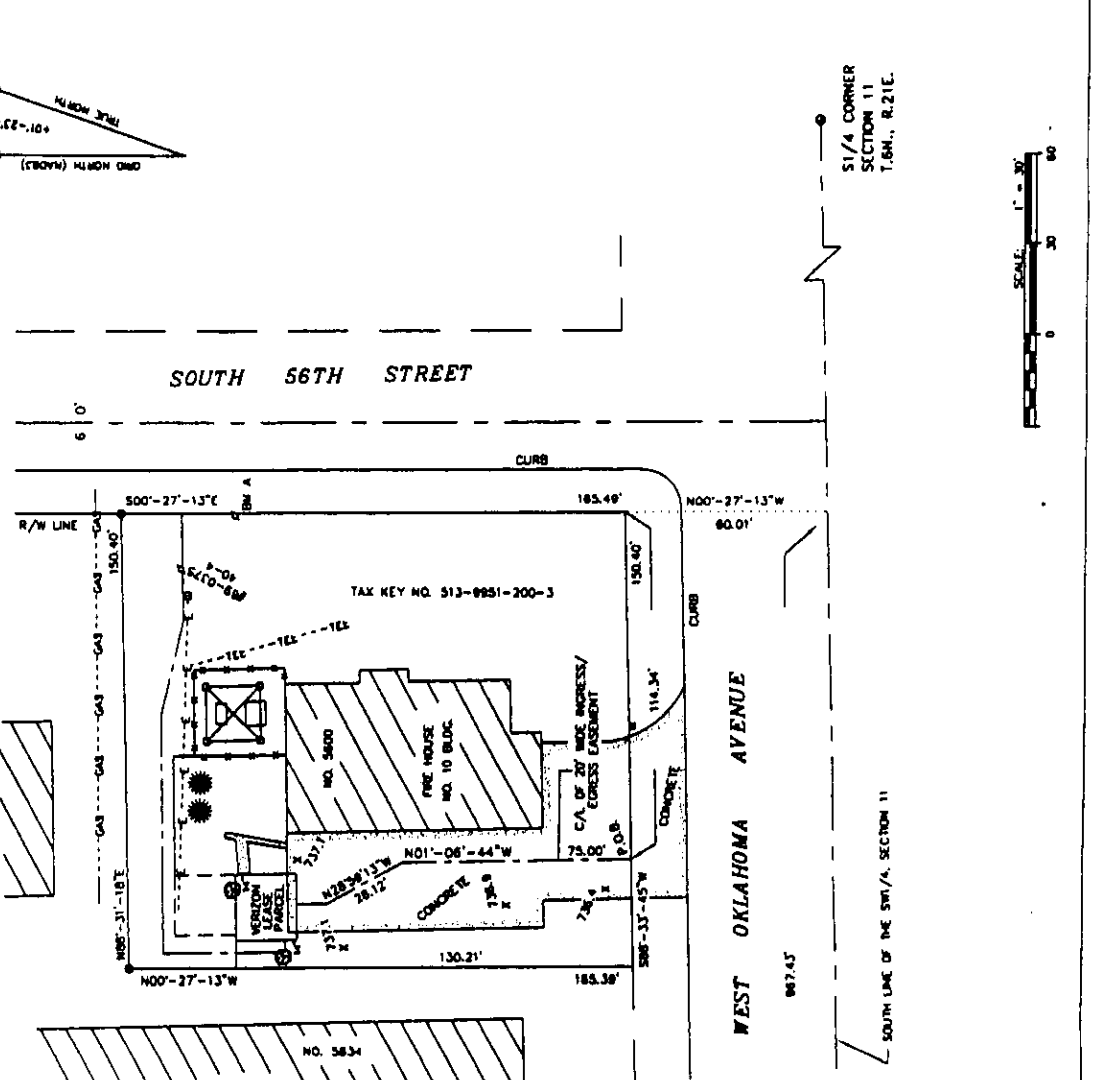
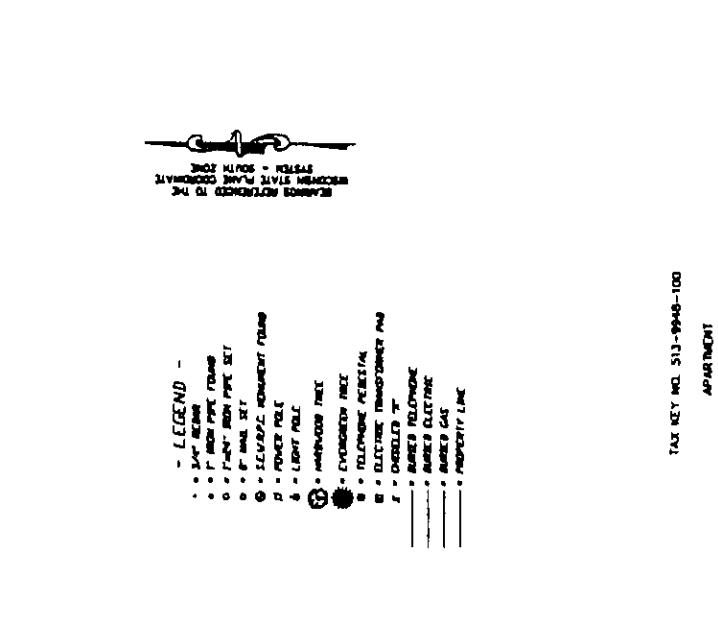


REV. DATE REVISION DESCRIPTION

- EXISTING TOWER BASE -
 Location: 47-59-20.25'
 Elevation: 87-56-04.18'
 (Per North American Datum of 1983)

Elevation: 736.1'
 (Per National Geodetic Vertical Datum of 1929)

HIGHEST POINT ON TOWER: 885.0'



VERIZON PROJECT: 55TH STREET FIREHOUSE CDB 140405
 DRAWN FOR: VERIZON WIRELESS
 700 WEST WISCONSIN STREET
 MILWAUKEE, WI 53204
 011-380-5300

AND
 DRAWN FOR:
 WIRELESS FACILITIES INCORPORATED
 300 EAST BUFFALO STREET
 MILWAUKEE, WI 53202

CITY OF MILWAUKEE
 500 WEST WISCONSIN STREET
 MILWAUKEE, WI 53202-3617

PROPERTY ADDRESS:
 FIREHOUSE NO. 10
 55TH STREET
 MILWAUKEE, WI 53208

TAX KEY NO.
 513-9951-200

ZONED: RD 40

A part of the West Half (WH) of the Southwest Quarter (SWQ) of Section Eleven (11), Township Six (6) North, Range Twenty-One (21) East, City of Milwaukee, Milwaukee County, Wisconsin containing 440 square feet (0.010 acres) of land and being described by:

Connecting at the Southwest (SW) Corner of said Section 11; thence N88°-33'-45"E 867.43 feet along the South line of the SWQ of said Section 11 to the South extension of the West line of South 56th Street; thence N07°-27'-15"W 60.01 feet along said West line to the North line of West Oklahoma Avenue; thence S88°-33'-45"W 150.40 feet along said North line; thence N07°-27'-15"W 130.21 feet; thence S88°-33'-45"W 47.81 feet to the point of beginning; thence N88°-33'-45"E 22.00 feet; thence S01°-06'-44"E 20.00 feet; thence S88°-33'-45"E 22.00 feet; thence N07°-06'-44"E 20.00 feet to the point of beginning; being subject to any and all easements and restrictions of record.

20 FOOT WIDE EGRESS/EGRESS EASEMENT

A 20 foot wide Egress/Egress Easement being a part of the West Half (WH) of the Southwest Quarter (SWQ) of Section Eleven (11), Township Six (6) North, Range Twenty-One (21) East, City of Milwaukee, Milwaukee County, Wisconsin containing 2,282 square feet (0.052 acres) of land and being 10 feet either side of and parallel to the following described line:

Connecting at the Southwest (SW) Corner of said Section 11; thence N88°-33'-45"E 867.43 feet along the South line of the SWQ of said Section 11 to the West line of South 56th Street; thence N07°-27'-15"W 60.01 feet along said West line to the West line of West Oklahoma Avenue; thence S88°-33'-45"W 150.40 feet along said North line; thence N07°-27'-15"W 130.21 feet; thence S88°-33'-45"W 47.81 feet to the point of beginning; thence N88°-33'-45"E 22.00 feet; thence S01°-06'-44"E 20.00 feet; thence S88°-33'-45"E 22.00 feet; thence N07°-06'-44"E 20.00 feet to the point of beginning; being 10 feet either side of and parallel to the following described line.

8 FOOT WIDE UTILITY EASEMENT

An 8 foot wide Utility Easement being a part of the West Half (WH) of the Southwest Quarter (SWQ) of Section Eleven (11), Township Six (6) North, Range Twenty-One (21) East, City of Milwaukee, Milwaukee County, Wisconsin containing 1,521 square feet (0.035 acres) of land and being 4 feet either side of and parallel to the following described line:

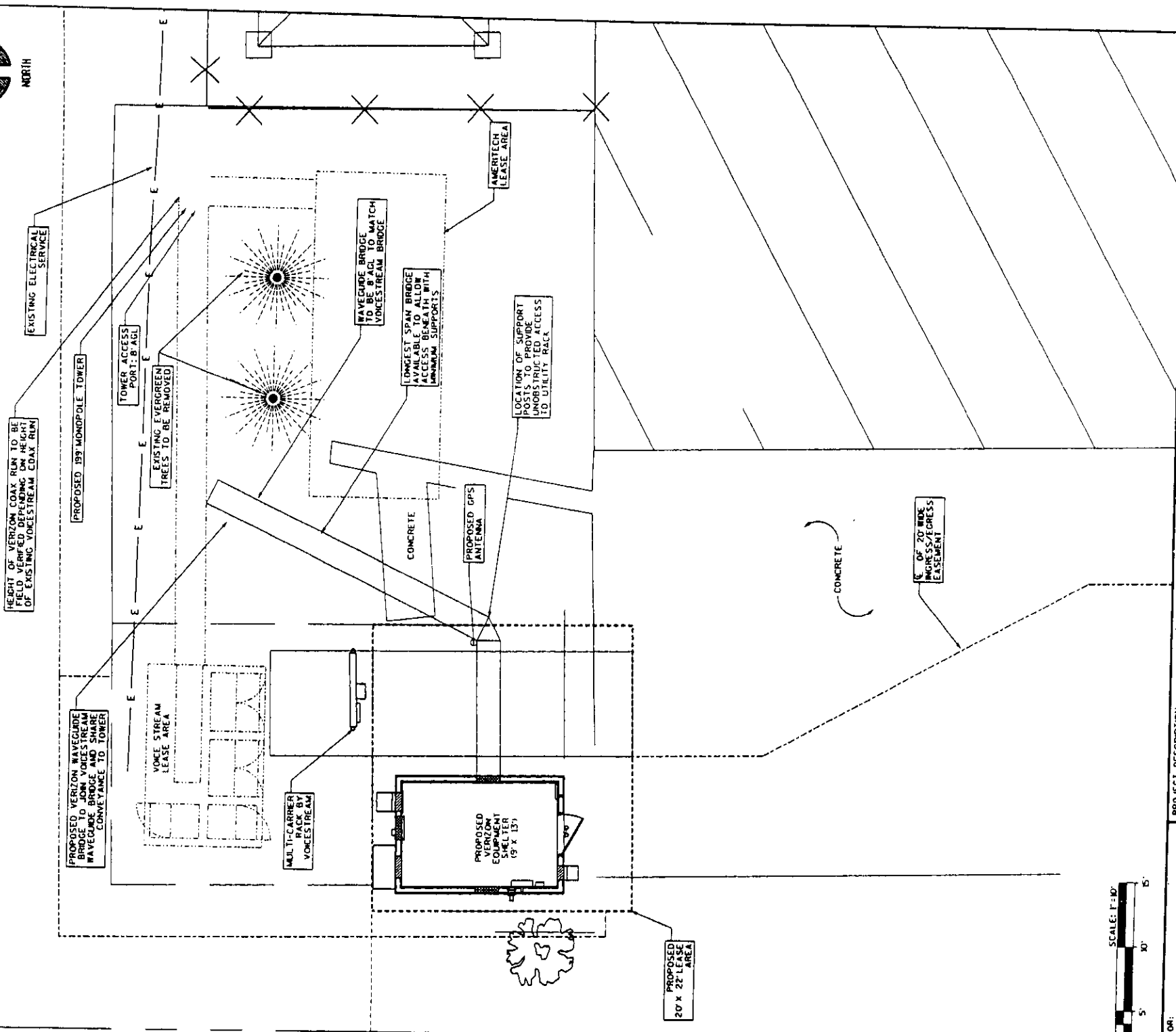
Connecting at the Southwest (SW) Corner of said Section 11; thence N88°-33'-45"E 867.43 feet along the South line of the SWQ of said Section 11 to the West line of South 56th Street; thence N07°-27'-15"W 60.01 feet along said West line to a point on the North line of West Oklahoma Avenue; thence S88°-33'-45"W 150.40 feet along said North line; thence N07°-27'-15"W 130.21 feet; thence S88°-33'-45"W 47.81 feet to the point of beginning; thence N88°-33'-45"E 22.00 feet; thence S01°-06'-44"E 20.00 feet; thence S88°-33'-45"E 22.00 feet; thence N07°-06'-44"E 20.00 feet to the point of beginning; being 4 feet either side of and parallel to the following described line.

BENCHMARK INFORMATION:
 SW CORNER SECTION 11
 T.6N., R.21E.
 867.43

NE BENCHMARK: WAS FOUND IN WEST FACE OF POWER POLE POSITION
 ELEVATION = 737.2'

BENCHMARK INFORMATION:
 SW CORNER SECTION 11
 T.6N., R.21E.
 867.43

NE BENCHMARK: WAS FOUND IN WEST FACE OF POWER POLE POSITION
 ELEVATION = 737.2'



PROJECT DESCRIPTION:
 SITE NAME: 56TH STREET FIRE HOUSE
 SITE ADDRESS: 1640 S. MILWAUKEE, MILWAUKEE, WI 53233
 OWNER: CITY OF MILWAUKEE
 105 NORTH BROADWAY
 MILWAUKEE, WI 53202

PREPARED FOR:

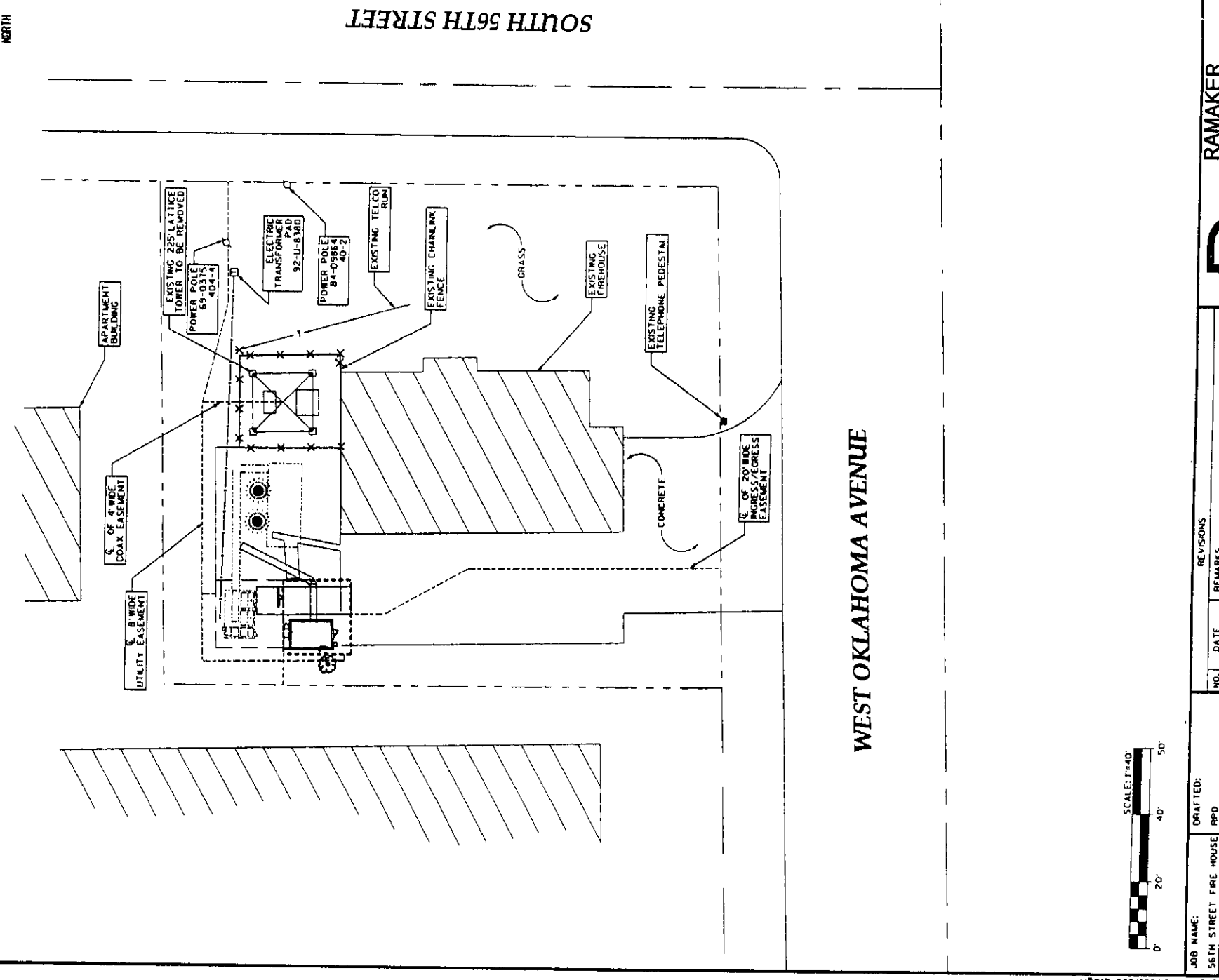
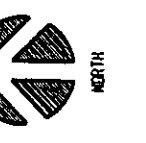
 1575 WEST INTERIOR ROAD
 MILWAUKEE, WI 53211
 PHONE: (414) 330-5531
 FAX: (414) 330-5533

RAMAKER
 & ASSOCIATES, INC.
 Consulting Engineers
 300 WEST WISCONSIN STREET
 MILWAUKEE, WI 53233
 PHONE: (414) 330-5531
 FAX: (414) 330-5533
 WWW: WWW.RAMAKER.COM



NO.	DATE	REVISIONS	REMARKS
1	3/26/01		REV 'FENCE BY OTHERS'

JOB NAME: 56TH STREET FIRE HOUSE RPD
 DRAFTED: [blank]
 FILE NAME: 5172-C-2.dgn
 CHECKED: DCL
 JOB NUMBER: 5172
 DATE: 03/26/01



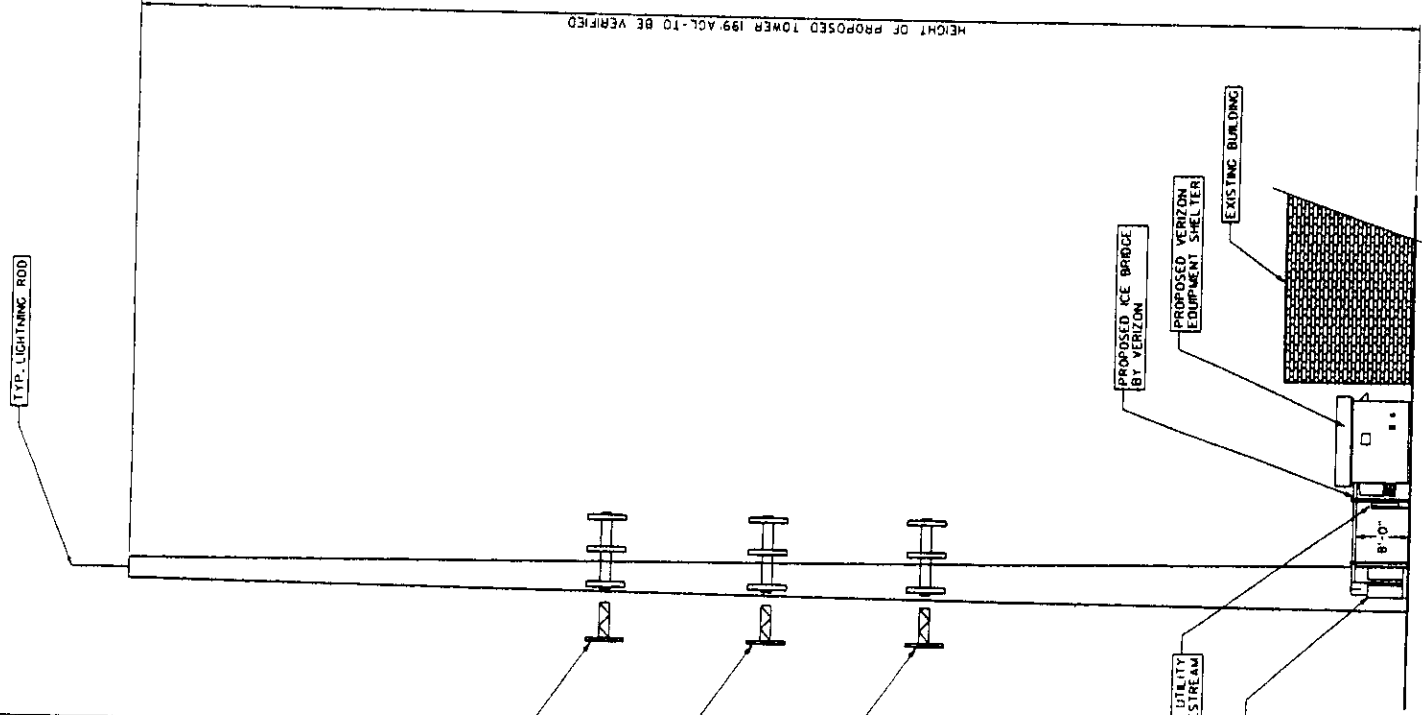
SOUTH 56TH STREET

WEST OKLAHOMA AVENUE

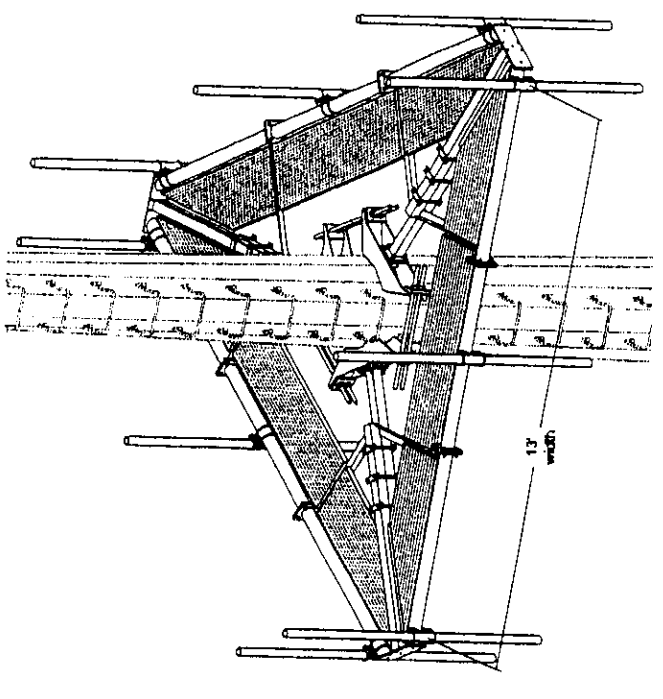
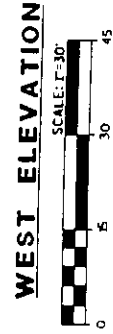
SITE PLAN
 SHEET NUMBER
 C-2

NOTE:

- THE SIZE, HEIGHT AND DIRECTION OF THE ANTENNA SHALL BE ADJUSTED TO MEET SYSTEM REQUIREMENTS.
- CONTRACTOR SHALL VERIFY HEIGHT AND DIRECTION OF ANTENNA WITH SBA PROJECT MANAGER
- ALL ANTENNA AZIMUTHS TO BE FROM TRUE NORTH
- NEW ANTENNA ARRAY MOUNTING HARDWARE MAY BE PROVIDED BY TOWER VENDOR AND INSTALLED BY GENERAL MANAGER
- DOWN TILT BRACKETS ARE REQUIRED ON ALL ANTENNAS
- THE CONTRACTOR SHALL SUPPLY DOWN TILT BRACKETS MANUFACTURED BY THE SPECIFIED ANTENNA VENDOR
- ANTENNA MOUNTING FRAME TO ACCOMMODATE MIN. OF 12" ANTENNA SEPARATION DISTANCE BETWEEN ANTENNAS FOR FUTURE



NOTE: MUNICIPALITY TO VERIFY HEIGHT REQUIREMENTS OF EXISTING TOWERS



NOTES:

- CONTACT PIRID FOR CAPACITY DATA AND PRODUCT NUMBERS BEFORE ORDERING
- ANTENNA MOUNTING PIPES ARE AVAILABLE IN 2 1/2" AND 3 1/2" O.D. X 8" TALL
- LOW PROFILE TOP FOR INSTALLATION ON TYP. PIRID TOWER
- PRODUCT AVAILABLE AS LOW PROFILE TOP OR CLAMP-ON LOW PROFILE PLATFORM
- VERIFY PLATFORM WIDTH TO ACCOMMODATE NECESSARY ANTENNA SEPARATION DISTANCES

PIROD PCS ANTENNA FRAME
SCALE: NONE

ANTENNA AND COAX CABLE SCHEDULE

SECTOR	ANTENNA	AZIMUTH	DOWN-TILT	ANTENNA HGT.	COAX CABLE
1	ALLGDM 1200.07	60	0	100	1/4"
2	ALLGDM 1200.07	180	0	100	1/4"
3	ALLGDM 1200.07	300	0	100	1/4"

ALL ANTENNAS TO BE VERIFIED W/RF ENGINEER PRIOR TO INSTALLATION

NOTES

1. ALL ANTENNAS TO BE FURNISHED W/DOWNTILT BRACKETS. CONTRACTOR TO COORDINATE AND ORDER MECHANICAL DOWNTILT FOR EACH ANTENNA W/RF ENGINEER.
2. ANTENNA CENTERLINE HEIGHT IS IN REFERENCE TO E.L.O.D' ANTENNA HEIGHTS ARE SHOWN ON TOWER ELEVATION.
3. CHECK W/RF ENGINEER FOR LATEST ANTENNA TYPE & AZIMUTH.
4. CONTRACTOR SHALL VERIFY ANTENNA TYPE AND AZIMUTH W/CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION.

RE CONFIGURATION

JOB NAME: 56TH STREET FIRE HOUSE	DRAFTED: RPD	REVISIONS
FILE NAME: ...5172.C-3.00*	CHECKED: DCL	REMARKS
JOB NUMBER: 5172	DATE: 03/26/01	

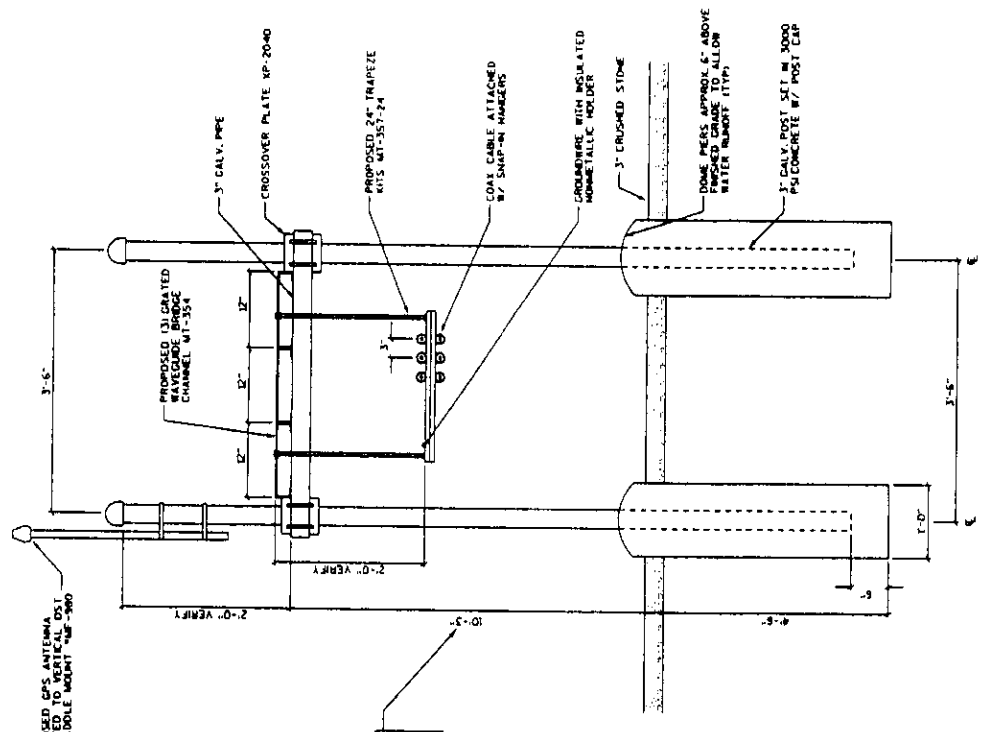
RAMAKER & ASSOCIATES, INC.
Consulting Engineers
100 DALLAS STREET
SARASOTA, FLORIDA 34233
PHONE: 888-488-5583
FAX: 888-643-1939
WWW.RAMAKER.COM



PREPARED FOR:
verizon wireless
15725 WEST RIVERSON ROAD
MILWAUKEE, WI 53151
PHONE: 414.390.5541
FAX: 414.390.5545

PROJECT DESCRIPTION:
SITE NAME: 56TH STREET FIRE HOUSE
SITE NUMBER: 14005
SITE ADDRESS: 5600 N. DALLAS AVE.
MILWAUKEE, WI 53219
OWNER: CITY OF MILWAUKEE
809 NORTH BROADWAY
MILWAUKEE, WI 53202

ELEVATION



ICE BRIDGE DETAIL
SCALE: NONE

FIELD ADJUST TO ACCOMMODATE EQUIPMENT IN SHELTER. TO PROVIDE PROPER CLEARANCE, ADJUST RACK AND TO ENSURE LEVEL MATING AT EXISTING BRIDGE.

PROPOSED GPS ANTENNA MOUNTED TO VERTICAL POST BY SHIELD BRACKET (100-380)

PROPOSED 13.1 GRADED SAVANNAH BRIDGE CHANNEL (11-324)

3" GALV. PIPE

CROSSOVER PLATE (1/2" X 20-40)

PROPOSED 24" TRAPEZOIDAL CHANNEL (11-324)

3" GALV. PIPE

COAX CABLE ATTACHED BY SHARP-ON HANGERS

CONCRETE WITH INTEGRATED NONMETALLIC FIBER

3" CRUSHED STONE

DOME PIER APPROX. 4" ABOVE WATER SURFACE TO ALLOW WATER SURF. TO RISE

3" GALV. POST SET IN 12" DIA. POLYCONCRETE W/ POST TOP

SHEET NUMBER
C-4

DETAILS

PROJECT DESCRIPTION:
 SITE NAME: 56TH STREET FIRE HOUSE
 SITE NUMBER: 14040S
 SITE ADDRESS: 5600 W. OCLAWMA AVE. MILWAUKEE, WI 53215
 OWNER: CITY OF MILWAUKEE
 809 NORTH BROADWAY
 MILWAUKEE, WI 53202

verizonwireless
 15125 WEST RIVERSON ROAD
 NEW BERLIN, WI 53151
 PHONE: (414) 390-5541
 FAX: (414) 390-5543

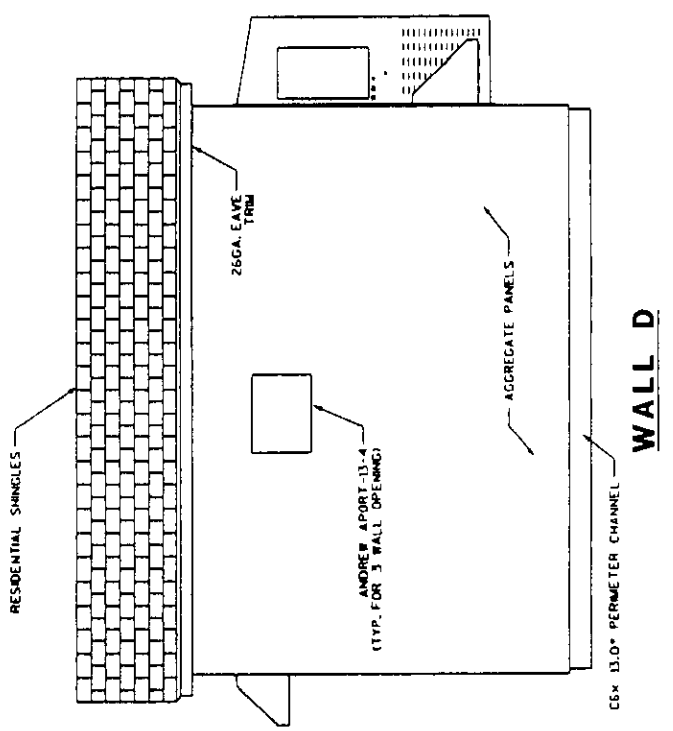
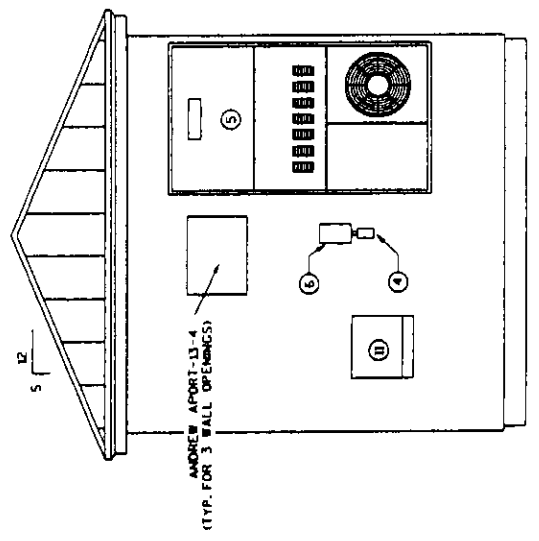
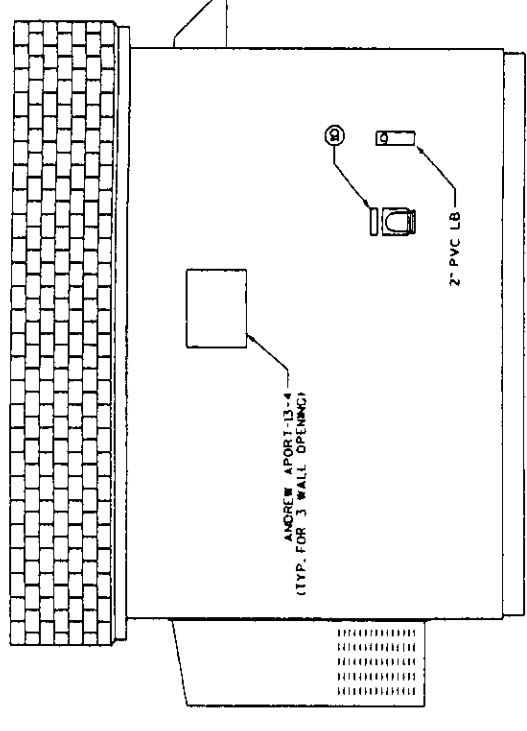
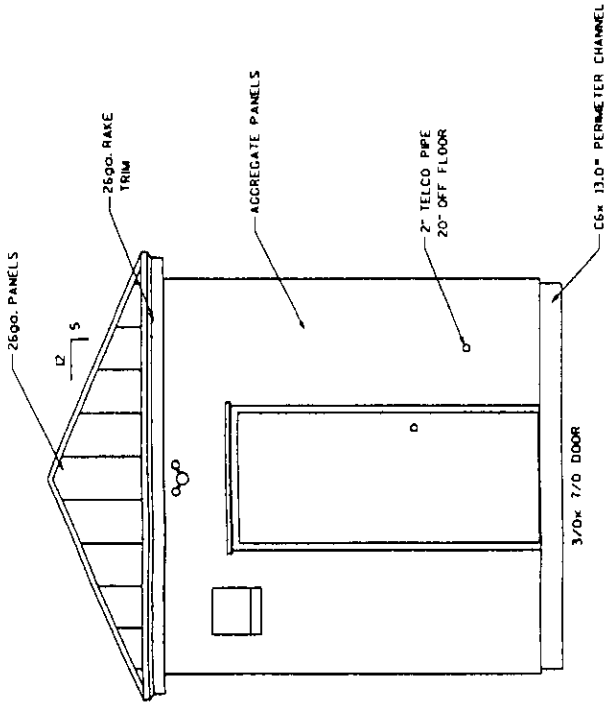
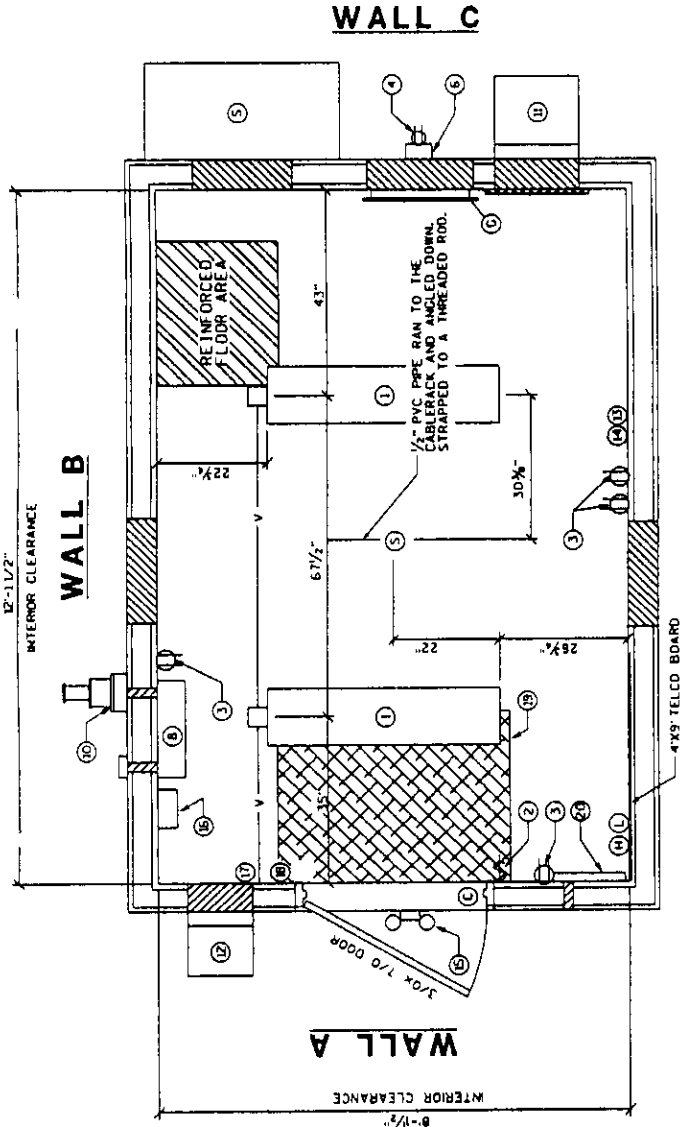
PREPARED FOR:
RAMAKER & ASSOCIATES, INC.
 Consulting Engineers
 100 DALLAS STREET
 SAUK CITY, WISCONSIN 53183
 VOICE: 608-643-1800
 FAX: 608-643-1939
 Web: <http://www.ramaker.com>



NO.	DATE	REVISIONS	
		REMARKS	

DRAFTED: RPD
 CHECKED: DCL
 DATE:

JOB NAME: 56TH STREET FIRE HOUSE
 FILE NAME: 15172-C-4-000
 JOB NUMBER:



EQUIPMENT SCHEDULE

ITEM #	DESCRIPTION-SIZE	MFG. NAME	MFG. #	QTY.
1	INTERIOR LIGHT - 4\"/>			

RAMAKER
 ASSOCIATES, INC.
 Consulting Engineers
 15125 WEST RIFKIN ROAD
 NEW BERLIN, CT 06461
 PHONE: (414) 390-5541
 FAX: (414) 390-5543
 Web: http://www.ramaker.com

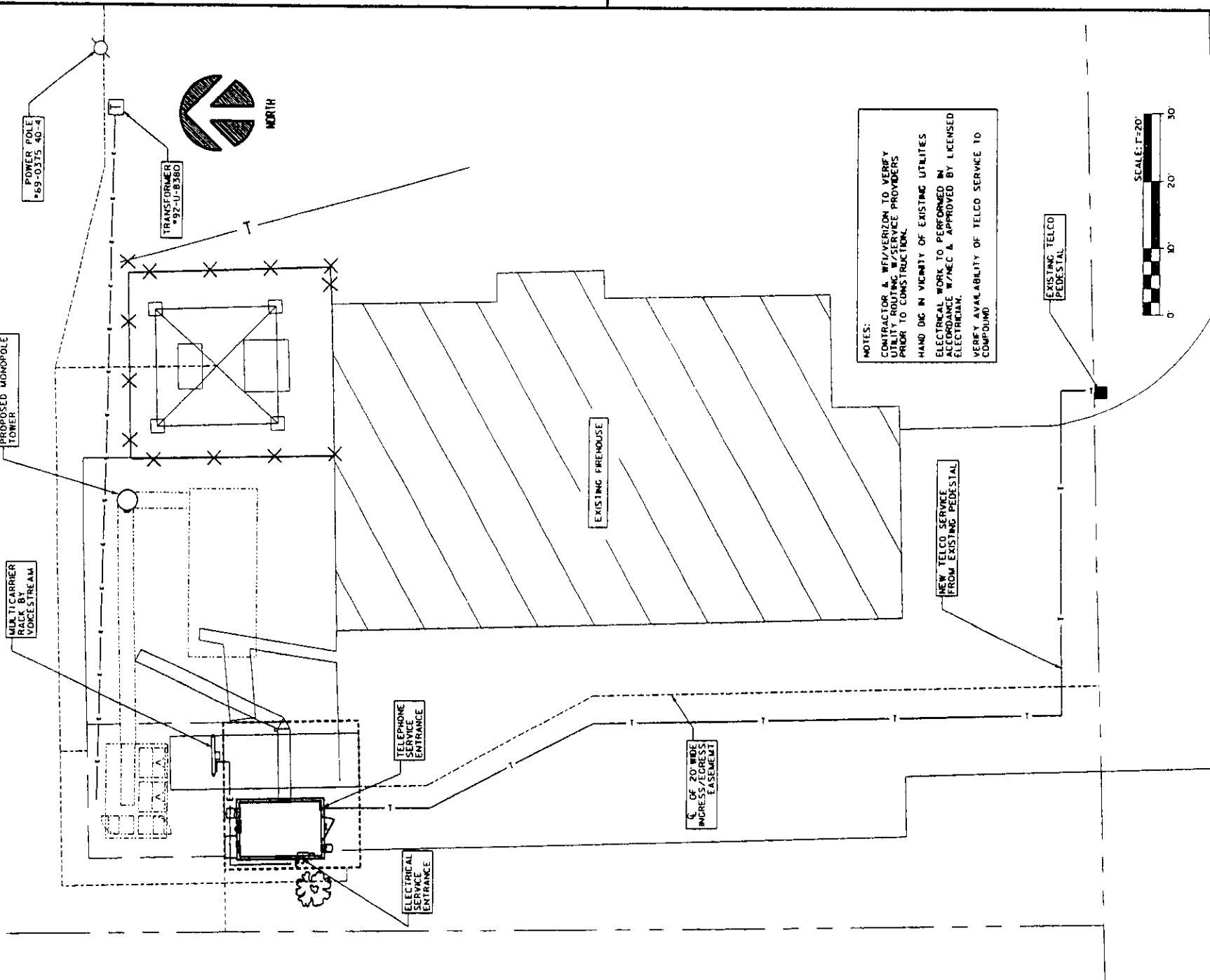
PREPARED FOR:
verizon wireless
 15125 WEST RIFKIN ROAD
 NEW BERLIN, CT 06461
 PHONE: (414) 390-5541
 FAX: (414) 390-5543

PROJECT DESCRIPTION:
 56TH STREET FIRE HOUSE
 SITE NAME: 56TH STREET FIRE HOUSE
 SITE NUMBER: 1500 N. DELAWARE AVE
 SITE ADDRESS: WILMUNEE, CT 06395
 OWNER: CITY OF WILMUNEE
 809 NORTH BROADWAY
 WILMUNEE, CT 06392

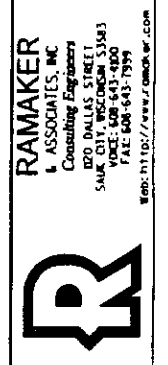
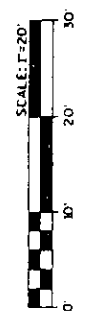
SHEET TITLE:
SHELTER DETAILS C-5

SHEET NUMBER:
 5172

BUILDING PLANS PROVIDED BY:
 TRACHTE, INC.
 1000 W. DAK AVE.
 GREGG, MISSISSAUGA, ONTARIO
 PHONE: (608) 835-5707
 FAX: (608) 835-7279



NOTES:
 CONTRACTOR A. WEI/VERIZON TO VERIFY UTILITY ROUTING W/SERVICE PROVIDERS PRIOR TO CONSTRUCTION.
 HAND DC IN VICINITY OF EXISTING UTILITIES
 ELECTRICAL WORK TO BE PERFORMED IN ACCORDANCE W/NEC & APPROVED BY LICENSED ELECTRICIAN.
 VERIFY AVAILABILITY OF TELCO SERVICE TO COMPOUND



NO.	DATE	REVISIONS	REMARKS

DRAFTED: RPD
 CHECKED: DCL
 DATE: 03/26/01

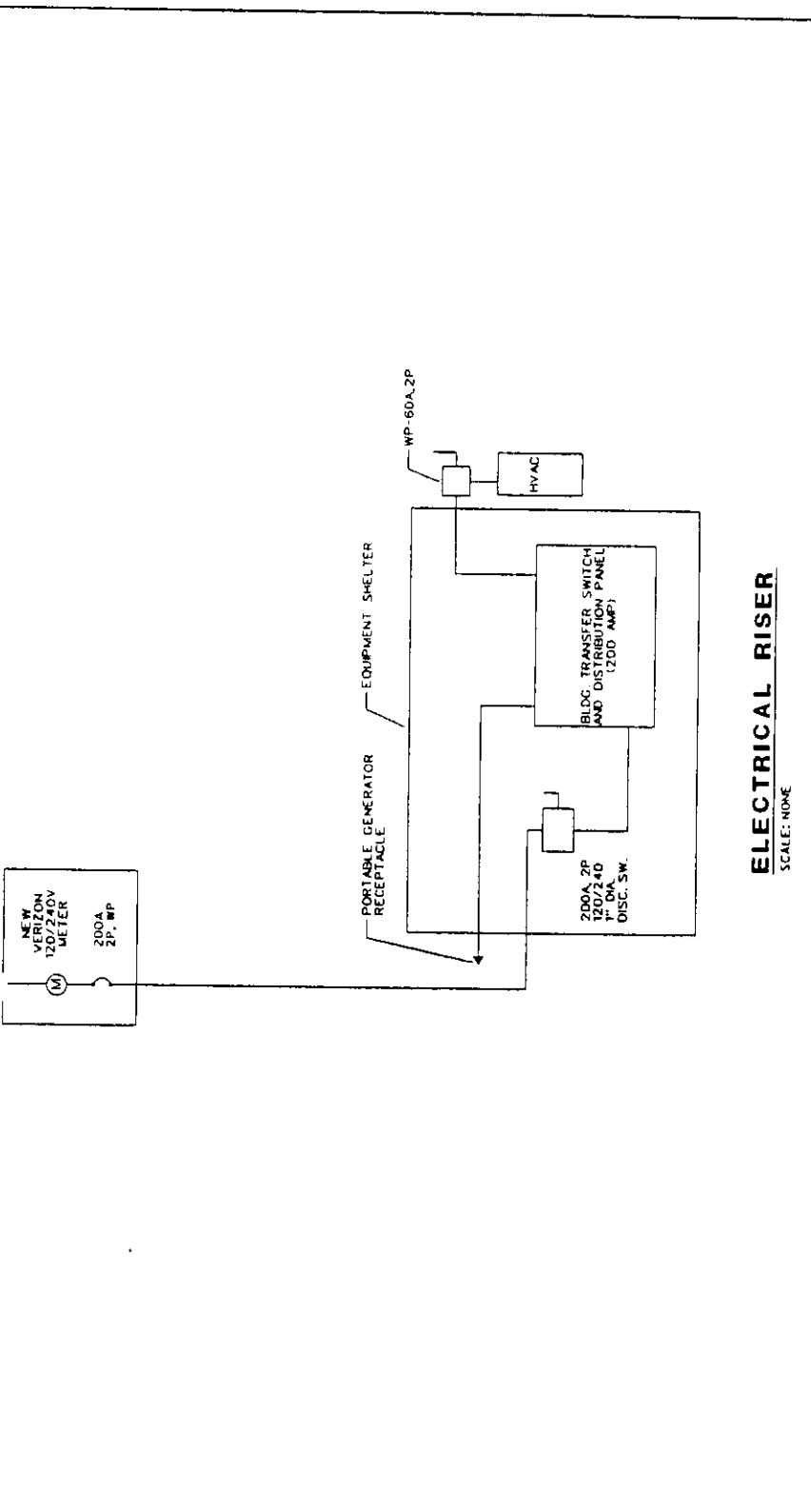
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 FILE NAME: 5172.e-1.dgn
 JOB NUMBER: 5172

PREPARED FOR:

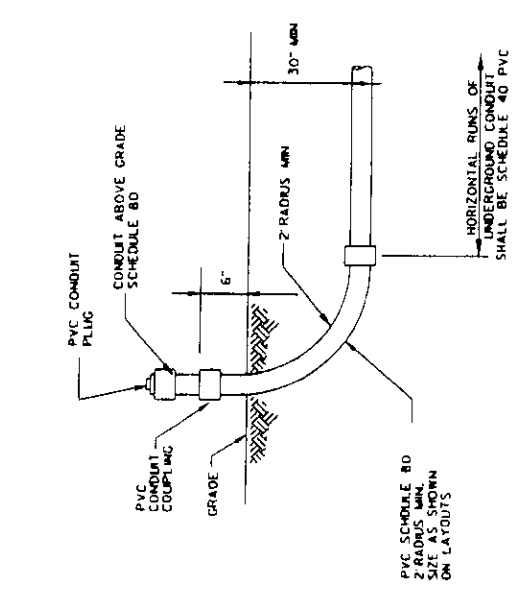
 15725 WEST WISCONSIN ROAD
 NEW BERLIN, WI 53151
 PHONE: (414) 330-5541
 FAX: (414) 330-5541

PROJECT DESCRIPTION:
 SITE NAME: 56TH STREET FIRE HOUSE
 SITE NUMBER: 140485
 SITE ADDRESS: 5600 W. DULANNA AVE.
 OWNER: CITY OF MILWAUKEE
 809 NORTH BROADWAY
 MILWAUKEE, WI 53202

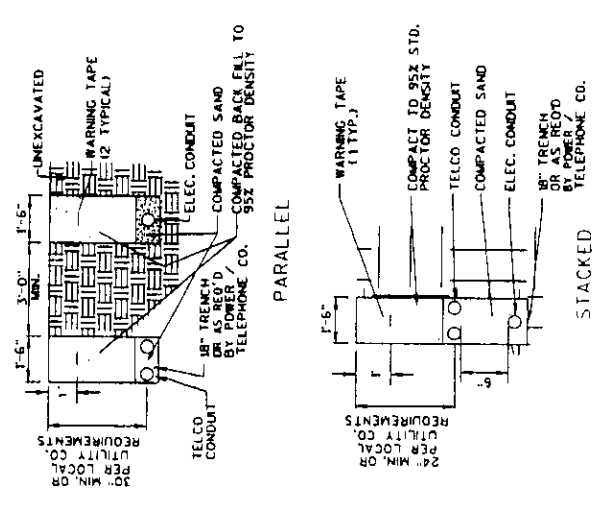
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 SHEET NUMBER: E-1



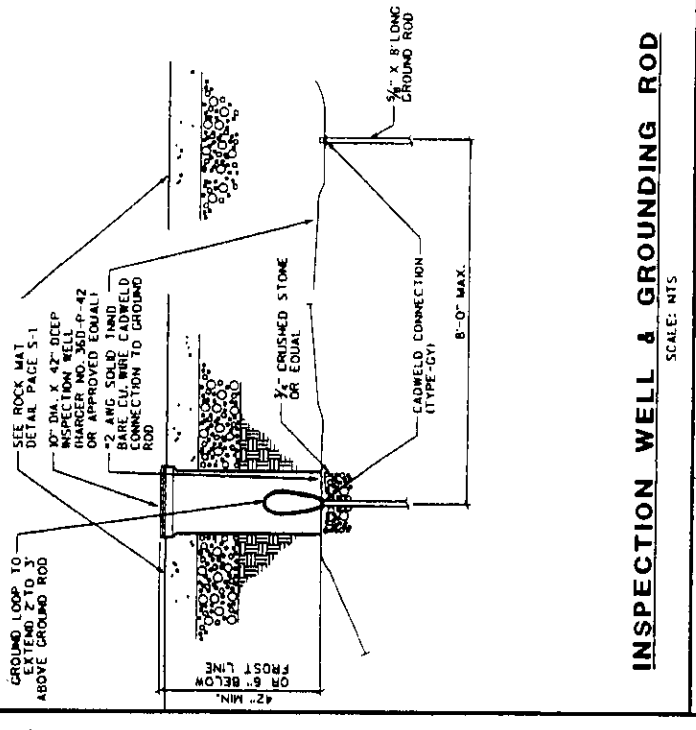
ELECTRICAL RISER
 SCALE: NONE



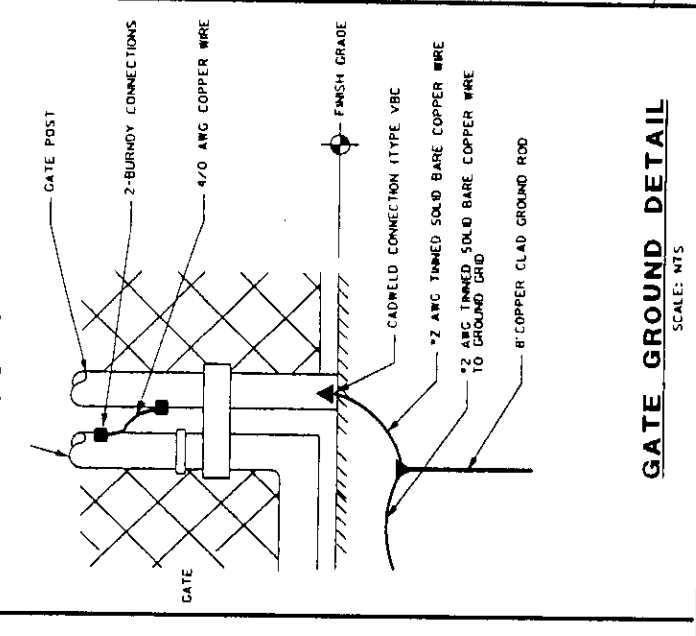
TYP. UTILITY STUB-UP
 SCALE: NONE



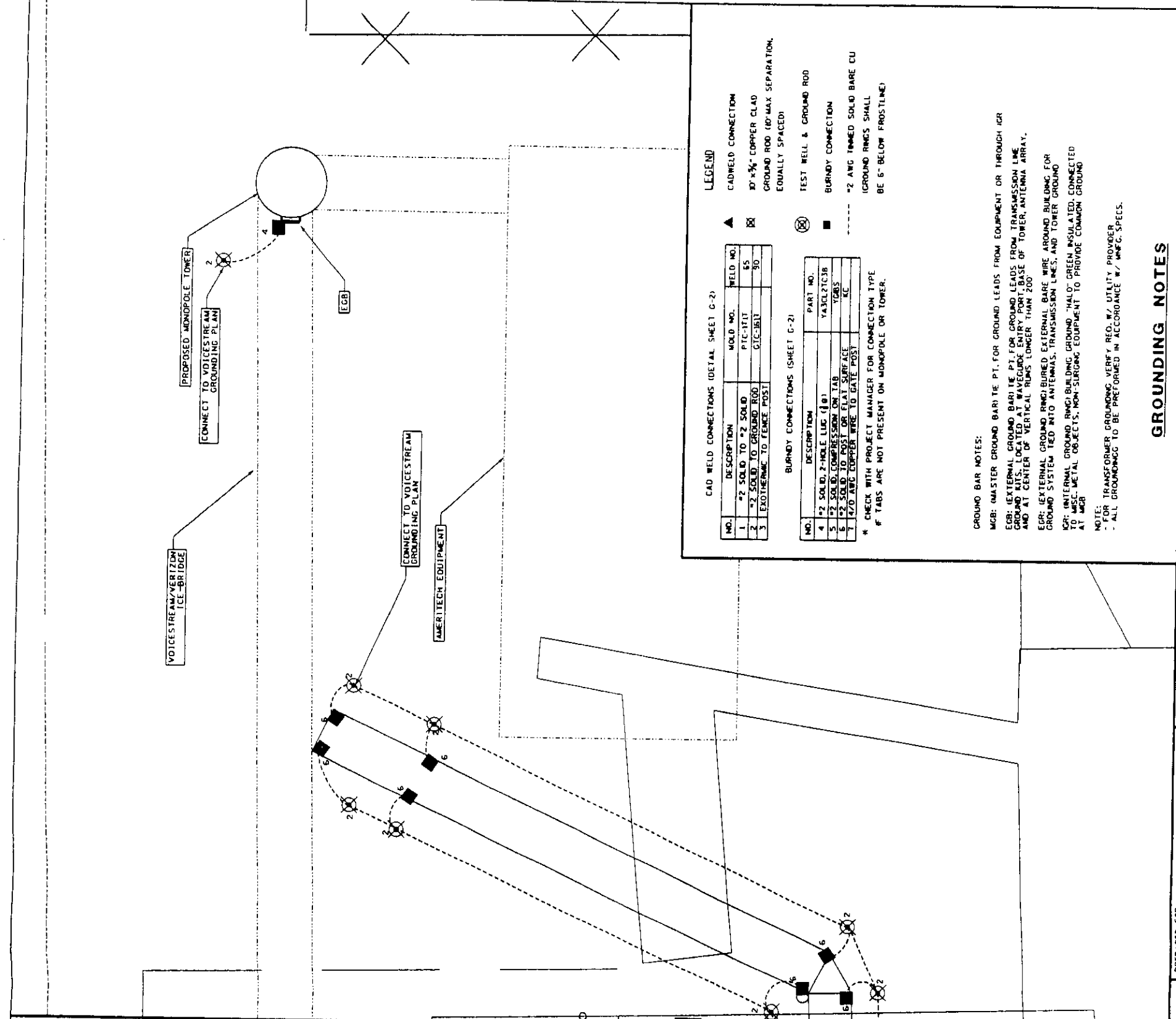
(TYP) ELECTRIC/TELCO TRENCH
 SCALE: NONE



INSPECTION WELL & GROUNDING ROD
SCALE: NTS



GATE GROUND DETAIL
SCALE: NTS



LEGEND

NO.	DESCRIPTION	MOLD NO.	WELD NO.
1	#2 SOLID TO #2 SOLID PTC-1717	85	85
2	#2 SOLID TO GROUND ROD GIC-1811	80	80
3	EXOTHERMIC TO FENCE POST		

NO.	DESCRIPTION	PART NO.
4	#2 SOLID 2-HOLE LUG (Ø)	YALC2TC3B
5	#2 SOLID COMPRESSION ON TAB	Y085
6	#2 SOLID PRESS OR FLAT SURFACE	YC
7	4/0 AWG COTTER WIRE TO GATE POST	

* CHECK WITH PROJECT MANAGER FOR CONNECTION TYPE
 † TABS ARE NOT PRESENT ON MONOPOLE OR TOWER.

GROUND BAR NOTES:
 MGB: MASTER GROUND BARRIER PT. FOR GROUND LEADS FROM EQUIPMENT OR THROUGH IGR
 EGB: EXTERNAL GROUND BARRIER PT. FOR GROUND LEADS FROM TRANSMISSION LINE
 GROUND ATTS. LOCATED AT WAVELENGTH QUARTER OF TOWER ANTENNA ARRAY,
 AND AT CENTER OF VERTICAL RUNS LONGER THAN 200'
 EGR: EXTERNAL GROUND RING BURIED EXTERNAL BARE WIRE AROUND BUILDING FOR
 GROUND SYSTEM TIED INTO ANTENNAS, TRANSMISSION LINES, AND TOWER GROUND
 IGR: INTERNAL GROUND RING BUILDING GROUND "HALO" GREEN INSULATED, CONNECTED
 AT MGB
 MGC: METAL OBJECTS, NON-SURGING EQUIPMENT TO PROVIDE COMMON GROUND

NOTE:
 - FOR TRANSFORMER GROUNDING VERIFY REQ. W/ UTILITY PROVIDER
 - ALL GROUNDING TO BE PERFORMED IN ACCORDANCE W/ MFG. SPECS.

GROUNDING NOTES

PROJECT DESCRIPTION:
 SITE NAME: 56TH STREET FIRE HOUSE
 SITE NUMBER: 140405
 SITE ADDRESS: MILWAUKEE, WI 53215
 OWNER: CITY OF MILWAUKEE
 809 NORTH BROADWAY
 MILWAUKEE, WI 53202

PREPARED FOR:

 15725 WEST ATVERSON ROAD
 NEW BRUNSWICK, NJ 08851
 PHONE: (609) 390-5541
 FAX: (609) 390-5541

RAMAKER & ASSOCIATES, INC.
 Consulting Engineers
 100 DALLAS STREET
 SAUL CITY, INDIANAPOLIS 46204
 PHONE: (317) 444-1989
 FAX: (317) 444-1989
 Web: http://www.ramaker.com



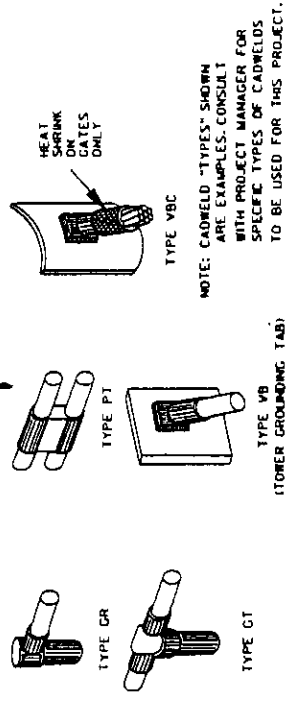
NO.	DATE	REVISIONS	REMARKS

JOB NAME: 56TH STREET FIRE HOUSE	DRAFTED: RFD
FILE NAME: ...5172.g-1.dgn	CHECKED: DCL
JOB NUMBER: 5172	DATE: 03/26/01

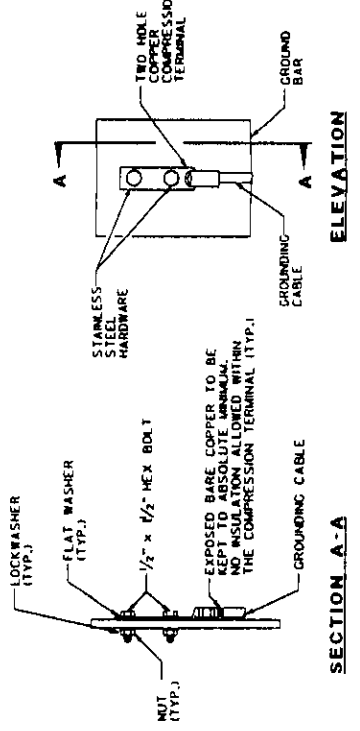
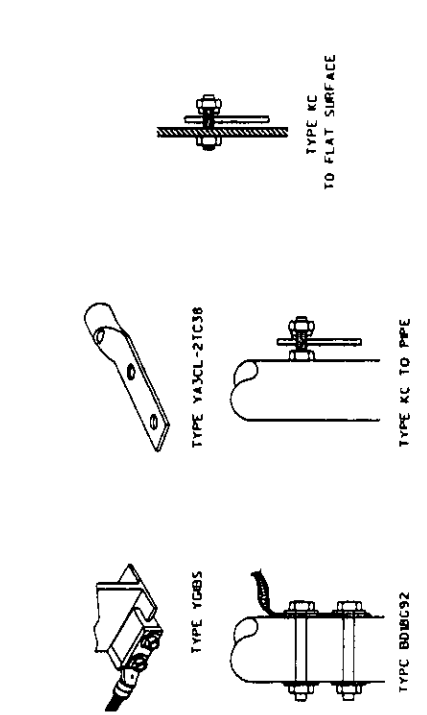


GROUNDING PLAN G-1

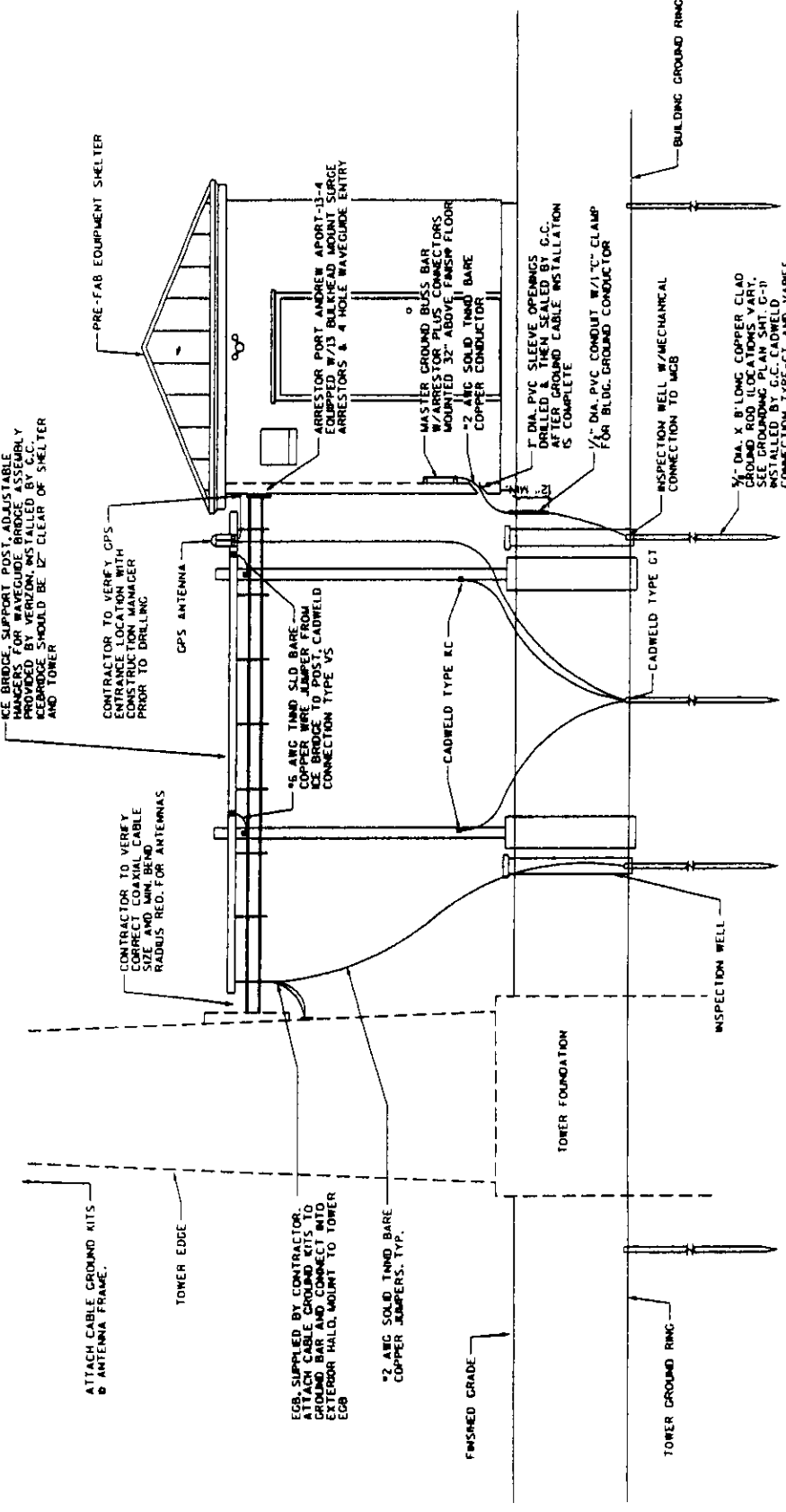
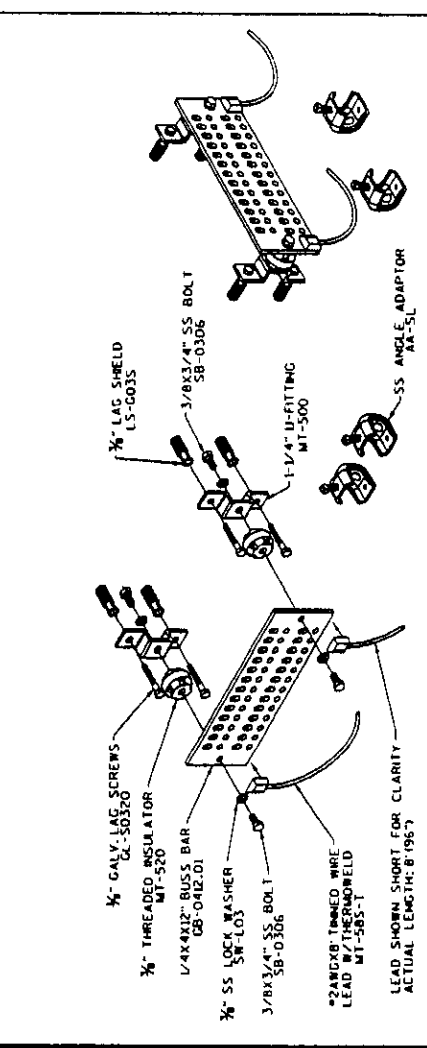
SHEET NUMBER



(TYP) CADWELD DETAILS
SCALE: NONE



NOTES:
1. DOUBLING UP OR "STACKING" OF CONNECTIONS IS NOT PERMITTED
2. DIME INHIBITING COMPOUND TO BE USED AT ALL LOCATIONS



NOTE:
ICE BRIDGE SUPPORT POST MAY NOT BE REQUIRED DEPENDING ON DISTANCE FROM TOWER. IF REQUIRED, BRIDGE CLAMP SHALL BE MOUNTED TO A HORIZONTAL SUPPORT MEMBER ON THE TOWER AND TO THE SHELTER WALL

(TYP) SHELTER - TOWER GROUNDING DETAIL
SCALE: NONE



RAMAKER ASSOCIATES, INC.
Consulting Engineers
1800 MILWAUKEE STREET
SALUK CITY, ILLINOIS 62453
PHONE: (618) 441-4800
FAX: (618) 441-1999
Web: M1102/WWW.RAMAKER.COM

verizonwireless
15725 WEST RYERSON ROAD
MILWAUKEE, WI 53151
PHONE: (414) 390-5541
FAX: (414) 390-5543

PROJECT DESCRIPTION:
SITE NAME: 56TH STREET FIRE HOUSE
SITE NUMBER: 10405
SITE ADDRESS: MILWAUKEE, WI 53215
OWNER: CITY OF MILWAUKEE
809 NORTH BROADWAY
MILWAUKEE, WI 53202

SHEET NUMBER
G-2

NO.	DATE	REVISIONS	REMARKS

DRAFTED: RPD
CHECKED: DCL
DATE: 05/12/09

JOB NAME: 56TH STREET FIRE HOUSE
FILE NAME: 5512-0-2-001
JOB NUMBER: 5512-0-2-001

PART 4 ELECTRICAL NOTES

- 4.1 ELECTRICAL CONTRACTOR TO COORDINATE WITH AND MEET UTILITY PROVIDER REQUIREMENTS. ALL WORK TO BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL CODES/REGULATIONS. WORK TO BE APPROVED BY LICENSED ELECTRICIAN.
- 4.2 PROVIDE 2" PULL STRINGS SECURELY FASTENED AT EACH END OF ALL CONDUITS. ON THE END OF EACH CONDUIT AND MARK AS SHOWN ON THE ENLARGED SITE PLAN.
- 4.3 THE CONTRACTOR SHALL LOCATE AND MARK ALL EXISTING UNDERGROUND POWER, TELCO, GROUNDING CONDUCTORS, AND ALL OTHER UTILITY EASEMENTS AND/OR WIRES PRIOR TO TRENCHING. ANY DAMAGE CAUSED TO THE EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. VERIFY WITH UTILITY PROVIDER THAT ALL UTILITIES ARE MARKED FOR. THERE SHALL BE NO SPLICING OF GROUND CONDUCTORS BELOW GRADE.
- 4.4 COMPLY WITH ALL MANUFACTURE SPECIFICATIONS FOR PROPOSED EQUIPMENT.
- 4.5 HAND-DIG ALL SURGRADE WORK AT INTERIOR OF COMPOUND TO AVOID EXISTING CONDUITS.
- 4.6 CONTRACTOR RESPONSIBLE FOR LOCATING ALL PUBLIC AND PRIVATE UTILITIES IN VICINITY OF WORK AREA.

PART 5 GROUNDING NOTES

- 5.1 ALL GROUNDING CABLE IN CONCRETE SHALL BE IN SEAL TIGHT, NO METALLIC CONDUIT IS TO BE USED FOR GROUNDING CONDUCTOR SLEEVES.
- 5.2 DO NOT INSTALL BURIED GROUND RING OUTSIDE OF PROPERTY LINE. NOTIFY OWNER 24 HOURS IN ADVANCE WHEN THE BURIED GROUND RING IS INSTALLED SO THAT A REPRESENTATIVE CAN INSPECT THE GROUND RING BEFORE IT IS BACK FILLED WITH SOIL.
- 5.3 ALL EXTERIOR GROUNDING CONDUCTORS INCLUDING GROUND SYSTEM SHALL BE #2 AWG SOLID BARE TINNED COPPER. MAKE ALL GROUND CONNECTIONS AS SHOWN ON DRAWINGS. AVOID SHARP BENDS. ALL BENDS SHALL BE A MINIMUM OF 90 DEGREES. ALL GROUNDING CONDUCTORS SHALL BE ROUTED DOWNWARD TOWARD BURIED GROUND SYSTEM.
- 5.4 ALL EXTERIOR GROUNDING CONDUCTORS INCLUDING GROUND SYSTEM SHALL BE #2 AWG SOLID BARE TINNED COPPER. MAKE ALL GROUND CONNECTIONS AS SHOWN ON DRAWINGS. AVOID SHARP BENDS. ALL BENDS SHALL BE A MINIMUM OF 90 DEGREES. ALL GROUNDING CONDUCTORS SHALL BE ROUTED DOWNWARD TOWARD BURIED GROUND SYSTEM.
- 5.5 WHERE MECHANICAL CONNECTORS (TWO-HOLE OR CLAMP) ARE USED, APPLY A LIBERAL PROTECTIVE COATING OF "MOX" ON ALL CONNECTORS. PROVIDE LOCK WASHERS ON ALL MECHANICAL CONNECTORS. USE GALVANIZED STEEL WASHERS ON ALL MECHANICAL CONNECTORS. CLEAN ALL SURFACES TO BE MATED FROM SURFACES REQUIRING GROUNDING. REMOVE ALL OIL AND CLEAN ALL EXISTING AFTER CONNECTION IS MADE TO MAINTAIN CORROSION RESISTANCE.
- 5.6 EXOTHERMIC ALLOY WELD GROUNDING CONDUCTOR TO COMMUNICATION STRUCTURE AT POLE-BASE FLEXIBLE CONDUIT SLEEVE. VERIFY BEND IS 45 DEGREES FROM GROUND TO POLE.
- 5.7 ALL CONDUCTORS SHALL BE COPPER TYPE THIN OR THICK INSULATION UNLESS OTHERWISE NOTED.
- 5.8 GROUND RING IS TO BE CONSTRUCTED OF #2 SOLID TINNED COPPER WIRE IN ONE CONTINUOUS PIECE IF POSSIBLE.
- 5.9 EXISTING TOWER GROUND RING V.L.F. CONTRACTOR TO MAINTAIN EXISTING GROUND SYSTEM LOCATE BY HAND AND REPAIR TO ORIGINAL CONDITION OR BETTER, IF NECESSARY.
- 5.10 G.C. TO BOND PROPOSED GROUND SYSTEM TO EXISTING RING WITH #2 AWG TINNED SOLID COPPER CONDUCTOR IN 2 LOCATIONS DIRECTLY TO GROUND ROOFS.
- 5.11 PROPOSED GROUND RING SHALL BE INSTALLED A MINIMUM 2' OFF OF ANY STRUCTURE.
- 5.12 BOND ALL METAL OBJECTS WITHIN TOP OF GROUND NETWORK TO GROUND RING.
- 5.13 ALL THERMAL WELDS BELOW GRADE AT GROUND ROOFS/NO WIRE TO WIRE SPLICES ALLOWED.
- 5.14 GROUND ALL CORNER POSTS WITH EXOTHERMIC WELDS (CONNECTION TO BE NO MORE THAN 12 INCHES ABOVE GROUND BUT MUST BE VISIBLE).
- 5.15 GATE GROUNDING AT ALL GATE POSTS 4/0 CABLE WITH THERMAL WELDS IS REQUIRED.
- 5.16 G.C. BRIDGE GROUND - GROUND SUPPORT POST (POST) TO GROUND ROD AND GROUND KEY BRIDGING TO THE POST.
- 5.17 JUMPER CABLE TRAY SECTIONS W/ #6 WIRE AND SPLIT-RING LOCK-WASHER. REMOVE PAINT AT CONNECTION.
- 5.18 CABLE TRAYS W/ INTERNAL GROUND ZONE (IGZ) SHALL NOT BE CONNECTED TO NON-IGZ TRAYS.
- 5.19 #2 SOLID TINNED COPPER LEAD FROM PPC CABINET TO GROUND ROD. SEE MFG. SPECIFICATIONS.
- 5.20 #2 AWG GROUND WIRE FOR TELCO/POWER RACK POSTS, (ONE LEAD FOR EACH POST).
- 5.21 SELF SUPPORT TOWER- CONNECT TOWER LEG TO GROUND RING W/ #2 AWG SOLID TINNED COPPER WIRE. VERTICAL GROUNDWIRE FROM TOWER LEG TO RING TO BE EMBEDED IN SOLID 40 P.C. PPE FOR MIN. 12" SUBGRADE. AT LEAST 2 RADIAL WIRES PER TOWER LEG. PLACE TOWER GROUND RING. PLACE GROUND ROOFS IN MIDDLE AND FAR END OF RADIAL WIRES.
- 5.22 MONOPOLE- MIN. 4 GROUND ROOFS ROD. AT BACK OF MONOPOLE. TRD 20 RADIALS AT MIDDLE AND FAR END OF RADIAL WIRES.
- 5.23 GUYED- MIN. 3 GROUND ROOFS ROD. CONNECTION FROM TOWER BASE TO GROUND RING. GUY WIRE AT ANCHOR PT. W/ GROUND ROD. ENLARGE WIRE IN GUY WIRE AT ANCHOR PT. W/ SUBGRADE. MECHANICAL CONNECTION W/ GALVANIZED CLAMP TO GUY WIRE.
- 5.24 MECHANICAL CONNECTION AT GROUND BAR SHALL BE TWO-HOLE LUGS W/ MIN. #2 AWG GROUND LEAD.
- 5.25 INSTALL INSULATING MATS BENEATH EA. BAY OR EQUIP. RACK AND BETWEEN RACK AND CABLE TRAY.
- 5.26 PREVENT "BACK-DROOP" SURGES FROM ENTERING BUILDING W/ GAS TUBE OR MOV PROTECTION.

- 5.27 INTERNAL GROUND RING (IGR) AND ALL ABOVE GROUND CONDUCTORS MUST BE INSULATED (CDO OR CODE GREEN)
- 5.28 ALL GROUND ROOFS AND GROUNDING SYSTEM SHALL BE MINIMUM OF 42" BELOW GRADE OR 6" BELOW FROST-LINE (WHICHEVER IS DEEPER).
- 5.29 COPPER CLAD GROUND ROD. 3/4" X 8' LONG. 8 D.C. MAXIMUM. IF REGULAR OR TO PREVENT GALVANIC CORROSION.
- 5.30 3/8" DIAMETER 8' LONG COPPER CLAD GROUND ROD WITH INSPECTION WELL. CORNERS. OF GROUND ROD MAXIMUM 24" BELOW GRADE. TYP. OF TWO AT OPPOSITE CORNERS.
- 5.31 ANY UNDERGROUND MECHANICAL CONNECTION SHALL HAVE A TESTWELL. GRADE OR PER LOCAL JURISDICTION REQUIREMENTS. PLACE ROD ADJACENT TO BUILDING (PENDING METER LOCATION)
- 5.32 PLACE GROUND RODS AT EA. CORNER OF THE BUILDING 13' AWAY FROM FOOTING AND BENEATH THE CABLE TRAY GROUND WINDOW.
- 5.33 WHEN ALL SIDES OF BUILDING ARE NOT ACCESSIBLE, SUPPLEMENTAL CONNECTIONS AND LIFTER GROUNDINGS WILL BE NEEDED.
- 5.34 CONTRACTOR SHALL PERFORM MEG TESTS (GROUND RESISTANCE) ON THE GROUNDING SYSTEM. TESTS SHALL BE OBSERVED BY THE OWNER'S REPRESENTATIVE. GROUND RESISTANCE SHALL BE 5 OHMS MAXIMUM. OF ADDITIONAL GROUNDING METHODS APPLIED.
- 5.35 TRANSMISSION LINE GROUNDING - AT BASE OF ANTENNA TOWER ATTACH CABLE GROUND KITS. GROUNDING CABLE TO TOWER GROUND BAR (GCB) MOUNTED TO TOWER OR ICE BRIDGE. LOCATE GROUNDING CABLE TO TOWER AND BOND GROUND BAR TO ADJACENT GROUND ROD WITH #2 AWG TINNED SOLID COPPER CONDUCTOR IN TWO LOCATIONS. CONTRACTOR TO PROVIDE GROUND BAR AND ALL MOUNTING HARDWARE.
- 5.36 ATTACH CABLE GROUND KITS AT ANTENNA FRAME.
- 5.37 FOR CABLE LENGTH GREATER THAN 200' THIRD GROUND KIT TO BE INSTALLED AT 140 FT.
- 5.38 RESISTIVITY TEST SHALL BE PERFORMED BY THE CONTRACTOR IN THE PRESENCE OF THE OWNER REPRESENTATIVE. MAX. 5.0 OHMS CONFIRM.



RAMAKER
 & ASSOCIATES, INC.
 Consulting Engineers
 100 BALSLEY
 SUITE 100
 NEW BRITAIN, CT 06103
 PHONE: 860-451-7999
 FAX: 860-451-7999
 Web: http://www.ramaker.com

PREPARED FOR:



15125 WEST PETERSON ROAD
 NEW BRITAIN, CT 06103
 PHONE: 860-451-4000
 FAX: 860-451-5543

SHEET TITLE

PROJECT DESCRIPTION:
 SITE NAME: 56TH STREET FIRE HOUSE
 SITE NUMBER: 15125
 SITE ADDRESS: 15125 W. DELAWARE AVE.
 WILBRAKEE, VT 53219
 OWNER: CITY OF WILBRAKEE
 805 NORTH BROADWAY
 WILBRAKEE, VT 53202

NOTES

SHEET NUMBER
N-2

JOB NAME:	DRAFTED:	NO.	DATE	REVISIONS	REMARKS
56TH STREET FIRE HOUSE - RFD					
FILE NAME:	CHECKED:				
5172-0-2.dgn	DEL				
JOB NUMBER:	DATE:				
5172	03/26/01				

FIRST AMENDMENT TO LEASE AGREEMENT

THIS FIRST AMENDMENT TO LEASE AGREEMENT ("Amendment") is made this _____ day of _____, 2012, between City of Milwaukee, a Wisconsin municipal corporation ("Lessor") and Verizon Wireless Personal Communications LP, d/b/a Verizon Wireless, with its principal offices located at One Verizon Way, Mailstop 4AW100, Basking Ridge, New Jersey 07920 ("Lessee")

Whereas, Lessor and Lessee previously entered into that certain Lease Agreement on July 18, 2001 ("Lease") that provides for the operation of communications equipment on Landlord's tower ("Tower") and real property owned by Lessor that is located in the City of Milwaukee and described in Exhibit A to the Lease ("Property"); and

Whereas, Lessee wishes to reconfigure its equipment installation on the Tower, including the addition of three (3) antennas as described herein, to the existing array of six (6) antennas as well as ancillary equipment, including six (6) diplexers; and

Whereas, Lessor and Lessee wish to amend the Lease in order to address the above item and reach new agreements with respect to the same.

NOW THEREFORE, in consideration of the promises hereinafter made and other good and valuable consideration, the receipt of which is hereby acknowledged, Lessor and Lessee agree as follows:

1. Revised Equipment Installation and Addition of Exhibit C-1 to Lease. Exhibit C to the Lease is hereby supplemented with the attached Exhibit C - 1, which reflects the modified equipment that Lessee shall be permitted to install, operate, replace and maintain on the Tower. As part of the revised equipment installation, Lessor agrees that Lessee shall be able to install and use three (3) additional antennas at the 103' CL as depicted in Exhibit C-1. Upon completion of the proposed equipment modification, Lessee shall have a total of nine (9) antennas and ancillary equipment as depicted on Exhibit C-1. It is understood that Lessee has submitted the proposal for the equipment modification and detailed plans to Lessor and Lessor has approved said items. Provided that Lessee has received all necessary permits and approvals from appropriate governing bodies, Lessee may immediately commence installation of the equipment as depicted on Exhibit C -1.

2. Other than as specifically amended herein, all other terms and conditions of the Lease shall remain in full force and effect. Where there is conflict between the terms of the Lease and this Amendment, the terms of this Amendment shall control. Unless otherwise indicated or introduced in this Amendment, all defined terms referenced in the Amendment shall have the same meaning as those found in the Lease.

IN WITNESS WHEREOF, the parties hereto have executed in duplicate this lease Amendment on the day and year first above written.

Lessor:

City of Milwaukee, a Wisconsin municipal corporation

By: _____
Name: _____
Its: _____
Date: _____

By: _____
Name: _____
Its: _____
Date: _____

Lessee:

Verizon Wireless Personal Communications LP, d/b/a Verizon Wireless

By: _____
Name: Lynn Ramsey
Title: Area Vice President Network
Date: _____

EXHIBIT C - 1

(Description of revised Lessee Equipment on Tower)

SECOND AMENDMENT TO LEASE AGREEMENT

This Second Amendment to Tower Lease Agreement (“Second Amendment”) is made as of the date of the last party to sign below, by and between the City of Milwaukee, a Wisconsin municipal corporation, with its principal mailing address 200 E. Wells Street, Milwaukee, Wisconsin 53202 (hereinafter referred to as “Lessor”), and Verizon Wireless Personal Communications LP, d/b/a Verizon Wireless, with its principal office located at One Verizon Way, Mailstop 4AW100, Basking Ridge, New Jersey 07920 (hereinafter referred to as “Lessee”). Lessor and Lessee are at times collectively referred to hereinafter as the “Parties”.

WHEREAS, the Parties previously entered into that certain Lease Agreement dated July 18, 2001, as amended by that certain First Amendment To Lease Agreement dated February 8, 2013 (collectively, the “Lease”) that provides for the operation of communications equipment on Landlord’s tower (“Existing Tower”), and other equipment on portion of the real property owned by Lessor and occupied by the Milwaukee Fire Department (the “MFD”), located in the City of Milwaukee as described in Exhibit A to the Lease (“Property”), together with certain non-exclusive easement rights of access for utility lines and cables and vehicular ingress and egress across and over the Property (collectively the “Leased Space”); and

WHEREAS, Lessee has agreed to remove the Existing Tower and install a new two hundred foot (200’) self-support monopole tower (“New Tower”) in an alternate location on the Property for the benefit of Lessor, Lessee and the other tenants located on the Existing Tower; and

WHEREAS, the Parties wish to amend the Lease in order to address the above item and to reach new agreements with respect to the same;

NOW, THEREFORE, in consideration of the promises hereinafter made and other good and valuable consideration, the receipt of which is hereby acknowledged, the Parties agree to the following:

1. Construction of New Tower. Lessee shall install the New Tower described on Sheets A-1 through A-4, G-1 and G-2 of the new construction drawings prepared by Edge Consulting Engineers, Inc., dated February 17, 2017, attached hereto and made a part hereof as Exhibit C-2 (the “New Construction Drawings”), in the location as shown on Sheet C-4 of the New Construction Drawings and the survey prepared by Meridian Surveying, LLC, dated February 10, 2017, attached hereto and made a part hereof as Exhibit B-2 (the “New Survey”). Lessor and its current tenants, AT&T, US Cellular and T-Mobile, have certain equipment located on the Existing Tower. Following such relocation/removal, Lessor hereby authorizes Lessee, at its sole cost and expense, and Lessee shall demolish and remove the Existing Tower, the existing conduits, the existing inspection well, and that portion of the existing concrete pad and Ice Bridge pursuant to the demolition plan shown on Sheet C-2 of the New Construction Drawings.

Upon completion of the construction of the New Tower, Lessee’s equipment building, and the installation of Lessee’s equipment on the New Tower as contemplated herein, Lessee shall transfer and convey ownership of the New Tower to Lessor by a bill of sale in the form attached hereto as Exhibit D. Upon delivery of the bill of sale, the New Tower shall become the property of Lessor, Lessee shall have no further responsibility, liability or obligation with respect to the New Tower and Lessee shall not be required to remove the New Tower notwithstanding any removal

requirements contained in this Second Amendment. Upon transfer of ownership of the New Tower to Lessor, Lessor shall assume full responsibility for and all liabilities associated with the New Tower, including, without limitation, the cost of maintenance and repairs and the cost of insuring the New Tower. In no event shall Lessor take ownership in any other equipment or property of Lessee whatsoever including, but not limited to Lessee's antennas or other equipment installed on the New Tower.

Provided that Lessee has received all necessary permits and approvals from appropriate governing bodies, Lessee may immediately commence the installation of the New Tower depicted on the New Construction Drawings, provided Lessee shall coordinate all construction work performed by Lessee in advance with the MFD, so as not to materially and adversely interfere with the MFD's operations on the Property. Lessee reserves the right to replace Lessee's equipment on the New Tower with similar and comparable equipment provided said replacement does not increase tower loading of the New Tower.

2. Leased Premises. Upon transfer of ownership of the New Tower to Lessor, hereby leases to the Lessee a portion of that certain space on the New Tower in the location depicted on Sheets A-1, A-11 and A-12 of the New Construction Drawings ("Tower Space"); together with the three hundred thirty six (336) square foot parcel of land for the installation of Lessee's equipment building ("Verizon Equipment Lease Parcel"), and the fifty (50) square foot parcel of land currently occupied by Lessee's generator ("Verizon Generator Lease Parcel") in the locations depicted on Sheets 2 and 3 of the New Survey (collectively the "Verizon Land Space"); together with the non-exclusive right for ingress and egress, seven (7) days a week, twenty four (24) hours a day, on foot or motor vehicle, including trucks, and for the installation and maintenance of utility wires, poles, cables, conduits, and pipes over, under, or along a twenty (20) foot wide right of way extending from the nearest public right of way, to the Tower Space and the Verizon Land Space in the location depicted on Sheets 1-3 of the New Survey as the "Ingress/Egress Easement"; together with the non-exclusive easement for fiber utility service lines under and across the Property in the location depicted on Sheets 2 and 3 of the New Survey as "Utility Easement A"; together with the non-exclusive eight (8) foot wide easement in the location depicted on Sheets 2 and 3 of the New Survey as "Utility Easement B"; together with an non-exclusive two (2) foot wide conduit easement in the location depicted on Sheets 2 and 3 of the New Survey as the "2' Wide Conduit Easement (Verizon)"; together with an non-exclusive two (2) foot wide cable easement in the location depicted on Sheets 2 and 3 of the New Survey as the "2' Wide Cable Easement (Verizon)"; and together with any further rights of way over and through the Lessor's Communication Compound for the installation and maintenance of utility wires, poles, cables, conduits, and pipes, subject to approval between the parties ("Further Rights of Way"). The Verizon Land Space, Ingress/Egress Easement, Utility Easement A, Utility Easement B, the 2' Wide Conduit Easement (Verizon), the 2' Wide Cable Easement (Verizon), and the Lessor's Communication Compound are legally described in Exhibit B-1, attached hereto and made a part hereof. The Verizon Land Space, Ingress/Egress Easement, Utility Easement A, Utility Easement B, the 2' Wide Conduit Easement (Verizon), the 2' Wide Cable Easement (Verizon), and the Further Rights of Way (subject to approval between the parties) are collectively referred to with the Tower Space hereinafter as the "Verizon Lease Parcel". All references to Exhibit B in the Lease are hereby deleted and replaced with the attached Exhibit B-1, and all references in the Lease to the "Leased Space" are hereby deleted and replaced with references to the "Verizon Lease Parcel". Lessee's interest in any portion of the Property not included in the Verizon Lease Parcel shall terminate upon commencement of the operation of the New Tower.

In the event any public utility is unable to use the Ingress/Egress Easement, Utility Easement A, Utility Easement B, the 2' Wide Conduit Easement (Verizon), the 2' Wide Cable Easement (Verizon), the Lessor hereby agrees to approve of the grant of additional rights of way either to the Lessee or to the public utility within the Lessor's Communication Compound at no cost to the Lessee, which approval shall not be unreasonably withheld, conditioned or delayed.

3. Equipment Installation. Lessor hereby grants permission to Lessee to install, maintain and operate on the Verizon Lease Parcel the radio communications equipment, antennas and appurtenances described on Sheets C-4, C-5, S-1 through S-3, A-1 through A-3, A-11 through A-13, E-1, G-1 and G-2 of the New Construction Drawings (the "New Equipment"). All references to Exhibit C-1 in the Lease are hereby deleted and replaced with references to the New Equipment. It is understood that Lessee has submitted the proposal for the New Equipment and the New Construction Drawings to Lessor, and Lessor has approved said items. Provided that Lessee has received all necessary permits and approvals from appropriate governing bodies, Lessee may immediately commence the installation of Lessee's New Equipment, provided Lessee shall coordinate all installation work performed by Lessee in advance with the MFD, so as not to materially and adversely interfere with the MFD's operations on the Property. Lessee reserves the right to replace the aforementioned equipment with similar and comparable equipment on the Verizon Land Space.

4. Environmental. Lessor has been made aware that Lessee will generate excess soils (and potentially groundwater) during construction and that the soils (and groundwater, if encountered) may contain contamination which was not caused by Lessee (the "Pre-Amendment Environmental Conditions"). Lessee agrees, at its own cost, to characterize, transport, and dispose of at a certified Subtitle D landfill all soils (and groundwater, if encountered) that Lessee excavates as part of its installation. Unless obvious signs of contamination are observed (e.g., staining, odors, etc.), Lessee shall only sample the soils (and groundwater, if encountered) for purposes of waste characterization based on the historic use of the Property and as required by the receiving facility. If obvious signs of contamination are observed, Lessee shall immediately contact Lessor to determine how to proceed. Lessor shall sign any required waste manifests or waste profiles necessary as a result of the disposal of the soil (and groundwater, if encountered) and, if applicable based on characterization, take appropriate action to report the Pre-Amendment Environmental Conditions under any applicable federal, state, or local laws, regulations or rules.

5. The Parties agree to execute the Amended and Restated Memorandum of Agreement attached hereto and made a part hereof as Exhibit E, which shall amend, restate and replace the Memorandum of Agreement recorded November 26, 2002 in Reel 5464, Image 1206, as Document No. 8395459.

6. Except as amended herein, all terms, conditions, provisions, covenants, and agreements contained in the Lease are hereby ratified and confirmed in their entirety. In the event of any inconsistencies between the Lease and this Second Amendment, the terms of this Second Amendment shall take precedence. The terms used herein and not otherwise defined shall have the same meaning as set forth in the Lease.

7. All capitalized terms used but not defined in this Second Amendment shall have the meaning, if any, set forth elsewhere in the Lease.

8. The Lease may be further amended or modified only by a written agreement signed by both Parties.

9. This Second Amendment shall bind and inure to the benefit of the successors and assigns of the Parties hereto, except to the extent any assignment or other transfer may be prohibited, limited or conditioned pursuant to any other term or condition contained in the Lease.

10. This Second Amendment may be executed in one or more counterparts, all of which counterparts taken together shall constitute one and the same agreement.

[SIGNATURES APPEAR ON FOLLOWING PAGE]

IN WITNESS WHEREOF, the Parties have caused this Second Amendment to be effective as of the last date written below.

LESSEE:

VERIZON WIRELESS PERSONAL COMMUNICATIONS LP,
D/B/A VERIZON WIRELESS

By: _____
Title: _____

LESSOR:

CITY OF MILWAUKEE

By: _____
Tom Barrett, Mayor

By: _____
James Owczarski, City Clerk

COUNTERSIGNED

By: _____
Martin Matson, City Comptroller

Signatures of Tom Barrett, James Owczarski and Marton Matson, authenticated this ____ day of _____, 2017.

Jeremy R. McKenzie, Assistant City Attorney
State Bar No. 1051310

Approved as to form and execution
This ____ day of _____ 2017

Assistant City Attorney

[Exhibits Follow]

EXHIBIT B-1

LEGAL DESCRIPTION OF VERIZON LEASE PARCEL

LESSORS COMMUNICATION COMPOUND

A part of the West Half (W1/2) of the Southwest Quarter (SW1/4) of Section Eleven (11), Township Six (6) North, Range Twenty-One (21) East, City of Milwaukee, Milwaukee County, Wisconsin containing 3,382 square feet (0.078 acres) of land and being described by: Commencing at the Southwest Corner of said Section 11; thence N88°-33'-45"E 968.46 feet along the south line of the SW1/4 of said Section 11; thence N01°-26'-15"W 60.00 feet to a point at the intersection of the north line of W. Oklahoma Avenue and the west line of S. 56th Street; thence N00°-27'-13"W 156.17 feet along said west line of S. 56th St., thence S89°-32'-47"W 50.05 feet to the point of beginning; thence S01°-16'-29"E 38.00 feet; thence S88°-43'-31"W 89.00 feet; thence N01°-16'-29"W 38.00 feet; thence N88°-43'-31"E 89.00 feet to the point of beginning, being subject to any and all easements and restrictions of record.

VERIZON EQUIPMENT LEASE PARCEL

A part of the West Half (W1/2) of the Southwest Quarter (SW1/4) of Section Eleven (11), Township Six (6) North, Range Twenty-One (21) East, City of Milwaukee, Milwaukee County, Wisconsin containing 336 square feet (0.008 acres) of land and being described by: Commencing at the Southwest Corner of said Section 11; thence N88°-33'-45"E 968.46 feet along the south line of the SW1/4 of said Section 11; thence N01°-26'-15"W 60.00 feet to a point at the intersection of the north line of W. Oklahoma Avenue and the west line of S. 56th Street; thence N00°-27'-13"W 171.51 feet along said west line of S. 56th St., thence S88°-31'-18"W 94.23 feet; thence S01°-28'-42"E 15.06 feet to the point of beginning; thence S01°-11'-54"E 16.00 feet; thence S88°-48'-06"W 21.00 feet; thence N01°-11'-54"W 16.00 feet; thence N88°-48'-06"E 21.00 feet to the point of beginning, being subject to any and all easements and restrictions of record.

VERIZON GENERATOR LEASE PARCEL

A part of the West Half (W1/2) of the Southwest Quarter (SW1/4) of Section Eleven (11), Township Six (6) North, Range Twenty-One (21) East, City of Milwaukee, Milwaukee County, Wisconsin containing 50 square feet (0.001 acres) of land and being described by: Commencing at the Southwest Corner of said Section 11; thence N88°-33'-45"E 968.46 feet along the south line of the SW1/4 of said Section 11; thence N01°-26'-15"W 60.00 feet to a point at the intersection of the north line of W. Oklahoma Avenue and the west line of S. 56th Street; thence N00°-27'-13"W 133.42 feet along said west line of S. 56th St.; thence S89°-32'-47"W 73.96 feet to the point of beginning; thence S00°-51'-11"E 10.00 feet; thence S89°-08'-49"W 5.00 feet; thence N00°-51'-11"W 10.00 feet; thence N89°-08'-49"E 5.00 feet to the point of beginning, being subject to any and all easements and restrictions of record.

20' WIDE INGRESS/EGRESS EASEMENT

A part of the West Half (W1/2) of the Southwest Quarter (SW1/4) of Section Eleven (11), Township Six (6) North, Range Twenty-One (21) East, City of Milwaukee, Milwaukee County, Wisconsin containing 2,843 square feet (0.065 acres) of land and being Ten (10) feet each side of and parallel to the following described line:

Commencing at the Southwest Corner of said Section 11; thence N88°-33'-45"E 968.46 feet along the south line of the SW1/4 of said Section 11; thence N01°-26'-15"W 60.00 feet to a point at the intersection of the north line of W. Oklahoma Avenue and the west line of S. 56th Street; thence S88°-33'-45"W 115.50 feet along the north line of said W. Oklahoma Avenue to the point of beginning; thence N01°-26'-15"W 109.20 feet to a point herein after referred to as Point "A"; thence S88°-43'-31"W 21.00 feet to the point of termination. Also beginning at said Point "A"; thence N88°-43'-31"E 11.97 feet to the point of termination. The side lot lines of said easement are to be shortened or lengthened to terminate on said north line of W. Oklahoma Avenue.

UTILITY EASEMENT "A"

A part of the West Half (W1/2) of the Southwest Quarter (SW1/4) of Section Eleven (11), Township Six (6) North, Range Twenty-One (21) East, City of Milwaukee, Milwaukee County, Wisconsin containing 2,551 square feet (0.058 acres) of land and being described by:

Commencing at the Southwest Corner of said Section 11; thence N88°-33'-45"E 968.46 feet along the south line of the SW1/4 of said Section 11; thence N01°-26'-15"W 60.00 feet to a point at the intersection of the north line of W. Oklahoma Avenue and the west line of S. 56th Street; thence N00°-27'-13"W 156.17 feet along said west line of S. 56th St., thence S89°-32'-47"W 50.05 feet; thence S88°-43'-31"W 26.48 feet to the point of beginning; thence continue S88°-43'-31"W 62.52 feet; thence S01°-16'-29"E 157.26 feet to a point on the North line of W. Oklahoma Avenue; thence S88°-33'-45"W 13.59 feet along said North line; thence N00°-27'-13"W 165.32 feet; thence N88°-43'-31"E 73.74 feet; thence S01°-16'-29"E 8.00 feet to the point of beginning, being subject to any and all easements and restrictions of record.

8 FOOT WIDE UTILITY EASEMENT "B"

A part of the West Half (W1/2) of the Southwest Quarter (SW1/4) of Section Eleven (11), Township Six (6) North, Range Twenty-One (21) East, City of Milwaukee, Milwaukee County, Wisconsin containing 468 square feet of land and being Four (4) feet each side of and parallel to the following described line:

Commencing at the Southwest Corner of said Section 11; thence N88°-33'-45"E 968.46 feet along the south line of the SW1/4 of said Section 11; thence N01°-26'-15"W 60.00 feet to a point at the intersection of the north line of W. Oklahoma Avenue and the west line of S. 56th Street; thence N00°-27'-13"W 156.17 feet along said west line of S. 56th St., thence S89°-32'-47"W 50.05 feet; thence S01°-16'-29"E 3.90 feet to the point of beginning; thence S88°-42'-56"E 33.13 feet; thence S42°-12'-55"E 25.35 feet to a point on the West line of S. 56th Street and the point of termination. The side lot lines of said easement shall be shortened or lengthened to terminate on the West line of S. 56th Street and the East line of the afore described Lessors Communication Compound.

VERIZON 2' WIDE CONDUIT EASEMENT

A part of the West Half (W1/2) of the Southwest Quarter (SW1/4) of Section Eleven (11), Township Six (6) North, Range Twenty-One (21) East, City of Milwaukee, Milwaukee County, Wisconsin containing 80 square feet (0.002 acres) of land and being One (1) foot each side of and parallel to the following described line:

Commencing at the Southwest Corner of said Section 11; thence N88°-33'-45"E 968.46 feet along the south line of the SW1/4 of said Section 11; thence N01°-26'-15"W 60.00 feet to a

point at the intersection of the north line of W. Oklahoma Avenue and the west line of S. 56th Street; thence N00°-27'-13"W 171.51 feet along said west line of S. 56th St., thence S88°-31'-18"W 94.23 feet; thence S01°-28'-42"E 15.06 feet; thence S01°-11'-54"E 5.50 feet to the point of beginning; thence N88°-48'-06"E 13.80 feet; thence S00°-51'-11"E 26.17 feet to the point of termination.

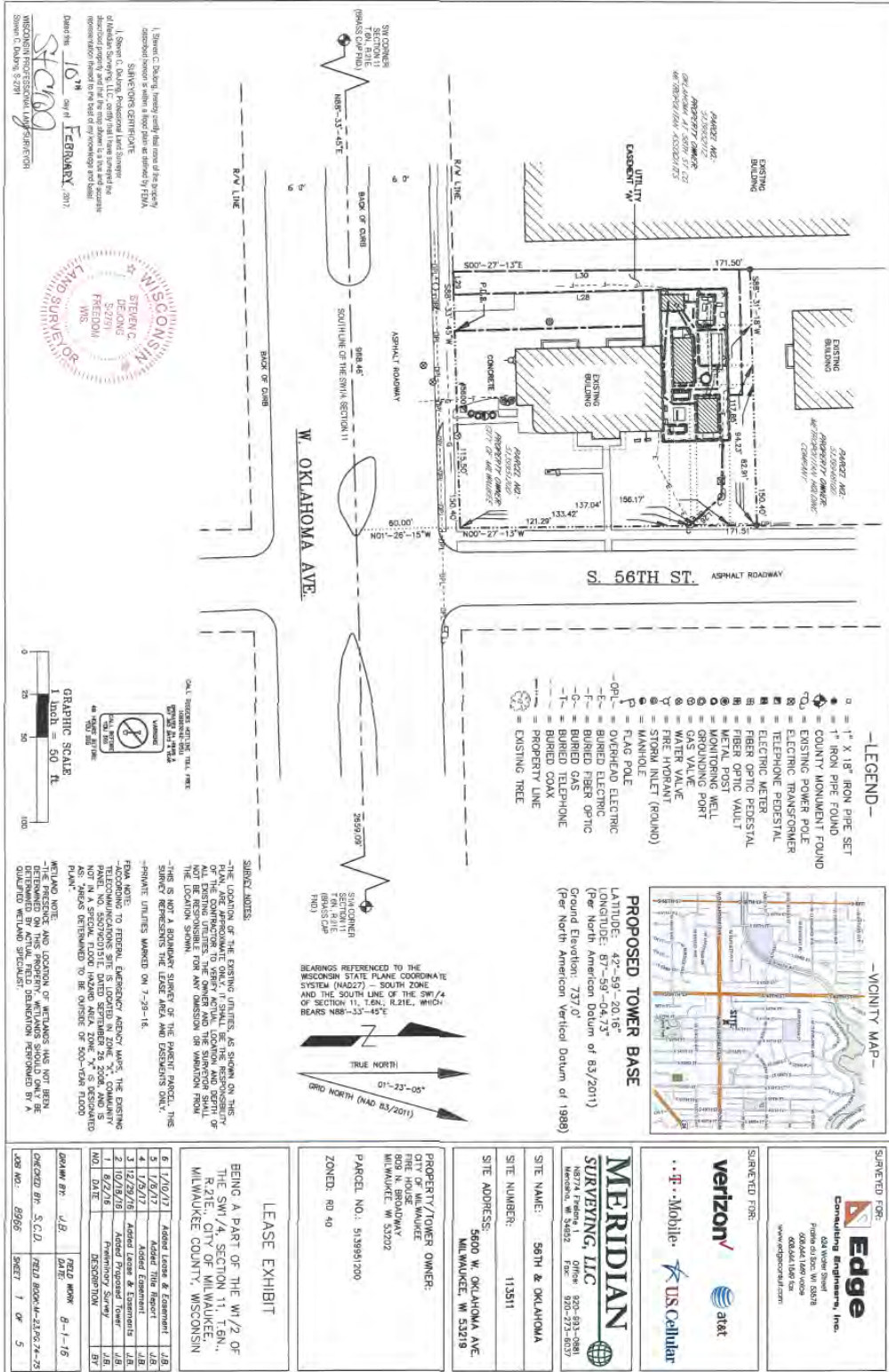
VERIZON 2' WIDE CABLE EASEMENT

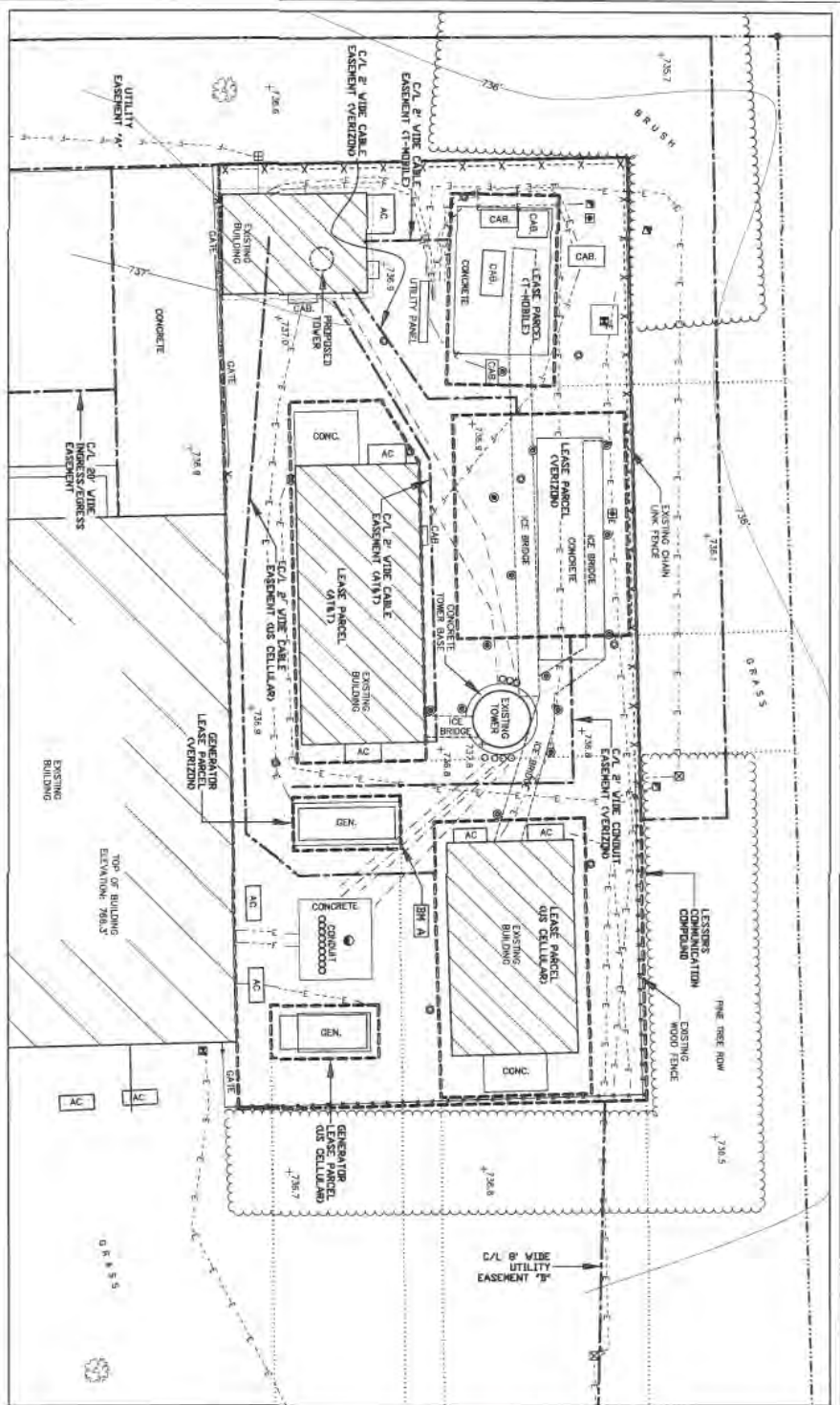
A part of the West Half (W1/2) of the Southwest Quarter (SW1/4) of Section Eleven (11), Township Six (6) North, Range Twenty-One (21) East, City of Milwaukee, Milwaukee County, Wisconsin containing 45 square feet (0.001 acres) of land and being One (1) foot each side of and parallel to the following described line:

Commencing at the Southwest Corner of said Section 11; thence N88°-33'-45"E 968.46 feet along the south line of the SW1/4 of said Section 11; thence N01°-26'-15"W 60.00 feet to a point at the intersection of the north line of W. Oklahoma Avenue and the west line of S. 56th Street; thence N00°-27'-13"W 171.51 feet along said west line of S. 56th St., thence S88°-31'-18"W 94.23 feet; thence S01°-28'-42"E 15.06 feet; thence S01°-11'-54"E 16.00 feet; thence S88°-48'-06"W 21.00 feet; thence N01°-11'-54"W 5.97 feet to the point of beginning; thence S88°-48'-06"W 1.60 feet; thence S01°-01'-56"E 8.22 feet; thence S55°-59'-39"W 12.47 feet to the point of termination.

EXHIBIT B-2

DEPICTION OF VERIZON LEASE PARCEL (NEW SURVEY)





1. Steven C. DeLong, hereby certifies that one of the property descriptions herein is taken in whole, part or in part by P.O.M. SURVEYOR'S CERTIFICATE.

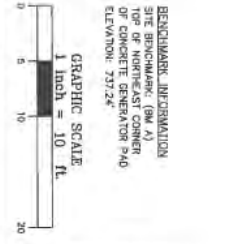
(2) Steven C. DeLong, Professional Land Surveyor, hereby certifies that the above described plat and the map therein is a true and accurate representation based on the field of my knowledge and belief.

Dated this 10th day of FEBRUARY 2017.

STEVEN C. DELONG
 WISCONSIN PROFESSIONAL LAND SURVEYOR
 Steven C. DeLong, S-2781



- LEGEND-**
- = 1" X 1/8" IRON PIPE SET
 - = COUNTY MONUMENT FOUND
 - ⊙ = STORM INLET (ROUND)
 - ⊕ = ELECTRIC POWER POLE
 - ⊖ = TELEPHONE TRANSFORMER
 - ⊗ = TELEPHONE PEDestal
 - ⊘ = ELECTRIC METER
 - ⊙ = FIBER OPTIC PEDestal
 - ⊙ = FIBER OPTIC WELL
 - ⊙ = MOUNTING PORT
 - ⊙ = GAS VALVE
 - ⊙ = WATER VALVE
 - ⊙ = FIRE HYDRANT
 - ⊙ = MANHOLE
 - ⊙ = FLAG POLE
 - ⊙ = OVERHEAD ELECTRIC
 - ⊙ = BURIED ELECTRIC
 - ⊙ = BURIED FIBER OPTIC
 - ⊙ = BURIED GAS
 - ⊙ = BURIED TELEPHONE
 - ⊙ = BURIED COAX
 - ⊙ = PROPERTY LINE
 - ⊙ = EXISTING TREE



BEARINGS REFERENCED TO THE WISCONSIN STATE PLANE COORDINATE SYSTEM (NAD 83) ZONE 16 AND THE SOUTH LINE OF THE SW 1/4 OF SECTION 11, T.6N., R.21E., WHICH BEARS N86°-33'-45"E.

DESIGNED FOR:

Edge
 Consulting Engineers, Inc.
 800 North Street
 Franklin, WI 53128
 (608) 441-1887 Fax
 (608) 441-1887 Cell
 www.edgeinc.com

SUBMITTED FOR:

verizon at&t
 Mobile US Cellular

MERIDIAN
 SURVEYING, LLC
 16779 E. WISCONSIN STREET
 WILSON, WI 53190
 (262) 581-4877
 (262) 581-4878
 (262) 581-4879

SITE NAME: 56TH & OAKHOLM
 SITE NUMBER: 113511
 SITE ADDRESS: 5600 W. OAKHOLM AVE.
 MILWAUKEE, WI 53219

PROPERTY/TOWER OWNER:
 CITY OF MILWAUKEE
 FIRE HOUSE
 809 N. BRIDGEMAN
 MILWAUKEE, WI 53202

PARCEL NO.: 0150091200
 ZONED: RM 4B

LEASE EXHIBIT
 BEING A PART OF THE W 1/2 OF THE SW 1/4, SECTION 11, T.6N., R.21E., CITY OF MILWAUKEE, MILWAUKEE COUNTY, WISCONSIN

DATE	BY	REVISION
6/27/17	AMANDA LEON & EDWIN	1.B
5/18/17	AMANDA LEON	1.B
4/13/17	AMANDA LEON	1.B
3/12/17	AMANDA LEON & EDWIN	1.B
2/10/17	AMANDA LEON & EDWIN	1.B
1/6/17	AMANDA LEON & EDWIN	1.B

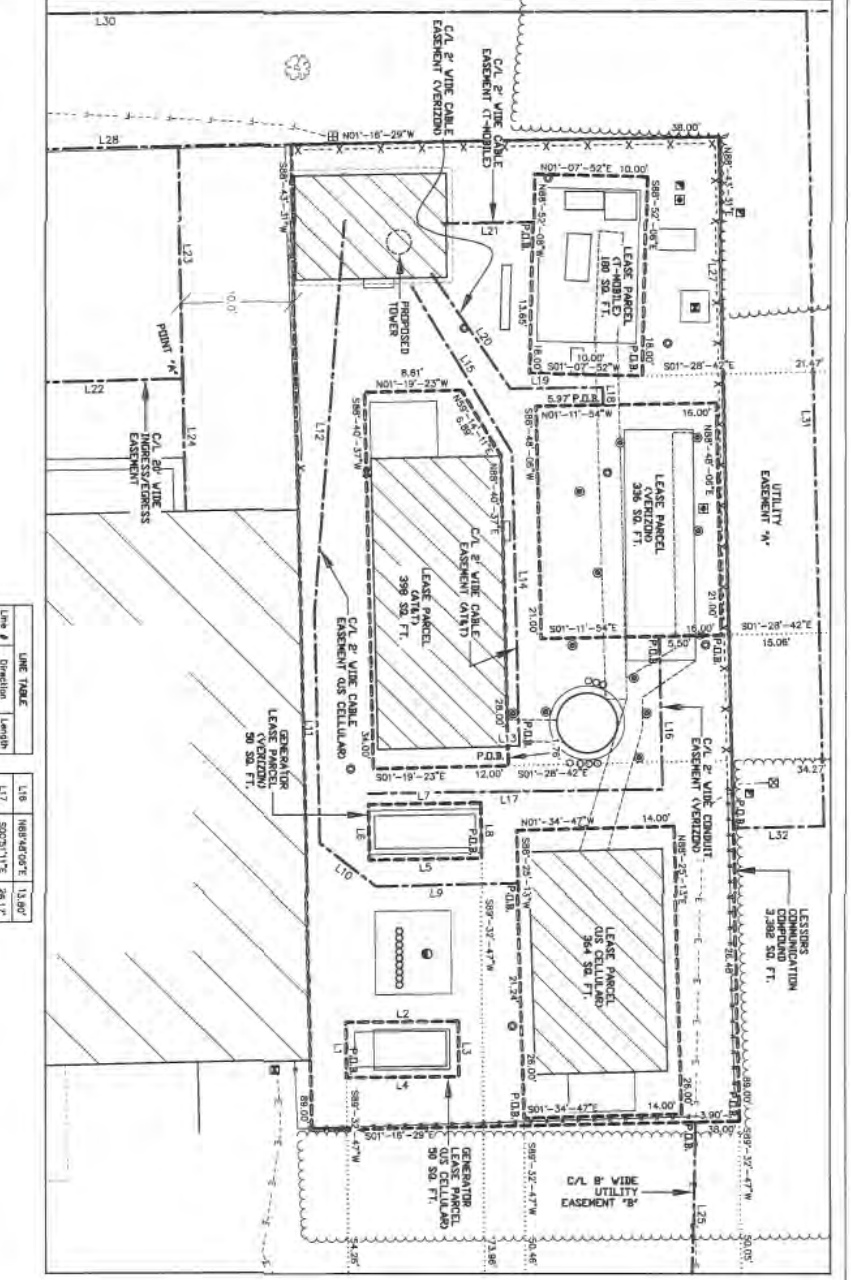
WISCONSIN PROFESSIONAL LAND SURVEYOR
 STEVEN C. DALBY, S.2781



Dated this 10th day of FEBRUARY, 2017

1. Steven C. Dalby hereby certifies that each of the property described herein is within a jurisdiction as defined by RSAK.
 2. Steven C. Dalby, Professional Land Surveyor, is duly licensed and qualified to perform the services herein and that the map shown is a true and correct representation of the land as surveyed and of the best of his knowledge and belief.

GRAPHIC SCALE
 1 inch = 10 ft.



BEARINGS REFERENCED TO THE WISCONSIN STATE PLANE COORDINATE SYSTEM (NAD83) - SOUTH ZONE AND THE SOUTH LINE OF THE SW 1/4 OF SECTION 11, T.6N., R.21E., WHICH BEARS N88°-35'-45\"/>

LINE #	Direction	Length	LINE #	Direction	Length
L1	S89°27'11\"/>				
L2	N00°21'50\"/>				
L3	N89°28'10\"/>				
L4	S00°21'50\"/>				
L5	S00°21'11\"/>				
L6	S89°08'47\"/>				
L7	N00°21'11\"/>				
L8	N89°28'46\"/>				
L9	S01°24'10\"/>				
L10	S17°24'42\"/>				
L11	S89°40'01\"/>				
L12	N89°22'21\"/>				
L13	N01°29'21\"/>				
L14	S89°40'20\"/>				
L15	S59°41'11\"/>				
L16	N89°48'07\"/>				
L17	S00°21'11\"/>				
L18	S89°48'07\"/>				
L19	S01°01'56\"/>				
L20	S07°29'37\"/>				
L21	S01°12'04\"/>				
L22	N07°16'17\"/>				
L23	S88°43'21\"/>				
L24	N88°43'21\"/>				
L25	S88°42'56\"/>				
L26	S41°22'59\"/>				
L27	S88°43'21\"/>				
L28	S01°16'29\"/>				
L29	S88°53'45\"/>				
L30	N00°27'57\"/>				
L31	N88°43'21\"/>				
L32	S01°16'29\"/>				

- LEGEND—
- = 1" x 18" IRON PIPE SET
 - = COUNTY MONUMENT FOUND
 - ⊙ = EXISTING POWER POLE
 - ⊕ = TELEPHONE PEDestal
 - ⊖ = ELECTRIC TRANSFORMER
 - ⊗ = TELEPHONE PEDestal
 - ⊘ = ELECTRIC METER
 - ⊙ = FIBER OPTIC PEDestal
 - ⊚ = METAL POST VAlULT
 - ⊛ = FIBER OPTIC VAlULT
 - ⊜ = BURIED COAX
 - ⊝ = BURIED TELEPHONE
 - ⊞ = BURIED TELEPHONE
 - ⊟ = PROPERTY LINE
 - ⊠ = EXISTING TREE
 - ⊡ = WATER VALVE
 - ⊢ = FIRE HYDRANT
 - ⊣ = STORM INLET (ROUND)
 - ⊤ = MANHOLE
 - ⊥ = FLAG POLE
 - ⊦ = OVERHEAD ELECTRIC
 - ⊧ = BURIED ELECTRIC
 - ⊨ = BURIED FIBER OPTIC
 - ⊩ = BURIED GAS
 - ⊪ = BURIED TELEPHONE
 - ⊫ = BURIED TELEPHONE
 - ⊬ = PROPERTY LINE
 - ⊭ = EXISTING TREE

LEASE EXHIBIT

BEING A PART OF THE W 1/2 OF THE SW 1/4, SECTION 11, T.6N., R.21E., CITY OF MILWAUKEE, MILWAUKEE COUNTY, WISCONSIN

DATE	BY	DESCRIPTION
6/17/07	ADD LEASE & EASEMENT	JLB
5/18/07	ADD THIS REPORT	JLB
4/19/07	ADD EASEMENT	JLB
3/12/09/16	ADD LEASE & EASEMENTS	JLB
2/10/09/16	ADD PROPOSED TRAIL	JLB
6/2/16	Preliminary Survey	JLB
N/A	DATE	BT

DECKED BY: S.C.D. FIELD BOOK: 215C/4-73
 JOB NO.: 8965 SHEET 3 OF 5

PROPERTY/TOWER OWNER:
 CITY OF MILWAUKEE
 FIRE HOUSE
 809 N. BROADWAY
 MILWAUKEE, WI 53202

PARCEL NO.: 5138951200
 ZONED: RD 40

MERIDIAN SURVEYING, LLC
 1827 N. Prairie 1 Office 920-893-1881
 Milwaukee, WI 53482 Fax 920-273-6537

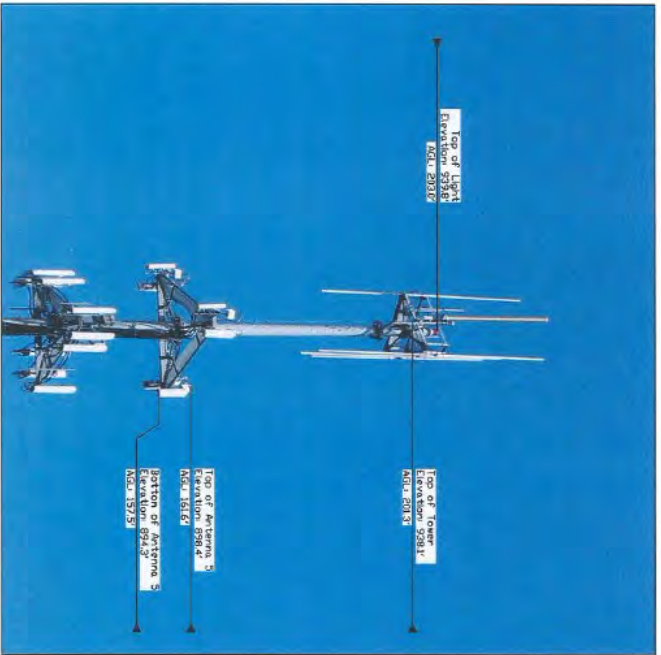
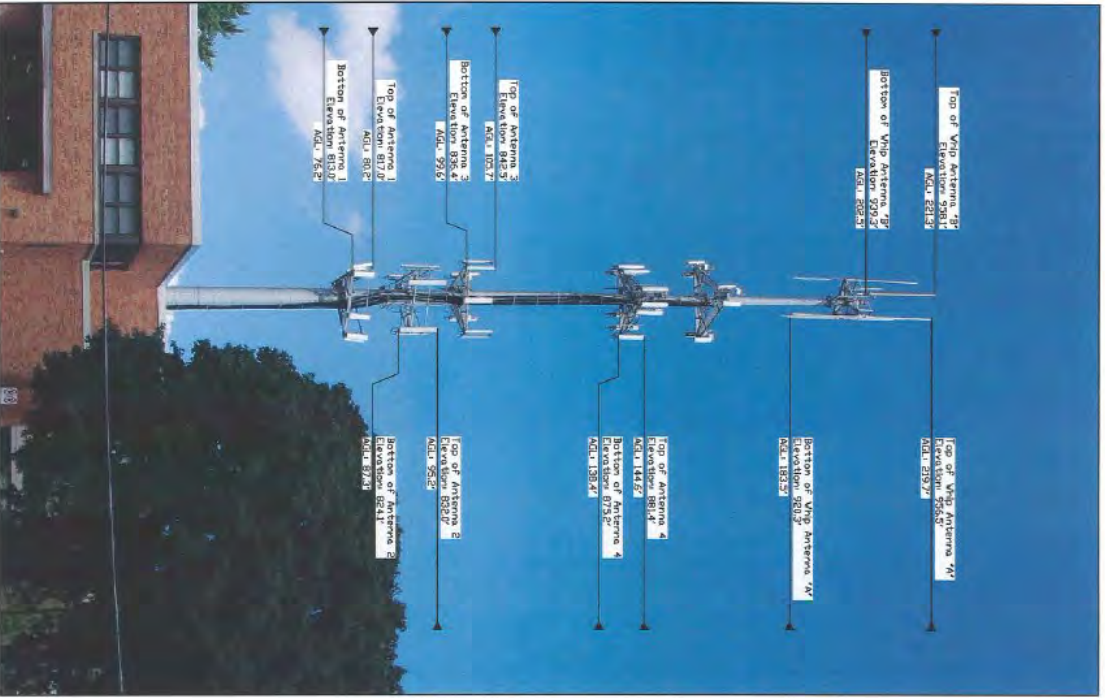
SITE NAME: 58TH & OKLAHOMA
 SITE NUMBER: 113511
 SITE ADDRESS: 5800 W. OKLAHOMA AVE. MILWAUKEE, WI 53219

SURVED FOR:

Edge
 Consulting Engineers, Inc.
 620 West Street
 P.O. Box 100, WI 53208
 414.441.1499
 414.441.1499 fax
 www.edgeconsult.com

verizon | at&t | Mobile | US Cellular

113511



SURVEYED FOR:

Edge
Consulting Engineers, Inc.
624 Water Street
Pulaski Co. Soc. WI 53078
608.261.1481 voice
608.261.1482 fax
www.edgeconsult.com

SURVEYED FOR:

verizon
at&t
Mobile US Cellular

MERIDIAN
SURVEYING, LLC
18774 Felina 1 Office: 920-943-0881
Menasha, WI 54952 Fax: 920-273-8037
www.meridianllc.com

SITE NAME: 56TH & OKLAHOMA
SITE NUMBER: 113511
SITE ADDRESS: 5600 W. OKLAHOMA AVE. MILWAUKEE, WI 53219

PROPERTY/TOWER OWNER:
CITY OF MILWAUKEE
P.O. BOX 10500
MILWAUKEE, WI 53202
PARCEL NO.: 5138991200
ZONED: RD 40


LEASE EXHIBIT
BEING A PART OF THE W/2 OF THE SW/4, SECTION 11, T.6N., R.21E., CITY OF MILWAUKEE, MILWAUKEE COUNTY, WISCONSIN

NO.	DATE	DESCRIPTION	BY
6	1/10/21	Added Lease & Easement	JLB
5	1/6/17	Added Title Report	JLB
4	1/9/17	Added Easement	JLB
3	12/29/16	Added Lease & Easements	JLB
2	10/19/16	Added Proposed Tower	JLB
1	8/2/16	Preliminary Survey	JLB





DRWN BY: JLB FIELD WORK: B-1-16
CHECKED BY: S.C.D. FIELD BOOK: W-2176-24-25
JOB NO.: 8966 SHEET: 4 OF 5

EXHIBIT C-2

NEW CONSTRUCTION DRAWINGS



SITE LOCATION MAPS


**56TH & OKLAHOMA (113511)
MILWAUKEE, WISCONSIN
CONSTRUCTION DRAWINGS
200' REPLACEMENT MONOPOLE TOWER**


NO.	SHEET TITLE
T-1	TITLE SHEET & PROJECT DATA
T-2	SITE SURVEY
C-1	DETAILED SITE LAYOUT
C-2	GROUND PLAN
C-3	TRUSS CONSTRUCTION PLAN
C-4	TRUSS CONSTRUCTION DETAILS
C-5	FOUNDATION DETAILS
S-1	FOUNDATION ELEVATION
S-2	FOUNDATION ELEVATION INTERIOR
A-1	TOWER ELEVATION
A-2	TOWER ELEVATION
A-3	ICE BRIDGE DETAILS
A-4	RAY ANTENNA PLATFORM ASSIGNMENT
A-5	RAY RIGS
A-6	RAY RIGS
A-7	TOWER ANTENNA PLATFORM ASSIGNMENT
A-8	TOWER RIGS
A-9	US CELLULAR ANTENNA PLATFORM ASSIGNMENT
A-10	US CELLULAR RIGS
A-11	VERIZON ANTENNA PLATFORM ASSIGNMENT
A-12	VERIZON RIGS
A-13	VERIZON ANTENNA CONFIGURATION
A-14	MUNICIPAL DETAILS
E-1	ELECTRICAL PLAN
G-1	GROUNDING PLAN
G-2	GROUNDING DETAILS

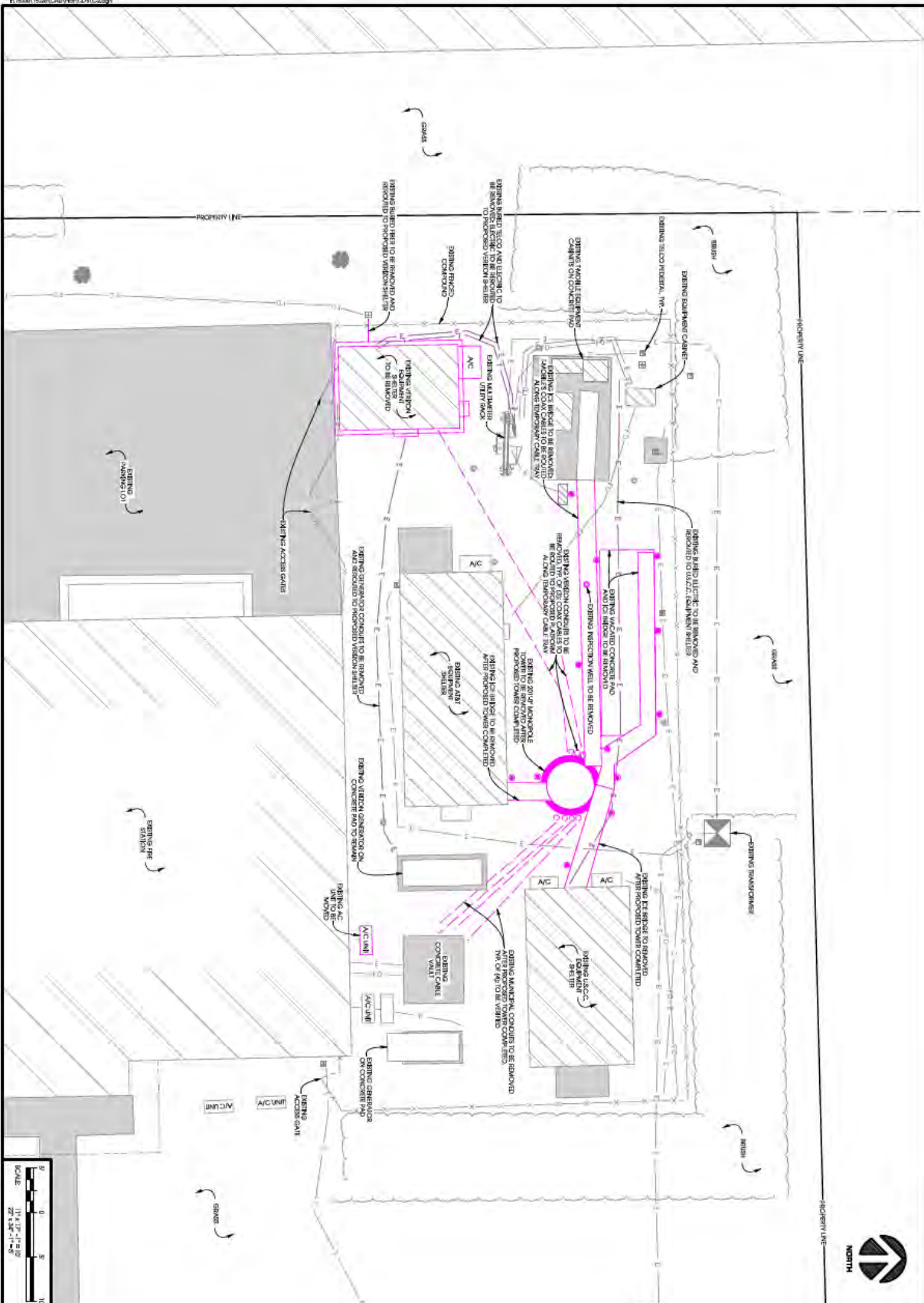
* COMPLETED BY OTHERS

CONTRACTOR SHALL VERIFY ALL PLANS AND DESIGN DIMENSIONS AND CONDITIONS ON SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DISCREPANCIES OR OMISSIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAME.

CLIENT	ENGINEERING COMPANY
CLIENT: A&T MOBILITY 624 WATER STREET MILWAUKEE, WI 53219 CONTACT: ANDREW FLOWERS PHONE: 414.224.2222 EMAIL: andrew.flowers@att.com	ENGINEERING COMPANY: EDGE CONSULTING ENGINEERS, INC. 624 WATER STREET MILWAUKEE, WI 53219 CONTACT: BRUCE HESLING PHONE: 414.224.2222 EMAIL: bruce.hesling@edgeinc.com
CLIENT: T-Mobile 10000 W. WISCONSIN AVE FISH KILL, WI 53022 CONTACT: JIMMY COOKING PHONE: 414.224.2222 EMAIL: jimmy.cooking@tmobile.com	SUBVERTOR: SUPERIOR, LLC 10000 W. WISCONSIN AVE FISH KILL, WI 53022 CONTACT: JIMMY COOKING PHONE: 414.224.2222 EMAIL: jimmy.cooking@tmobile.com
CLIENT: US CELLULAR 3545 N. WISCONSIN STREET BROOKFIELD, WI 53005 CONTACT: JIMMY COOKING PHONE: 414.224.2222 EMAIL: jimmy.cooking@tmobile.com	SITE ACQUISITION: TON BIRDAUER SERVICES, INC. 10000 W. WISCONSIN AVE FISH KILL, WI 53022 CONTACT: JIMMY COOKING PHONE: 414.224.2222 EMAIL: jimmy.cooking@tmobile.com
CLIENT: VERIZON WIRELESS 1818 E. WOODFIELD ROAD SCHEMBELVILLE, WI 53173 CONTACT: JIMMY COOKING PHONE: 414.224.2222 EMAIL: jimmy.cooking@tmobile.com	PROJECT OWNER: M&M CONSULTING ENGINEERS, INC. 600 SOUTH BROADWAY MILWAUKEE, WI 53202 CONTACT: JIMMY COOKING PHONE: 414.224.2222 EMAIL: jimmy.cooking@tmobile.com

UTILITY INFO	PROJECT INFO	SIGNATURE
ELECTRIC PROVIDER: NAME: VERIZON WIRELESS PHONE: 414.224.2222 FIBER OPTIC PROVIDER: NAME: A&T PHONE: 414.224.2222	SHEET NO.: T-1 PROJECT NO.: 113511 DATE: 12/12/17	I HEREBY CERTIFY THAT THE PLANS SET FORTH IN THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF WISCONSIN. Signature:  Date: 12/12/17

<p>TITLE SHEET 56TH & OKLAHOMA (113511) MILWAUKEE, WISCONSIN</p>	 <p>624 Water Street P.O. Box 113511 Milwaukee, WI 53219 414.224.2222 www.edgeinc.com</p>
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C-2

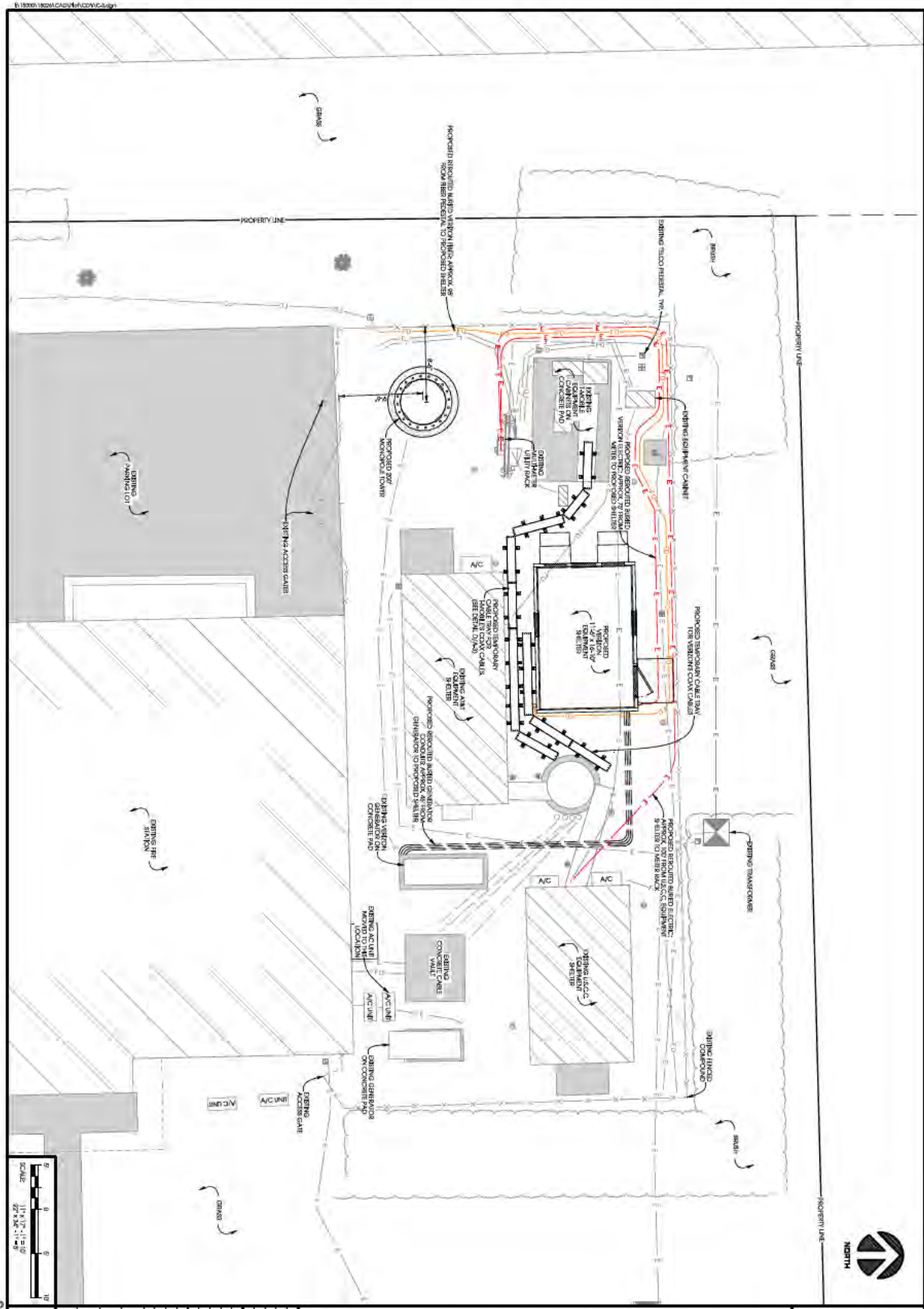
DATE	DESCRIPTION
10/20/15	START PRELIMINARY
11/10/15	REVISED FOR PERMITS
01/27/16	REVISED FOR PERMITS
03/17/16	REVISED FOR PERMITS
04/14/16	REVISED FOR PERMITS
05/11/16	REVISED FOR PERMITS
06/08/16	REVISED FOR PERMITS
07/05/16	REVISED FOR PERMITS
08/02/16	REVISED FOR PERMITS
08/29/16	REVISED FOR PERMITS
09/26/16	REVISED FOR PERMITS
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12/01/25	REVISED FOR PERMITS

DEMO PLAN

56TH & OKLAHOMA [113511]

MILWAUKEE, WISCONSIN

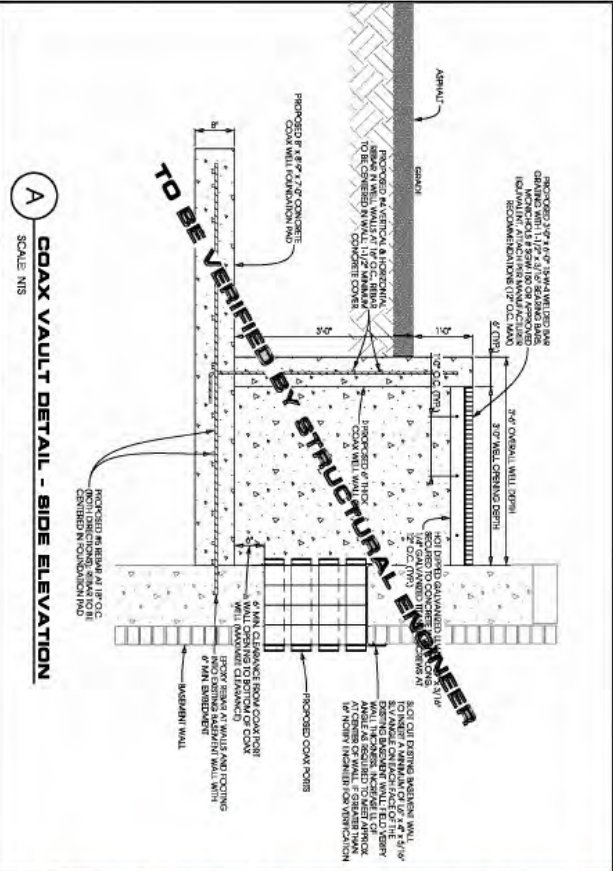
Edge
Consulting Engineers, Inc.
604 Water Street
P.O. Box 59, Racine, WI 53408
608.644.1449 voice
608.644.1549 fax
www.edgeconsilf.com



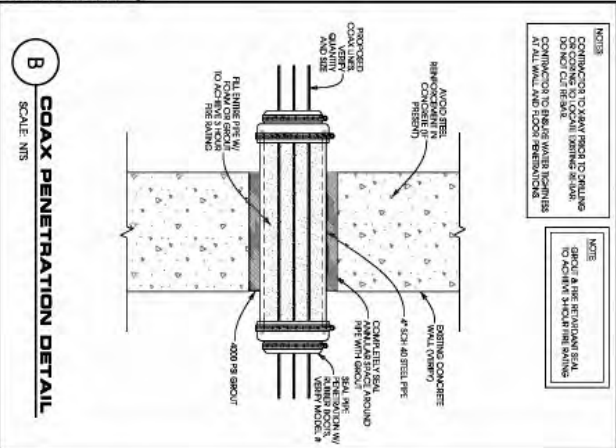
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4	11/11/2023	ISSUED FOR PERMIT
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16	11/11/2023	ISSUED FOR PERMIT
17	11/11/2023	ISSUED FOR PERMIT
18	11/11/2023	ISSUED FOR PERMIT
19	11/11/2023	ISSUED FOR PERMIT
20	11/11/2023	ISSUED FOR PERMIT

TEMP. CONSTR. SITE PLAN
56TH & OKLAHOMA [113511]
MILWAUKEE, WISCONSIN

Edge
 Consulting Engineers, Inc.
 604 Water Street
 Prato du Soc. WI 53078
 408.641.1449 • 408.641.1449
 408.641.1449 • 408.641.1449
 www.edgecora.com



A COAX VAULT DETAIL - SIDE ELEVATION
SCALE: NIS



B COAX PENETRATION DETAIL
SCALE: NIS



C 4 1/2\"/>



PROPOSED VAULT LOCATION

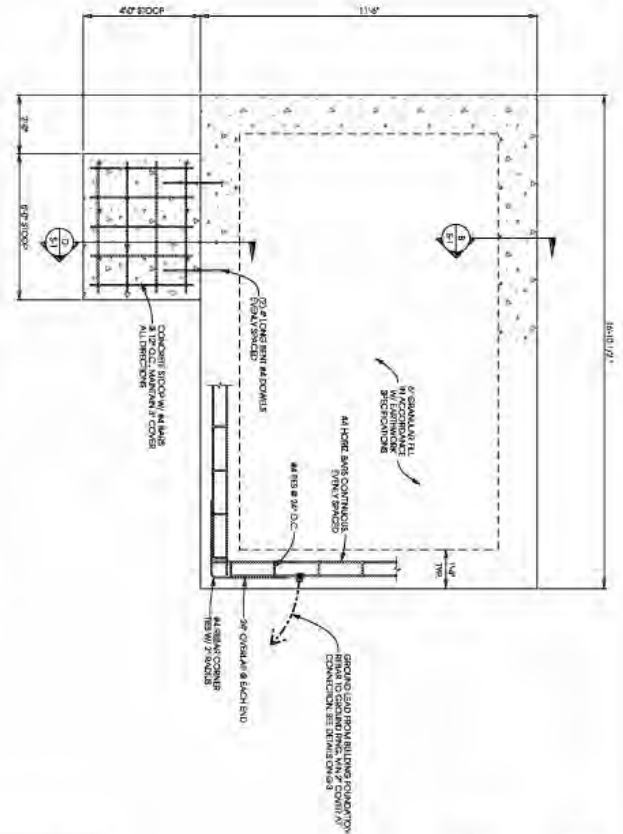


PROPOSED VAULT LOCATION

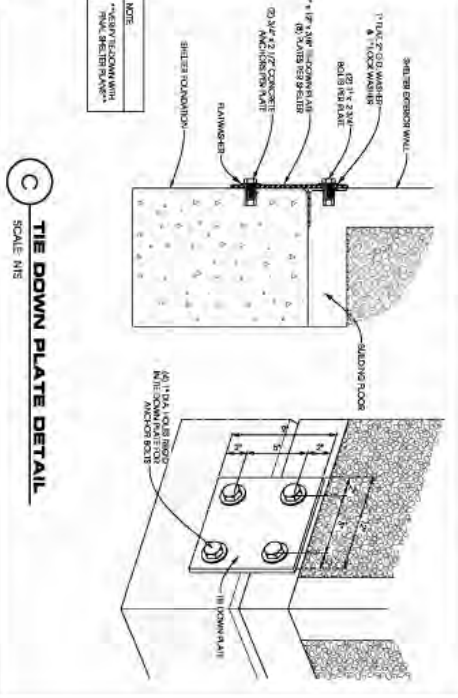
COAX VAULT
56TH & OKLAHOMA [113511]
MILWAUKEE, WISCONSIN

Edge
Consulting Engineers, Inc.
424 Water Street
P.O. Box 11449
Milwaukee, WI 53211
608.644.1449 voice
608.644.1549 fax
www.edgece.com

DESIGNED BY	DATE	SCALE
CHECKED BY	DATE	SCALE
PROJECT #		
CLIENT		



A EQUIPMENT FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



C TIE DOWN PLATE DETAIL
SCALE: NTS

UPDATE AFTER CONSTRUCTION IS COMPLETE

GENERAL NOTES:

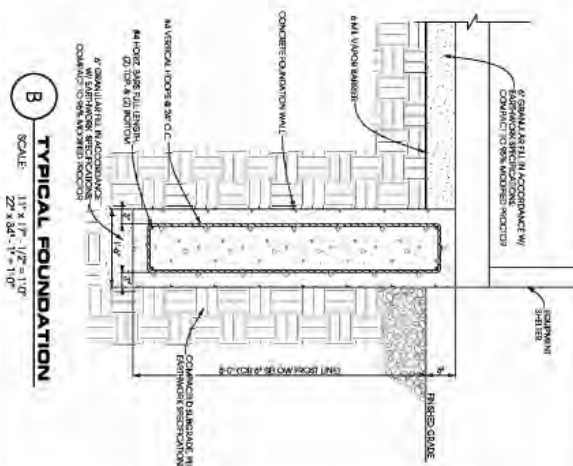
1. ALL CONCRETE FOUNDATION SHALL BE IN ACCORDANCE WITH LOCAL BUILDING CODE REQUIREMENTS AND THE CURRENT EDITION OF ACI 308.3R-08.
2. CONCRETE SHALL BE CLASS A CLEARANCE.
3. ALL CONCRETE SHALL BE SPECIALLY MIXED AND SHALL BE NORMAL WEIGHT (145 PCF) AND SHALL BE CAST IN PLACE. COMPRESSION STRENGTH (F_{CD}) OF 3000 PSI. SPECIES TO BE DETERMINED BY THE DESIGNER. ALL CONCRETE SHALL BE CAST IN PLACE AND SHALL NOT BE PUMPED.
4. ALL CONCRETE REINFORCEMENT SHALL BE #4 BARS TO BE CAST IN PLACE AND SHALL BE PROTECTED FROM CORROSION BY THE DESIGNER. ALL REINFORCEMENT SHALL BE PROTECTED FROM CORROSION BY THE DESIGNER.
5. BEFORE ALL REINFORCEMENT IS CAST, ALL REINFORCEMENT SHALL BE INSPECTED AND FOUNDATION SHALL BE FOUND TO BE IN ACCORDANCE WITH ALL REQUIREMENTS.
6. DESIGNER SHALL PROVIDE ALL REINFORCEMENT DETAILS AND SHALL BE RESPONSIBLE FOR ALL REINFORCEMENT DETAILS AND SHALL BE RESPONSIBLE FOR ALL REINFORCEMENT DETAILS.
7. ALL REINFORCEMENT SHALL BE CAST IN PLACE AND SHALL BE PROTECTED FROM CORROSION BY THE DESIGNER.
8. CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL REQUIREMENTS AND SHALL BE RESPONSIBLE FOR ALL REINFORCEMENT DETAILS.
9. CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL REQUIREMENTS AND SHALL BE RESPONSIBLE FOR ALL REINFORCEMENT DETAILS.

REINFORCEMENT NOTES:

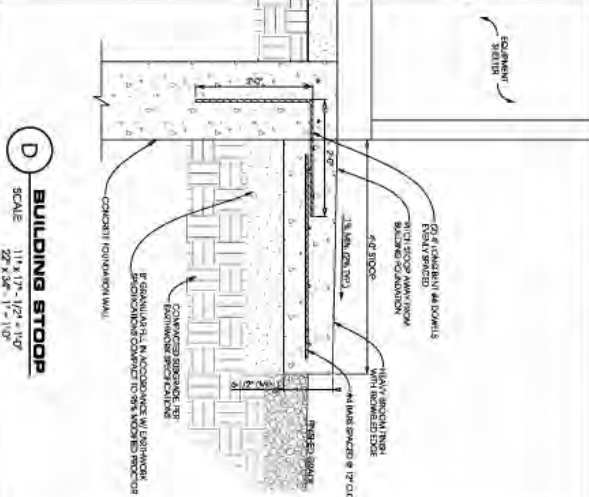
REINFORCEMENT SHALL BE CAST IN PLACE AND SHALL BE PROTECTED FROM CORROSION BY THE DESIGNER. ALL REINFORCEMENT SHALL BE PROTECTED FROM CORROSION BY THE DESIGNER.

CONCRETE SHALL BE CAST IN PLACE AND SHALL BE PROTECTED FROM CORROSION BY THE DESIGNER.

REINFORCEMENT SHALL BE CAST IN PLACE AND SHALL BE PROTECTED FROM CORROSION BY THE DESIGNER.



B TYPICAL FOUNDATION
SCALE: 1/4" = 1'-0"



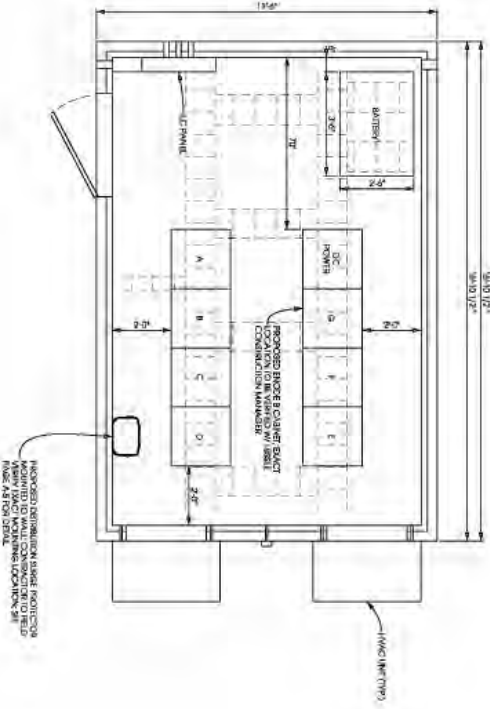
D BUILDING STOOP
SCALE: 1/4" = 1'-0"

NO.	REVISION	DATE
1	ISSUE FOR PERMIT	11/20/17
2	ISSUE FOR CONSTRUCTION	11/20/17
3	ISSUE FOR AS-BUILT	11/20/17

VERIZON FOUNDATION DETAILS
56TH & OKLAHOMA (113511)
MILWAUKEE, WISCONSIN

Edge
Consulting Engineers, Inc.
821 Water Street
Plymouth, WI 53074
920.656.1400 ext 200
608.641.1565 fax
www.edge-cs.com

- NOTES:**
1. ALL MATERIALS SHALL BE MANUFACTURED BY THE MANUFACTURER'S NAME AND TYPE AS SHOWN ON THE DRAWINGS. ALL MATERIALS SHALL BE PROVIDED AS A CUSTOMER'S SPECIFICATION. THE MANUFACTURER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL CODES AND ALL APPLICABLE LOCAL ORDINANCES.
 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL CODES AND ALL APPLICABLE LOCAL ORDINANCES.
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 12. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL CODES AND ALL APPLICABLE LOCAL ORDINANCES.
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 17. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL CODES AND ALL APPLICABLE LOCAL ORDINANCES.
 18. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL CODES AND ALL APPLICABLE LOCAL ORDINANCES.
 19. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL CODES AND ALL APPLICABLE LOCAL ORDINANCES.
 20. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL CODES AND ALL APPLICABLE LOCAL ORDINANCES.



A EQUIPMENT BUILDING INTERIOR
 SCALE: 1/8" = 1'-0" (VERTICAL)
 1/8" = 1'-0" (HORIZONTAL)

NO.	REVISION	DATE
1	ISSUE FOR PERMIT	01/11/2017
2	ISSUE FOR CONSTRUCTION	01/11/2017
3	ISSUE FOR CONSTRUCTION	01/11/2017
4	ISSUE FOR CONSTRUCTION	01/11/2017
5	ISSUE FOR CONSTRUCTION	01/11/2017
6	ISSUE FOR CONSTRUCTION	01/11/2017
7	ISSUE FOR CONSTRUCTION	01/11/2017
8	ISSUE FOR CONSTRUCTION	01/11/2017
9	ISSUE FOR CONSTRUCTION	01/11/2017
10	ISSUE FOR CONSTRUCTION	01/11/2017

VERIZON EQUIPMENT SHELTER INTERIOR
56TH & OKLAHOMA (113511)
MILWAUKEE, WISCONSIN

DATE: 01/11/2017
 DRAWN BY: JMM
 CHECKED BY: JMM
 PROJECT #:
 SHEET #:
 SCALE: 1/8" = 1'-0"

Edge Consulting Engineers, Inc.
 625 West Street
 P.O. Box 140
 Oak Brook, IL 60451
 630.584.1500
 www.edgece.com

ANTENNA HEIGHT	CARRIER / OWNER	QTY.	MANUFACTURER & MODEL #	TECHNOLOGY / APURTENANCE TYPE	COAX DETAILS QTY (SIZE)
197'	MUNICIPAL	2	BMR-105-O-81	OMNI	(2) 1.5/8 (AVAT-50)
197'	MUNICIPAL	1	COMMANDER TECHNOLOGIES (RES) 220-7N	OMNI	(1) 7/8 (AVAS-50)
197'	MUNICIPAL	2	COMMANDER TECHNOLOGIES (RES) 220-3AN	OMNI	(2) 7/8 (AVAS-50)
197'	MUNICIPAL	2	AMPHENOL BCD-80010-EDIN-0	OMNI	(2) 1.5/8 (AVAT-50)
197'	MUNICIPAL	1	COMMANDER TECHNOLOGIES (RES) 455-7N	OMNI	(1) 7/8 (AVAS-50)
197'	MUNICIPAL	1	SOLECTER EXCEL - XL100-9049100	OMNI	(1) CAT5e (beiden 7918A)
197'	MUNICIPAL	1	MAXRAD MFB-9387	OMNI	(1) 7/8 (AVAS-50)
197'	MUNICIPAL	3	DB8812KE XT	OMNI	(3) 1.5/8"
141'-6"	T-MOBILE	9	TMBOX-6517-A2M	PANEL ANTENNA	(3) HYBRID
141'-6"	T-MOBILE	3	FX-B RRU5	RRU	-
141'-6"	T-MOBILE	3	FRIG RRU5	RRU	-
141'-6"	T-MOBILE	3	ETW190V512UB TMA5	TMA	-
141'-6"	T-MOBILE	3	ETW200V512UB TMA5	TMA	-
141'-6"	T-MOBILE	3	RAVCAP COVP #: RNSNDC-7771-PR-48PF / NOKIA MODEL: ASU93381TP01	COVP	-
115'	AT&T	6	SBLA44-1D6GC-DL	PANEL ANTENNA	BUNDLED DC CABLE 6 PAIRS
115'	AT&T	3	RRU - 11 (700MHZ)	PANEL ANTENNA	(6) 1.5/8"
115'	AT&T	3	SBNHH-1D65C	SURGE ARRESTOR	DC6 SQUID
115'	AT&T	3	RRU - 11 (700MHZ)	RRU	(1) RET CONTROL
115'	AT&T	6	RRU - 32 - 866 (AVS)	RRU	BUNDLED FIBER (18) PAIRS
103'	VERIZON	3	AMPHENOL WXG085X18F-400	PANEL ANTENNA	(12) 1.5/8"
103'	VERIZON	6	AMPHENOL HEXG85CW0000G	PANEL ANTENNA	(3) 1" HYBRID
103'	VERIZON	6	ERICSSON RRU512 BA	RRU	-
103'	VERIZON	6	ERICSSON RRU512 B12	RRU	-
103'	VERIZON	3	ANDREW CBC721-DF-21-DCB	DIPLEXER	-
88'	US CELLULAR	3	RAVCAP RC2DC-3315-PF-48	SURGE PROTECTOR	-
88'	US CELLULAR	3	ANTEL BXA-80063-8CF-5	PANEL ANTENNA	(6) 7/8"
88'	US CELLULAR	9	KATHREIN 80010766V01	PANEL ANTENNA	(2) 1.1/4" HYBRID
88'	US CELLULAR	6	ERICSSON RRU11	RRU	-
88'	US CELLULAR	6	DBC0056FV51-1	DIPLEXER	-
88'	US CELLULAR	2	RAVCAP RUSDC-6267-PF-48	SURGE PROTECTOR	-
70'	MUNICIPAL	4	MPRC3649	DISH	(4) EW63

PROPOSED TOWER LOADING TABLE

TOWER LOADING
56TH & OKLAHOMA (113511)
MILWAUKEE, WISCONSIN



604 Water Street
P.O. Box 505, Waukegan, IL 60087
847.931.1489 voice
847.931.1492 fax
www.edgecorp.com

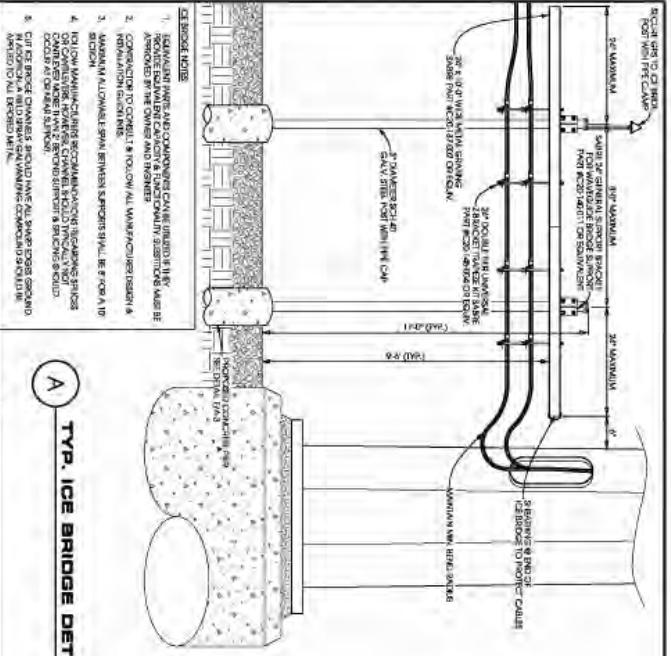
REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	07/20/07
2	ISSUED FOR PERMITS	07/20/07
3	ISSUED FOR PERMITS	07/20/07
4	ISSUED FOR PERMITS	07/20/07
5	ISSUED FOR PERMITS	07/20/07

PROJECT INFORMATION

PROJECT NO.	07/20/07
PROJECT NAME	07/20/07
PROJECT #	07/20/07
CLIENT	07/20/07
FILE NAME	07/20/07
DATE	07/20/07
SCALE	07/20/07
SHEET NUMBER	07/20/07

A-2



1. REBAR AND JOIST SPACING SHALL BE AS SHOWN IN THE ABOVE DRAWING. ALL REBAR SHALL BE EPOXY COATED AND SHALL BE CONFORMED TO CORRECT & FOLLOW ALL MANUFACTURER'S REBAR APPLICATIONS.
2. REBAR SHALL BE EPOXY COATED.
3. MAXIMUM ALLOWABLE SPAN BETWEEN SUPPORTS SHALL BE 10' FOR A 12" DECK AND 12' FOR A 14" DECK.
4. JOIST HANGING SHALL BE AS SHOWN IN THE ABOVE DRAWING. ALL JOIST HANGING SHALL BE EPOXY COATED AND SHALL BE CONFORMED TO CORRECT & FOLLOW ALL MANUFACTURER'S JOIST APPLICATIONS.
5. CUT OFF BRIDGE CHANNELS SHOULD HAVE ALL SWAMP LOGS, BRUSH, AND OTHER DEBRIS REMOVED FROM THE CHANNELS.

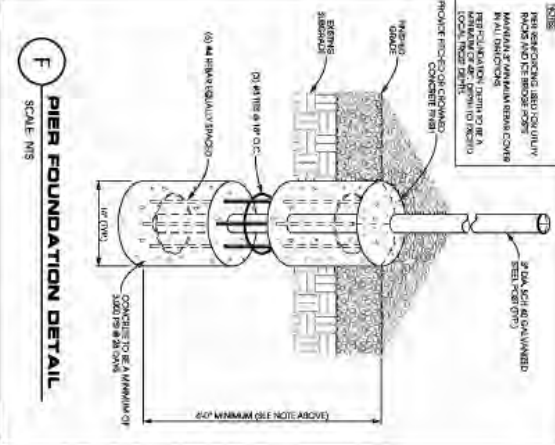
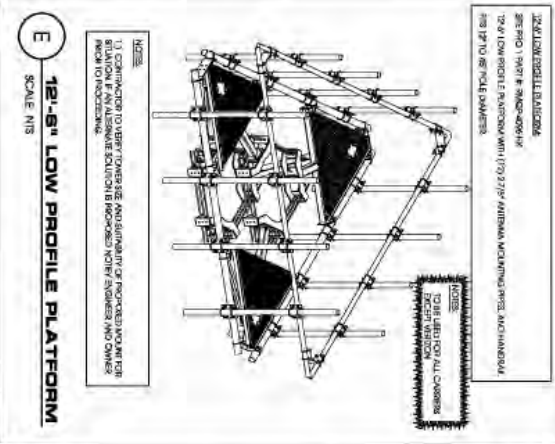
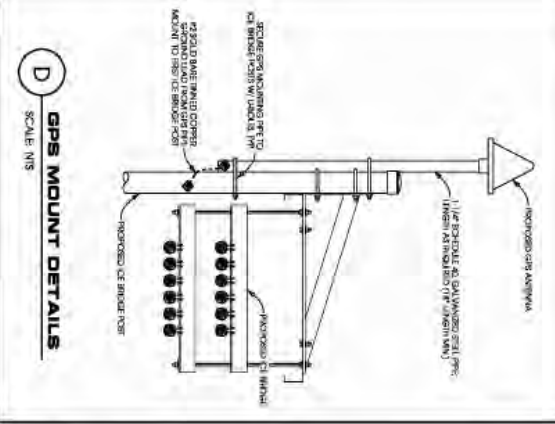
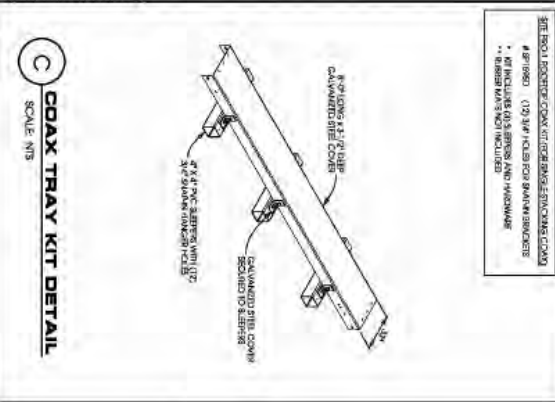
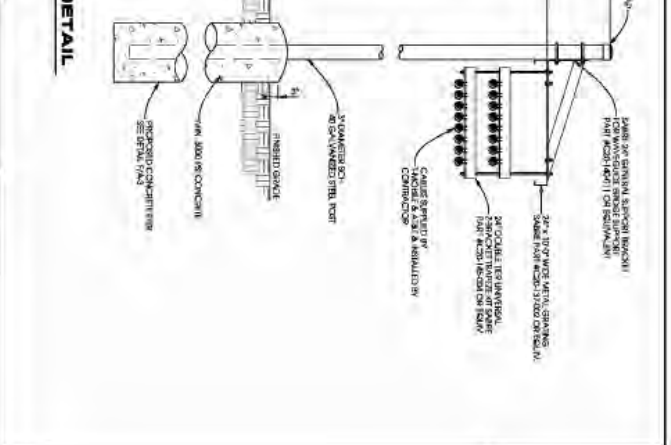
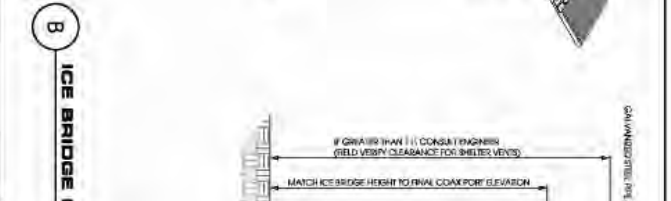


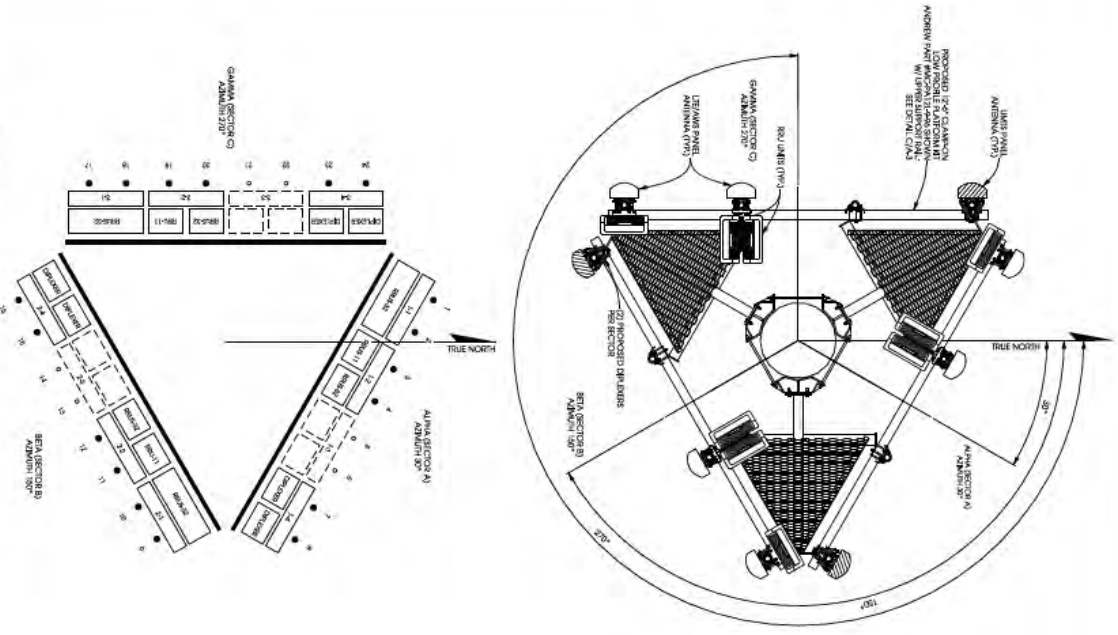
TABLE 1-3

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4	01/15/2011	JAN	JAN
5	01/15/2011	JAN	JAN
6	01/15/2011	JAN	JAN
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98	01/15/2011	JAN	JAN
99	01/15/2011	JAN	JAN
100	01/15/2011	JAN	JAN

ICE BRIDGE DETAILS
56TH & OKLAHOMA [113511]
MILWAUKEE, WISCONSIN

Edge
 Consulting Engineers, Inc.
 501 Water Street
 Milwaukee, WI 53202
 414.224.1100
 414.224.1101
 www.edgeconsult.com

A AT&T ANTENNA PLATFORM ASSIGNMENT
SCALE: NTS



B AT&T RFDS
SCALE: NTS

RF Channel	Frequency	Power	Antenna	Notes
1	192.000	100W	SEA SECTION A	...
2	192.050	100W	SEA SECTION A	...
3	192.100	100W	SEA SECTION A	...
4	192.150	100W	SEA SECTION A	...
5	192.200	100W	SEA SECTION A	...
6	192.250	100W	SEA SECTION A	...
7	192.300	100W	SEA SECTION A	...
8	192.350	100W	SEA SECTION A	...
9	192.400	100W	SEA SECTION A	...
10	192.450	100W	SEA SECTION A	...
11	192.500	100W	SEA SECTION A	...
12	192.550	100W	SEA SECTION A	...
13	192.600	100W	SEA SECTION A	...
14	192.650	100W	SEA SECTION A	...
15	192.700	100W	SEA SECTION A	...
16	192.750	100W	SEA SECTION A	...
17	192.800	100W	SEA SECTION A	...
18	192.850	100W	SEA SECTION A	...
19	192.900	100W	SEA SECTION A	...
20	192.950	100W	SEA SECTION A	...
21	193.000	100W	SEA SECTION A	...
22	193.050	100W	SEA SECTION A	...
23	193.100	100W	SEA SECTION A	...
24	193.150	100W	SEA SECTION A	...
25	193.200	100W	SEA SECTION A	...
26	193.250	100W	SEA SECTION A	...
27	193.300	100W	SEA SECTION A	...
28	193.350	100W	SEA SECTION A	...
29	193.400	100W	SEA SECTION A	...
30	193.450	100W	SEA SECTION A	...
31	193.500	100W	SEA SECTION A	...
32	193.550	100W	SEA SECTION A	...
33	193.600	100W	SEA SECTION A	...
34	193.650	100W	SEA SECTION A	...
35	193.700	100W	SEA SECTION A	...
36	193.750	100W	SEA SECTION A	...
37	193.800	100W	SEA SECTION A	...
38	193.850	100W	SEA SECTION A	...
39	193.900	100W	SEA SECTION A	...
40	193.950	100W	SEA SECTION A	...
41	194.000	100W	SEA SECTION A	...
42	194.050	100W	SEA SECTION A	...
43	194.100	100W	SEA SECTION A	...
44	194.150	100W	SEA SECTION A	...
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96	196.750	100W	SEA SECTION A	...
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100	196.950	100W	SEA SECTION A	...

AT&T ANTENNA PLATFORM ASSIGNMENT
56TH & OKLAHOMA [113511]
MILWAUKEE, WISCONSIN

Edge
Consulting Engineers, Inc.
624 Water Street
Pfeiffer du Sac, WI 53078
608.644.1449 voice
608.644.5899 fax
www.edgecons.com

DATE: 11/11/09
DRAWN: J. J. JENSEN
CHECKED: J. J. JENSEN
SCALE: NTS
PROJECT: AT&T ANTENNA PLATFORM ASSIGNMENT
SHEET: A-4

SECTION 100 - REINFORCED CONCRETE INFRASTRUCTURE - SECTION 1

ITEM NO.	DESCRIPTION	UNIT	QTY	UNIT PRICE	TOTAL PRICE
100-100-1	CONCRETE	CU YD			
100-100-2	REINFORCEMENT	TON			
100-100-3	FORMWORK	SQ YD			
100-100-4	PAINT	SQ YD			
100-100-5	LABOR	HOUR			
100-100-6	EQUIPMENT	HOUR			
100-100-7	TRANSPORTATION	MI			
100-100-8	PROTECTION	SQ YD			
100-100-9	TESTING	TEST			
100-100-10	PERMITS	PERMIT			
100-100-11	INSURANCE	PERCENT			
100-100-12	CONTINGENCY	PERCENT			
100-100-13	TOTAL				

SECTION 110 - RAIL INFRASTRUCTURE INFRASTRUCTURE - SECTION 2

ITEM NO.	DESCRIPTION	UNIT	QTY	UNIT PRICE	TOTAL PRICE
110-100-1	CONCRETE	CU YD			
110-100-2	REINFORCEMENT	TON			
110-100-3	FORMWORK	SQ YD			
110-100-4	PAINT	SQ YD			
110-100-5	LABOR	HOUR			
110-100-6	EQUIPMENT	HOUR			
110-100-7	TRANSPORTATION	MI			
110-100-8	PROTECTION	SQ YD			
110-100-9	TESTING	TEST			
110-100-10	PERMITS	PERMIT			
110-100-11	INSURANCE	PERCENT			
110-100-12	CONTINGENCY	PERCENT			
110-100-13	TOTAL				

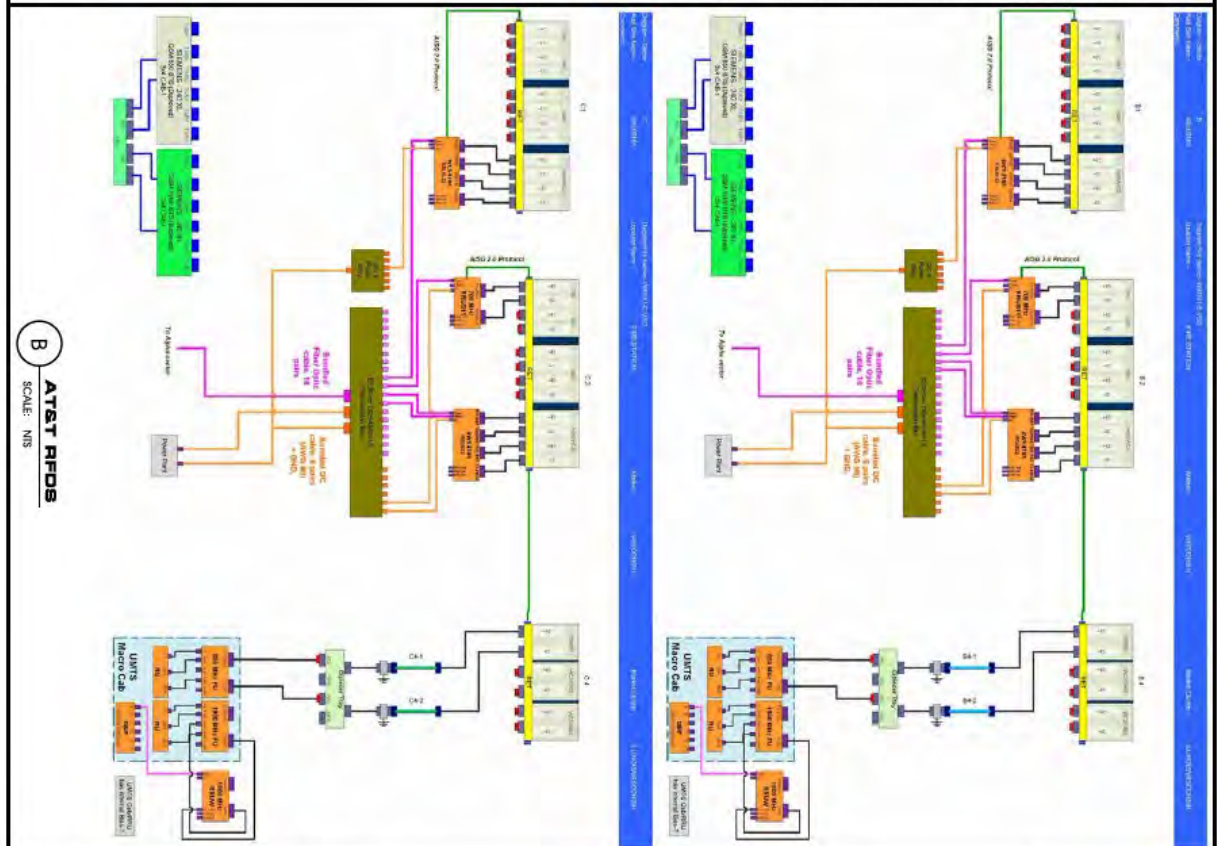
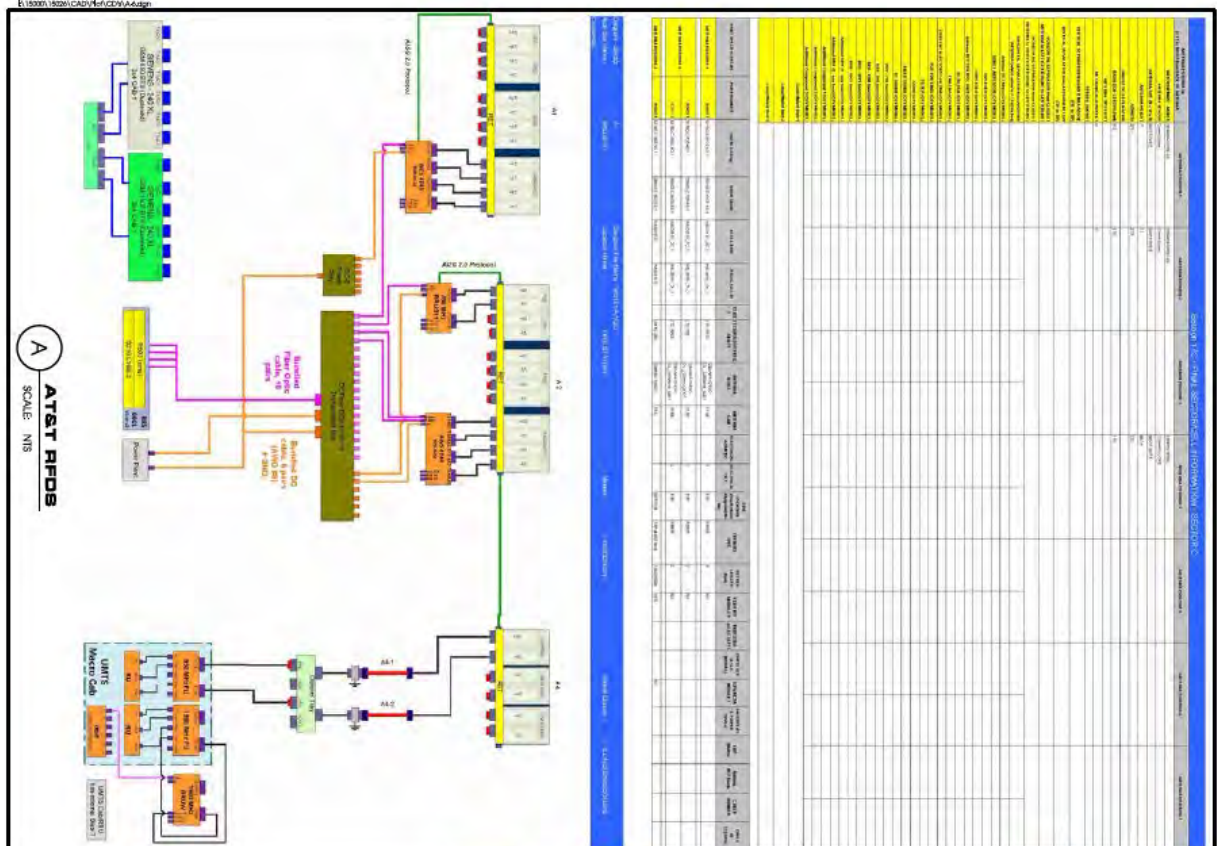
AT&T RFDS
SCALE: NIS

AT&T RFDS
SCALE: NIS

AT&T RFDS
56TH & OKLAHOMA [113511]
MILWAUKEE, WISCONSIN



Edge
Consulting Engineers, Inc.
624 Water Street
P.O. Box 100
60864-1469 Waukegan, IL
815.499.1549
www.edgecorp.com

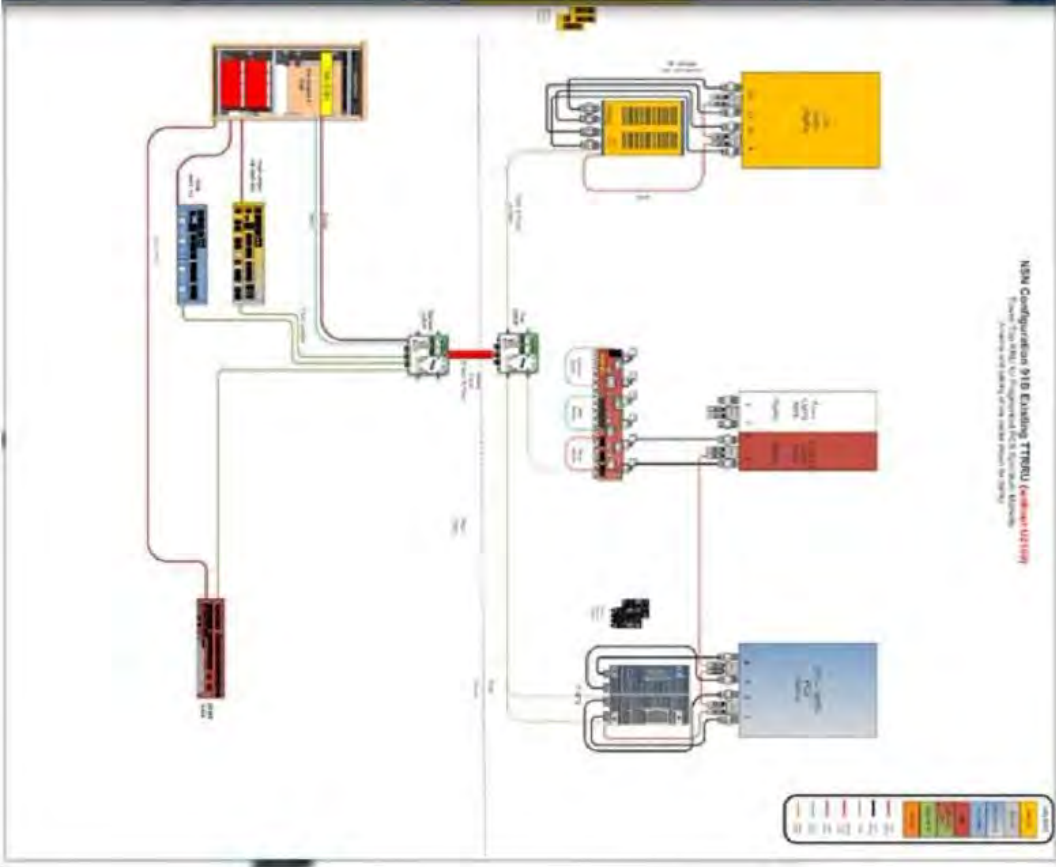
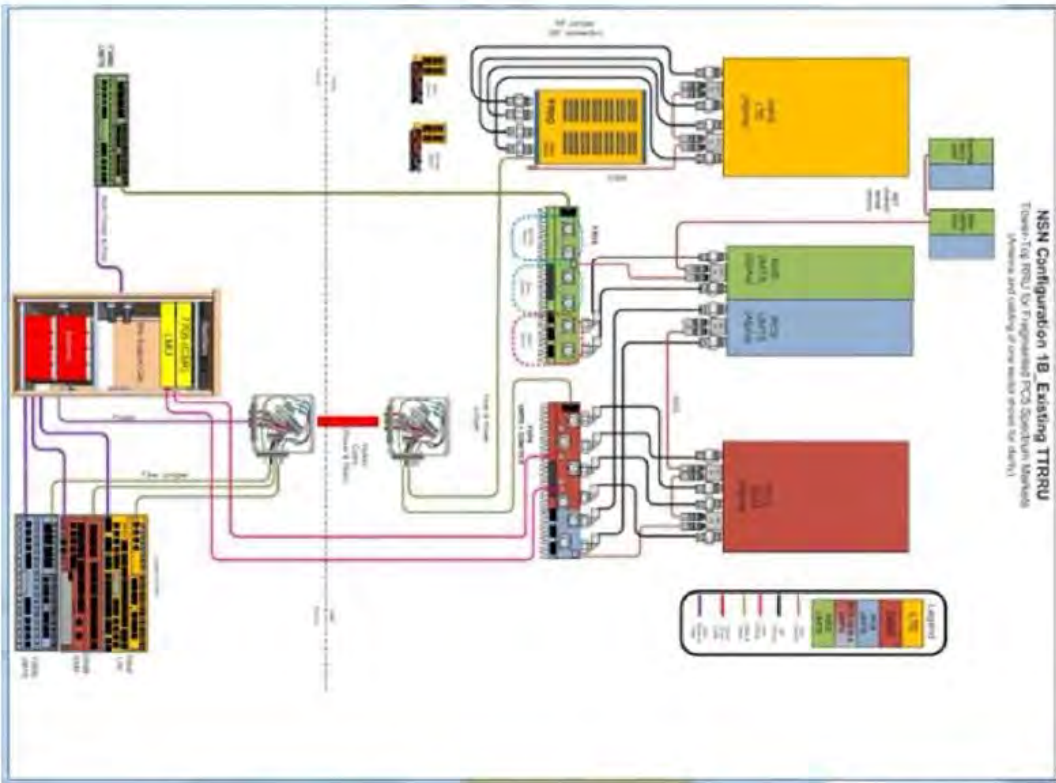


AT&T RFDS
SCALE: NIB

AT&T RFDS
SCALE: NIB

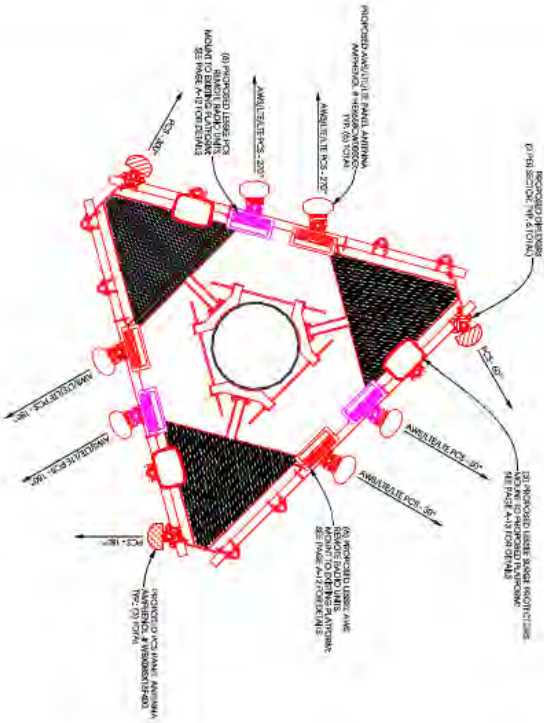
Edge
Consulting Engineers, Inc.

654 Wilson Street
P.O. Box 1449
60844-1449 Waukegan, IL
815.499.1549 Fax
www.edgeonline.com



<p>T-MOBILE RFDS 56TH & OKLAHOMA (113511) MILWAUKEE, WISCONSIN</p>		<p>Edge Consulting Engineers, Inc. 500 Wisconsin Street P.O. Box 1449 Milwaukee, WI 53208 414.224.1449 voice 414.224.1449 fax www.edgeconsul.com</p>
<p>A-8</p>		

ANTENNA LEGEND	
	RECORDED PCS ANTENNA
	RECORDED WIRELESS PCS ANTENNA
	RECORDED DEVICES
	NON-RECORDED WIRELESS PCS ANTENNA
	NON-RECORDED WIRELESS DEVICES
	RECORDED WIRELESS DEVICES
	RECORDED OBSERVATION
	RECORDED SURGE PROTECTION



NOTES:

1) ALL ANTENNA ELEMENTS DERIVED FROM THE NORTH.

2) SET POINT AS APPLICABLE FOR INSTALLATION REQUIREMENTS OF ANTENNAS AND EQUIPMENT.

3) CONNECTION TO REMOTE ANTENNAS AS NECESSARY TO WHICH RECORDED PERFORM OBSERVATION.

PROPOSED VERIZON ANTENNA ASSIGNMENT

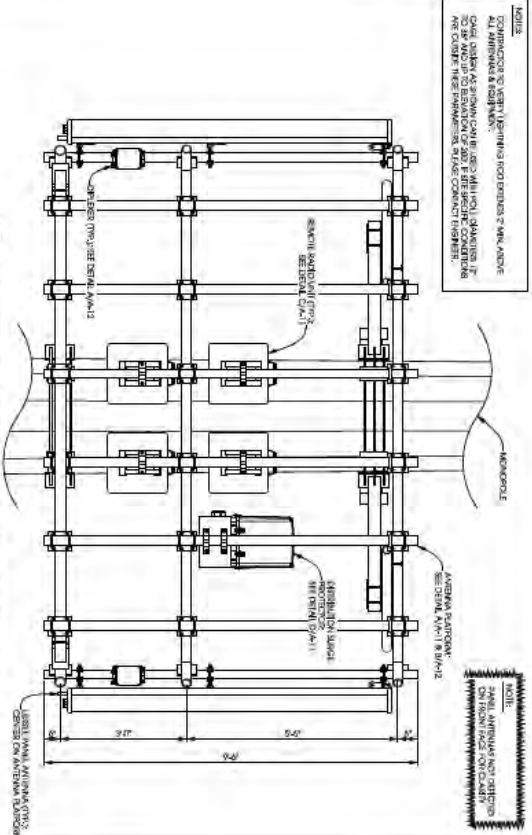
SCALE: 11" x 17" - 1/8" = 1'-0"

27" x 36" - 1/8" = 1'-0"

NOTES:

1) ALL ANTENNA ELEMENTS DERIVED FROM THE NORTH.

2) SET POINT AS APPLICABLE FOR INSTALLATION REQUIREMENTS OF ANTENNAS AND EQUIPMENT.



B ANTENNA & EQUIPMENT MOUNTING

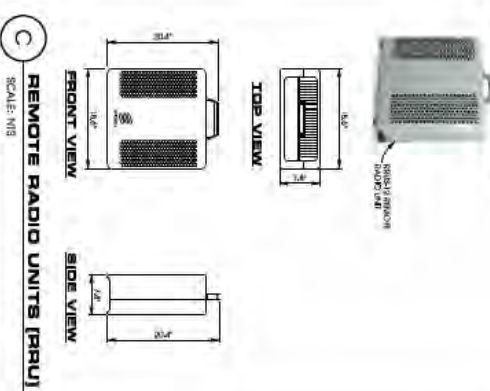
SCALE: NIS

REMOTE RADIO UNIT:

REVISION UNIT # BWH 12

OPERATING 200V & 12.7" (14.1V x 0)

WEIGHT 5.1/2 LBS



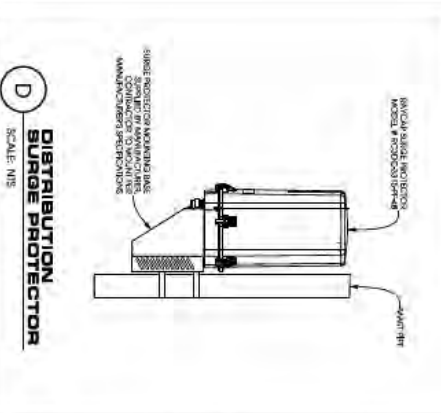
RECORDING SURGE PROTECTOR:

RECORDING SURGE PROTECTOR

12.7" (14.1V x 0)

OPERATING 200V & 12.7" (14.1V x 0)

WEIGHT 5.1/2 LBS



VERIZON ANTENNA PLATFORM ASSIGNMENT

56TH & OKLAHOMA [113511]

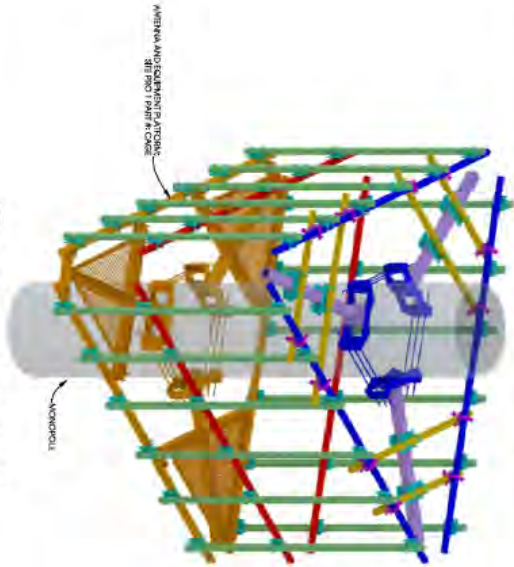
MILWAUKEE, WISCONSIN

Edge Consulting Engineers, Inc.
 624 Water Street
 P.O. Box 1111
 Milwaukee, WI 53233
 414.224.1449 voice
 414.224.1449 fax
 www.edgecorp.com

DATE: 11/11/11	SCALE: NIS
PROJECT: VERIZON ANTENNA PLATFORM ASSIGNMENT	CLIENT: VERIZON
DESIGNER: [Name]	CHECKED BY: [Name]
DRAWN BY: [Name]	DATE: 11/11/11
PROJECT NO: [Number]	SHEET NO: [Number]
TOTAL SHEETS: [Total]	THIS SHEET OF: [Total]



A **DIPLEXERS**
SCALE: NIS



B **ANTENNA PLATFORM**
SCALE: NIS

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REVISIONS	DATE	BY	DESCRIPTION
1	11/18/2014	JAM	ISSUE FOR CONSTRUCTION
2	11/18/2014	JAM	ISSUE FOR CONSTRUCTION
3	11/18/2014	JAM	ISSUE FOR CONSTRUCTION
4	11/18/2014	JAM	ISSUE FOR CONSTRUCTION
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99	11/18/2014	JAM	ISSUE FOR CONSTRUCTION
100	11/18/2014	JAM	ISSUE FOR CONSTRUCTION

VERIZON DETAILS
56TH & OKLAHOMA [113511]
MILWAUKEE, WISCONSIN

Edge
Consulting Engineers, Inc.
404 Water Street
Plymouth, WI 53076
408.644.1489 voice
408.644.1489 fax
www.edgecoral.com

A-12

EQUIPMENT CHANGE REQUEST FORM - ECR

Item No.	Part No. & Name	Qty	Unit	Location	Remarks
Alpha					
41	...	1	...	...	...
42	...	1	...	...	...
Beta					
43	...	1	...	...	...
44	...	1	...	...	...
Gamma					
45	...	1	...	...	...
46	...	1	...	...	...

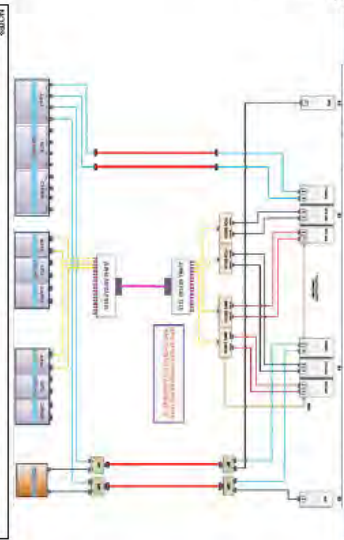
NOTES:
 1) DESIGN AND SIGNAL ON THIS PAGE PROVIDED BY VERIZON AND ARE INCLUDED FOR COMMUNICATIONS. FINAL DESIGN TO BE VERIFIED WITH VERIZON. IF SIGNIFICANT CHANGES OR DISCREPANCIES ARE DETECTED, CONTACT ENGINEER PRIOR TO INSTALLATION.

EXISTING ANTENNA CONFIGURATION

Code	Diagrams	Quantity	Unit	Location	Remarks
...

COMBINER CABLE DATA INFORMATION

PROPOSED ANTENNA CONFIGURATION



NOTES:
 1) DESIGN AND SIGNAL ON THIS PAGE PROVIDED BY VERIZON AND ARE INCLUDED FOR COMMUNICATIONS. FINAL DESIGN TO BE VERIFIED WITH VERIZON. IF SIGNIFICANT CHANGES OR DISCREPANCIES ARE DETECTED, CONTACT ENGINEER PRIOR TO INSTALLATION.

CONTRACTOR TO VERIFY ALL INFORMATION RECEIVED FROM VERIZON IS CORRECT AND COMPLETE. CONTRACTOR TO BE RESPONSIBLE FOR ANY ERRORS.

Item No.	Part No. & Name	Qty	Unit	Location	Remarks
Alpha					
41	...	1
42	...	1
Beta					
43	...	1
44	...	1
Gamma					
45	...	1
46	...	1

A-13

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VERIZON
ANTENNA CONFIGURATION
56TH & OKLAHOMA [113511]
MILWAUKEE, WISCONSIN

Edge
 Consulting Engineers, Inc.
 434 Water Street
 Proffs du Soc. WI 53076
 408.644.4499 voice
 408.644.1549 fax
 www.edgeconne.com

INFRASTRUCTURE ANTENNAS

Parabolic Reflector



4.9-6.0GHz Wideband Parabolic Reflector Antenna Series with Radome

The MPRC prime focus parabolic reflector antenna series suppresses extraneous sidelobe and cross-polarized energy. These antennas feature a micro fine elevation and azimuth adjustment kit. The MPRC series is provided with a radome as a standard feature.

Features

- Availability in two and three foot diameter sizes
- Radome comes standard and installed
- Rear mounted feed - radome never has to be removed
- Linear, continuous polarization adjustment
- Fine adjustment mechanism for elevation and azimuth
- Assembled and attached offset mount allows easy access to connector
- Double saddle mounting brackets will accommodate pipe attachments ranging from 1.625" to 4.5" OD
- Robust mounting structure. Three point mount attachment improves stability and prevents reflector distortion and mechanical oscillation
- 2 foot versions are UPS shippable

RF/Electrical Specifications

Model	Frequency Range	Nominal Gain (+/- 0.5 dB at mid band)	Beamwidth Nominal
MPRC249	4.9 - 6.0 GHz	27.7 dBi at 4.9 GHz 28.5 dBi at 5.25 GHz 29.0 dBi at 5.8 GHz	3 db
MPRC349	4.9 - 6.0 GHz	30.4 dBi at 4.9 GHz 31.2 dBi at 5.25 GHz 32.0 dBi at 5.8 GHz	4

Mechanical Specifications

Model	Wind Survival with 1/2" or radial ice	Temperature Range	Diameter
MPRC249	125 mph	-40° C to +80° C	26" (66 cm)
MPRC349	125 mph	-40° C to +80° C	36" (91 cm)



Technical Data

General Specifications:	Prime Focus Parabolic Reflector antenna
Maximum Power:	5 WATTS
Nominal Impedance:	50 Ohms
SWR/return loss:	< 1.5 / +13.9 dB
Reorientation:	Linear, continuously adjustable
Front-to-back Ratio:	26 dB (MPRC249) 25 dB (MPRC349)
Interface Connector:	1 Type N female
Mount Interface:	25mm x 25mm (1.02" to 4.5" pipe dia)

158 PCTEL, INC. WEB: WWW.ANTENNAS.COM



MUNICIPAL DISH DETAIL
SCALE: NTS

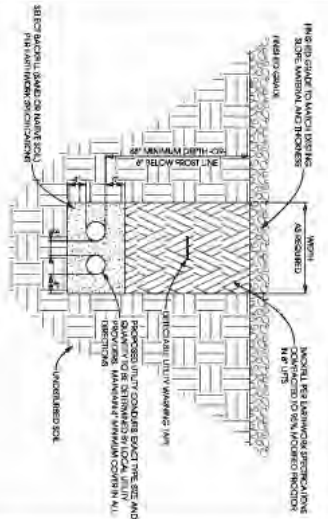
Edge
Consulting Engineers, Inc.
624 Water Street
Fond Du Lac, WI 54618
408.644.1449 voice
408.644.1549 fax
www.edgeconline.com

MUNICIPAL DETAILS
56TH & OKLAHOMA (113511)
MILWAUKEE, WISCONSIN

DESIGNED BY:	DATE:
DRAWN BY:	DATE:
CHECKED BY:	DATE:
IN CHARGE:	DATE:
PROJECT NAME:	DATE:
CLIENT:	DATE:
PROJECT NO.:	DATE:
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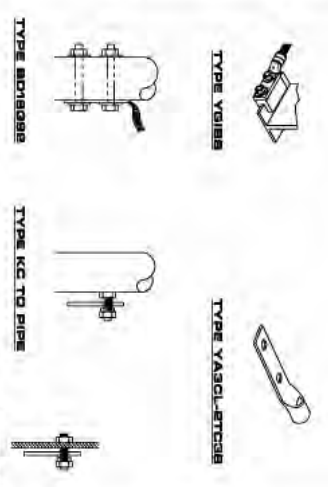
A-14

SCALE: AS SHOWN
 CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 70B. ALL MATERIALS SHALL BE APPROVED BY THE LOCAL UTILITY REGULATORY COMMISSIONS.



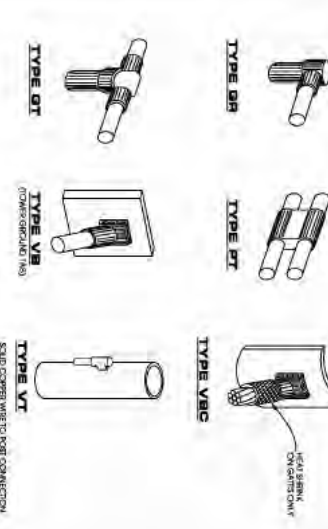
A UTILITY TRENCH DETAIL
 SCALE: NIS

SCALE: AS SHOWN
 CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 70B. ALL MATERIALS SHALL BE APPROVED BY THE LOCAL UTILITY REGULATORY COMMISSIONS.

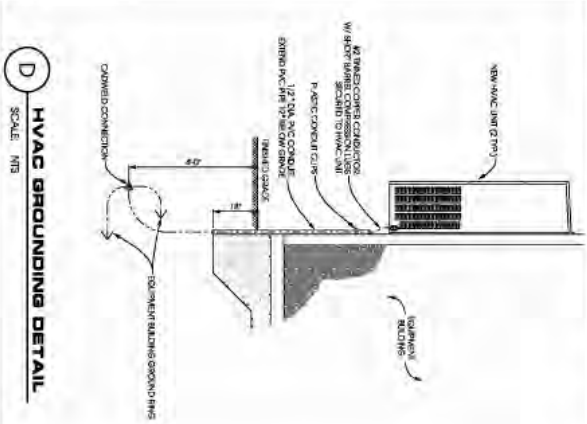


B BURNDY DETAILS
 SCALE: NIS

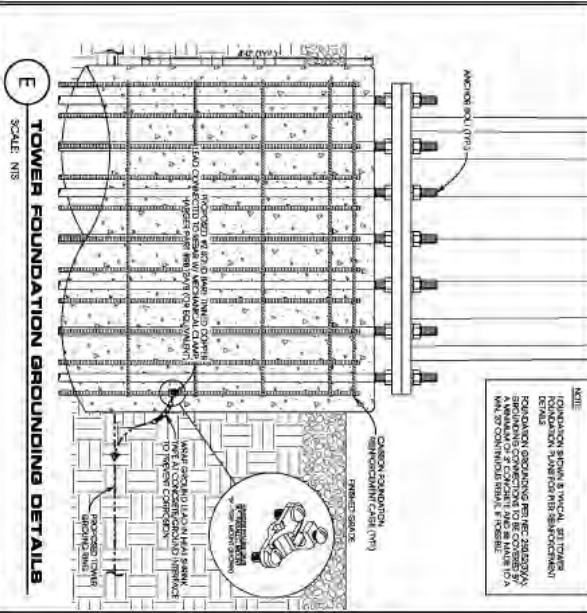
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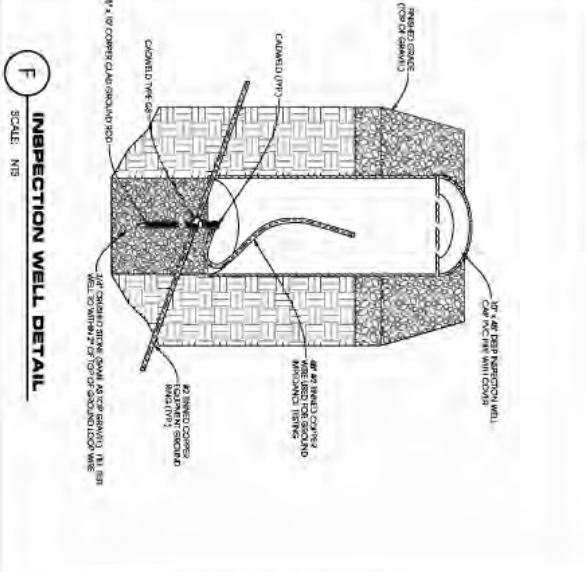
C CADWELD DETAILS
 SCALE: NIS



D HVAC GROUNDING DETAIL
 SCALE: NIS



E TOWER FOUNDATION GROUNDING DETAILS
 SCALE: NIS



F INSPECTION WELL DETAIL
 SCALE: NIS

GROUNDING DETAILS

56TH & OKLAHOMA [113511]

MILWAUKEE, WISCONSIN

Edge
 Consulting Engineers, Inc.
 804 Water Street
 Foshay Building, 5th Floor
 Milwaukee, WI 53202
 Tel: 414.224.1200
 Fax: 414.224.1201
 www.edgeconsult.com

PROJECT: _____

NO.	REVISION/DATE	BY
1	REVISED 01/20/06	JMT
2	REVISED 02/17/07	JMT
3	REVISED 05/01/07	JMT
4	REVISED 05/01/07	JMT
5	REVISED 05/01/07	JMT
6	REVISED 05/01/07	JMT
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27	REVISED 05/01/07	JMT
28	REVISED 05/01/07	JMT
29	REVISED 05/01/07	JMT
30	REVISED 05/01/07	JMT
31	REVISED 05/01/07	JMT
32	REVISED 05/01/07	JMT
33	REVISED 05/01/07	JMT
34	REVISED 05/01/07	JMT
35	REVISED 05/01/07	JMT
36	REVISED 05/01/07	JMT
37	REVISED 05/01/07	JMT
38	REVISED 05/01/07	JMT
39	REVISED 05/01/07	JMT
40	REVISED 05/01/07	JMT
41	REVISED 05/01/07	JMT
42	REVISED 05/01/07	JMT
43	REVISED 05/01/07	JMT
44	REVISED 05/01/07	JMT
45	REVISED 05/01/07	JMT
46	REVISED 05/01/07	JMT
47	REVISED 05/01/07	JMT
48	REVISED 05/01/07	JMT
49	REVISED 05/01/07	JMT
50	REVISED 05/01/07	JMT

DATE: 05/01/07
 DRAWN BY: JMT
 CHECKED BY: JMT
 PROJECT: 113511
 SHEET: 113511-11
 TOTAL SHEETS: 11

EXHIBIT D

BILL OF SALE

This Bill of Sale is made on the _____ day of _____, 20____, by Verizon Wireless Personal Communications LP, d/b/a Verizon Wireless (“Verizon Wireless”), whose principal place of business is 180 Washington Valley Road, Bedminster, New Jersey 07921 to the City of Milwaukee, a Wisconsin municipal corporation, with its principal mailing address 200 E. Wells Street, Milwaukee, Wisconsin 53202 (“Transferee”).

WITNESSETH

WHEREAS, Verizon Wireless wishes to convey to Transferee a certain tower and other equipment specified on Exhibit __ attached hereto (collectively, the “Tower”) located at _____; and

NOW, THEREFORE, in exchange for good and valuable consideration, the receipt of which is hereby acknowledged, Verizon Wireless hereby sells, transfers, sets over and assigns to Transferee ownership of the Tower, free and clear of all liens and encumbrances.

VERIZON WIRELESS MAKES NO REPRESENTATION OR WARRANTY, EITHER EXPRESS OR IMPLIED, AS TO THE TOWER OTHER THAN EXPRESSLY SET FORTH HEREIN.

All terms and provisions set forth herein shall inure to the benefit of and shall bind Verizon Wireless and Transferee and their respective successors and assigns.

IN WITNESS WHEREOF, Verizon Wireless has caused this Bill of Sale to be signed by its proper official as of the day and year first above written.

VERIZON WIRELESS PERSONAL COMMUNICATIONS LP,
D/B/A VERIZON WIRELESS

By: _____
Name: _____
Title: _____

Exhibit E

Amended and Restated Memorandum of Agreement

Document Number

**AMENDED AND RESTATED
MEMORANDUM OF AGREEMENT**

Recording Area

Name and Return Address:
Erika S. Baurecht, Esq.
Husch Blackwell LLP
555 E. Wells Street, #1900
Milwaukee, Wisconsin 53202

Parcel Identification Number (PIN)

513-9951-200-3

This is a lease that is less than 99 years; therefore, it is not a conveyance as defined by Wis. Stat. § 77.21(1), and is exempt from transfer return and fee imposed under Wis. Stat. § 77.22(1).

AMENDED AND RESTATED MEMORANDUM OF AGREEMENT

THIS AMENDED AND RESTATED MEMORANDUM OF AGREEMENT (“**Memorandum**”) is made as of this ___ day of _____, 2017, by and between **CITY OF MILWAUKEE**, a Wisconsin municipal corporation (“**Lessor**”), and **VERIZON WIRELESS PERSONAL COMMUNICATIONS LP**, a Delaware limited partnership d/b/a Verizon Wireless (“**Lessee**”).

WITNESSETH:

WHEREAS, Lessor and Lessee have entered into that certain Lease Agreement dated July 18, 2001, as amended by that certain First Amendment To Lease Agreement dated February 8, 2013, and further amended by that certain Second Amendment to Lease Agreement dated _____, 2017 (collectively the “**Lease**”), wherein and whereby Lessor demised and leased to Lessee, for a term as set forth in the Lease, that certain real property located in the City of Milwaukee, Milwaukee County, State of Wisconsin, more specifically described in **Exhibit A** attached hereto and incorporated herein by reference (“**Verizon Lease Parcel**”); and

WHEREAS, Lessor and Lessee previously caused to be recorded that certain Memorandum of Agreement, recorded November 26, 2002 in Reel 5464, Image 1206, as Document No. 8395459 in the office of the Register of Deeds for Milwaukee County, Wisconsin (the “**Original Memorandum**”); and

WHEREAS, Lessor and Lessee wish hereby to amend and restate in its entirety the Original Memorandum with this Memorandum.

NOW, THEREFORE, in consideration of the mutual covenants and promises contained in the Lease, Lessor and Lessee hereby acknowledge and agree as follows:

1. **Term.** The Initial Term of the Lease for a period of five (5) years commenced on February 18, 2002. The Initial Term of the Lease is subject to four (4) additional renewal periods of five (5) years each, with the last renewal term concluding on February 17, 2027.

2. **Replacement & Termination of Original Memorandum.** This Memorandum replaces the Original Memorandum. The Original Memorandum is terminated by virtue of this Memorandum.

3. **Lease Controlling.** This Memorandum is only a summary of certain of the terms and conditions contained in the Lease and is not intended in any way to amend, alter, modify, abrogate, substitute or otherwise affect any of the terms or conditions contained in the Lease, all of which are hereby incorporated herein by this reference. It is hereby understood and agreed that, notwithstanding this Memorandum, the terms and conditions contained in the Lease shall, in all events, control the relationship between Lessor and Lessee with respect to the subject matter contained therein.

4. Purpose; No Modification. This Memorandum is solely for recording purposes and shall not be construed to alter, modify or supplement the Lease of which this is a Memorandum.

5. Not a Conveyance. The Lease is a lease of less than ninety-nine (99) years and not a conveyance.

6. Counterparts. This instrument may be executed in multiple counterparts, each of which shall be deemed to be an original, but which, when taken together, shall constitute one and the same instrument.

[SIGNATURES APPEAR ON FOLLOWING PAGE]

IN WITNESS WHEREOF, LESSOR and LESSEE have signed and sealed this Memorandum as of the date and year first above written.

LESSEE:

VERIZON WIRELESS PERSONAL COMMUNICATIONS LP, a Delaware limited partnership d/b/a Verizon Wireless

By: _____
Name: _____
Title: _____

STATE OF ILLINOIS)
) SS
COUNTY OF COOK)

Personally came before me on _____, 2015, the above-named _____, to me known by the person(s) who executed the foregoing instrument and acknowledged to me that they executed the same in their authorized capacity, and that by his/her signature on the instrument the persons, or the entity upon behalf of which the persons acted, executed the instrument.

Witness my hand and official seal.

Notary Public, State of _____

My commission (is permanent)
(expires) _____

[Signatures and Acknowledgements of Lessor Appear on Following Page]

LESSOR:

CITY OF MILWAUKEE

By: _____
Tom Barrett, Mayor

By: _____
James Owczarski, City Clerk

COUNTERSIGNED

By: _____
Martin Matson, City Comptroller

Signatures of Tom Barrett, James Owczarski and Marton Matson, authenticated this ____ day of _____, 2017.

Jeremy R. McKenzie, Assistant City Attorney
State Bar No. 1051310

Approved as to form and execution
This ____ day of _____ 2017

Assistant City Attorney

[City of Milwaukee Notary Blocks to be inserted prior to execution and recordation]

THIS INSTRUMENT DRAFTED BY:
Erika S. Baurecht, Esq.
Husch Blackwell LLP
555 E. Wells Street, Suite 1900
Milwaukee, WI 53202
Phone: 414-978-5480

EXHIBIT A

VERIZON LEASE PARCEL

VERIZON EQUIPMENT LEASE PARCEL

A part of the West Half (W1/2) of the Southwest Quarter (SW1/4) of Section Eleven (11), Township Six (6) North, Range Twenty-One (21) East, City of Milwaukee, Milwaukee County, Wisconsin containing 336 square feet (0.008 acres) of land and being described by: Commencing at the Southwest Corner of said Section 11; thence N88°-33'-45"E 968.46 feet along the south line of the SW1/4 of said Section 11; thence N01°-26'-15"W 60.00 feet to a point at the intersection of the north line of W. Oklahoma Avenue and the west line of S. 56th Street; thence N00°-27'-13"W 171.51 feet along said west line of S. 56th St., thence S88°-31'-18"W 94.23 feet; thence S01°-28'-42"E 15.06 feet to the point of beginning; thence S01°-11'-54"E 16.00 feet; thence S88°-48'-06"W 21.00 feet; thence N01°-11'-54"W 16.00 feet; thence N88°-48'-06"E 21.00 feet to the point of beginning, being subject to any and all easements and restrictions of record.

VERIZON GENERATOR LEASE PARCEL

A part of the West Half (W1/2) of the Southwest Quarter (SW1/4) of Section Eleven (11), Township Six (6) North, Range Twenty-One (21) East, City of Milwaukee, Milwaukee County, Wisconsin containing 50 square feet (0.001 acres) of land and being described by: Commencing at the Southwest Corner of said Section 11; thence N88°-33'-45"E 968.46 feet along the south line of the SW1/4 of said Section 11; thence N01°-26'-15"W 60.00 feet to a point at the intersection of the north line of W. Oklahoma Avenue and the west line of S. 56th Street; thence N00°-27'-13"W 133.42 feet along said west line of S. 56th St.; thence S89°-32'-47"W 73.96 feet to the point of beginning; thence S00°-51'-11"E 10.00 feet; thence S89°-08'-49"W 5.00 feet; thence N00°-51'-11"W 10.00 feet; thence N89°-08'-49"E 5.00 feet to the point of beginning, being subject to any and all easements and restrictions of record.

20' WIDE INGRESS/EGRESS EASEMENT

A part of the West Half (W1/2) of the Southwest Quarter (SW1/4) of Section Eleven (11), Township Six (6) North, Range Twenty-One (21) East, City of Milwaukee, Milwaukee County, Wisconsin containing 2,843 square feet (0.065 acres) of land and being Ten (10) feet each side of and parallel to the following described line:

Commencing at the Southwest Corner of said Section 11; thence N88°-33'-45"E 968.46 feet along the south line of the SW1/4 of said Section 11; thence N01°-26'-15"W 60.00 feet to a point at the intersection of the north line of W. Oklahoma Avenue and the west line of S. 56th Street; thence S88°-33'-45"W 115.50 feet along the north line of said W. Oklahoma Avenue to the point of beginning; thence N01°-26'-15"W 109.20 feet to a point herein after referred to as Point "A"; thence S88°-43'-31"W 21.00 feet to the point of termination. Also beginning at said Point "A"; thence N88°-43'-31"E 11.97 feet to the point of termination. The side lot lines of said easement are to be shortened or lengthened to terminate on said north line of W. Oklahoma Avenue.

UTILITY EASEMENT "A"

A part of the West Half (W1/2) of the Southwest Quarter (SW1/4) of Section Eleven (11), Township Six (6) North, Range Twenty-One (21) East, City of Milwaukee, Milwaukee County, Wisconsin containing 2,551 square feet (0.058 acres) of land and being described by: Commencing at the Southwest Corner of said Section 11; thence N88°-33'-45"E 968.46 feet along the south line of the SW1/4 of said Section 11; thence N01°-26'-15"W 60.00 feet to a point at the intersection of the north line of W. Oklahoma Avenue and the west line of S. 56th Street; thence N00°-27'-13"W 156.17 feet along said west line of S. 56th St., thence S89°-32'-47"W 50.05 feet; thence S88°-43'-31"W 26.48 feet to the point of beginning; thence continue S88°-43'-31"W 62.52 feet; thence S01°-16'-29"E 157.26 feet to a point on the North line of W. Oklahoma Avenue; thence S88°-33'-45"W 13.59 feet along said North line; thence N00°-27'-13"W 165.32 feet; thence N88°-43'-31"E 73.74 feet; thence S01°-16'-29"E 8.00 feet to the point of beginning, being subject to any and all easements and restrictions of record.

8 FOOT WIDE UTILITY EASEMENT "B"

A part of the West Half (W1/2) of the Southwest Quarter (SW1/4) of Section Eleven (11), Township Six (6) North, Range Twenty-One (21) East, City of Milwaukee, Milwaukee County, Wisconsin containing 468 square feet of land and being Four (4) feet each side of and parallel to the following described line:

Commencing at the Southwest Corner of said Section 11; thence N88°-33'-45"E 968.46 feet along the south line of the SW1/4 of said Section 11; thence N01°-26'-15"W 60.00 feet to a point at the intersection of the north line of W. Oklahoma Avenue and the west line of S. 56th Street; thence N00°-27'-13"W 156.17 feet along said west line of S. 56th St., thence S89°-32'-47"W 50.05 feet; thence S01°-16'-29"E 3.90 feet to the point of beginning; thence S88°-42'-56"E 33.13 feet; thence S42°-12'-55"E 25.35 feet to a point on the West line of S. 56th Street and the point of termination. The side lot lines of said easement shall be shortened or lengthened to terminate on the West line of S. 56th Street and the East line of the afore described Lessors Communication Compound.

VERIZON 2' WIDE CONDUIT EASEMENT

A part of the West Half (W1/2) of the Southwest Quarter (SW1/4) of Section Eleven (11), Township Six (6) North, Range Twenty-One (21) East, City of Milwaukee, Milwaukee County, Wisconsin containing 80 square feet (0.002 acres) of land and being One (1) foot each side of and parallel to the following described line:

Commencing at the Southwest Corner of said Section 11; thence N88°-33'-45"E 968.46 feet along the south line of the SW1/4 of said Section 11; thence N01°-26'-15"W 60.00 feet to a point at the intersection of the north line of W. Oklahoma Avenue and the west line of S. 56th Street; thence N00°-27'-13"W 171.51 feet along said west line of S. 56th St., thence S88°-31'-18"W 94.23 feet; thence S01°-28'-42"E 15.06 feet; thence S01°-11'-54"E 5.50 feet to the point of beginning; thence N88°-48'-06"E 13.80 feet; thence S00°-51'-11"E 26.17 feet to the point of termination.

VERIZON 2' WIDE CABLE EASEMENT

A part of the West Half (W1/2) of the Southwest Quarter (SW1/4) of Section Eleven (11), Township Six (6) North, Range Twenty-One (21) East, City of Milwaukee, Milwaukee County, Wisconsin containing 45 square feet (0.001 acres) of land and being One (1) foot each side of and parallel to the following described line:

Commencing at the Southwest Corner of said Section 11; thence N88°-33'-45"E 968.46 feet along the south line of the SW1/4 of said Section 11; thence N01°-26'-15"W 60.00 feet to a point at the intersection of the north line of W. Oklahoma Avenue and the west line of S. 56th Street; thence N00°-27'-13"W 171.51 feet along said west line of S. 56th St., thence S88°-31'-18"W 94.23 feet; thence S01°-28'-42"E 15.06 feet; thence S01°-11'-54"E 16.00 feet; thence S88°-48'-06"W 21.00 feet; thence N01°-11'-54"W 5.97 feet to the point of beginning; thence S88°-48'-06"W 1.60 feet; thence S01°-01'-56"E 8.22 feet; thence S55°-59'-39"W 12.47 feet to the point of termination.

Sample Not For Execution

THIRD AMENDMENT TO LEASE AGREEMENT

This Third Amendment to Tower Lease Agreement (“Third Amendment”) is made as of _____, 2020, by and between the City of Milwaukee, a Wisconsin municipal corporation, with its principal mailing address 200 E. Wells Street, Milwaukee, Wisconsin 53202 (hereinafter referred to as “Lessor”), and Cellco Partnership, d/b/a Verizon Wireless, with its principal office located at One Verizon Way, Mailstop 4AW100, Basking Ridge, New Jersey 07920 (hereinafter referred to as “Lessee”). Lessor and Lessee are at times collectively referred to hereinafter as the “Parties”.

WHEREAS, the Parties, and or their predecessors in interest, previously entered into that certain Lease Agreement dated July 18, 2001, as amended by that certain First Amendment To Lease Agreement dated February 8, 2013, and that certain Second Amendment to Lease Agreement dated August 13, 20018, (collectively, the “Lease”) that provides for the operation of communications equipment on Landlord’s tower (“Existing Tower”), and other equipment on portion of the real property owned by Lessor and occupied by the Milwaukee Fire Department (the “MFD”), located in the City of Milwaukee as described in Exhibit A to the Lease (“Property”), together with certain non-exclusive easement rights of access for utility lines and cables and vehicular ingress and egress across and over the Property (collectively the “Leased Space”); and

WHEREAS, Lessee wishes to reconfigure its equipment installation in and on the Leased Space; and

WHEREAS, the Parties wish to amend the Lease in order to address the above item and to reach new agreements with respect to the same;

NOW, THEREFORE, in consideration of the promises hereinafter made and other good and valuable consideration, the receipt of which is hereby acknowledged, the Parties agree to the following:

1. Revised Equipment Installation Exhibit C to the Lease is hereby supplemented with the attached Exhibit C-1, which reflects the modified equipment that Lessee shall be permitted to install, operate, replace and maintain on the Existing Tower. As part of the revised equipment installation, Lessor agrees that Lessee shall be able to install and use the Existing Tower as depicted in Exhibit C-1. Upon completion of the proposed equipment modification, Lessee shall have a total of twelve (12) antennas and ancillary equipment as depicted on Exhibit C-1. It is understood that Lessee has submitted the proposal for the equipment modification and detailed plans to Lessor and Lessor has approved said items. Provided that Lessee has received all necessary permits and approvals from appropriate governing bodies, Lessee may immediately commence installation of the equipment as depicted on Exhibit C -1.

2. Except as amended herein, all terms, conditions, provisions, covenants, and agreements contained in the Lease are hereby ratified and confirmed in their entirety. In the event of any inconsistencies between the Lease and this Third Amendment, the terms of this Third

Amendment shall take precedence. The terms used herein and not otherwise defined shall have the same meaning as set forth in the Lease.

3. All capitalized terms used but not defined in this Third Amendment shall have the meaning, if any, set forth elsewhere in the Lease.

4. The Lease may be further amended or modified only by a written agreement signed by both Parties.

5. This Third Amendment shall bind and inure to the benefit of the successors and assigns of the Parties hereto, except to the extent any assignment or other transfer may be prohibited, limited or conditioned pursuant to any other term or condition contained in the Lease.

6. This Third Amendment may be executed in one or more counterparts, all of which counterparts taken together shall constitute one and the same agreement.

[SIGNATURES APPEAR ON FOLLOWING PAGE]

**Signature Page to Third Amendment to Lease Agreement Between
Verizon Wireless Personal Communications LP
And
The City of Milwaukee**

IN WITNESS WHEREOF, the Parties have caused this Third Amendment to be effective as of the last date written below.

LESSEE:
CELLCO PARTNERSHIP
D/B/A VERIZON WIRELESS

By: _____
Title: _____

LESSOR:
CITY OF MILWAUKEE

By: _____
Tom Barrett, Mayor

By: _____
James Owczarski, City Clerk

COUNTERSIGNED

By: _ Martin Matson, City Comptroller

Signatures of Tom Barrett, James Owczarski and Marton Matson, authenticated this _____ day of _____, 2020.

Jeremy R. McKenzie, Assistant City Attorney
State Bar No. 1051310

Approved as to form and execution
This _____ day of _____ 2020

Assistant City Attorney

EXHIBT C-1

FOURTH AMENDMENT TO LEASE AGREEMENT

This Fourth Amendment to Tower Lease Agreement ("Fourth Amendment") is made as of _____, 20____, by and between the City of Milwaukee, a Wisconsin municipal corporation, with its principal mailing address 200 E. Wells Street, Milwaukee, Wisconsin 53202 (hereinafter referred to as "Lessor"), and Cellco Partnership d/b/a Verizon Wireless, with its principal office located at One Verizon Way, Mailstop 4AW100, Basking Ridge, New Jersey 07920 (hereinafter referred to as "Lessee"). Lessor and Lessee are at times collectively referred to hereinafter as the "Parties".

WHEREAS, the Parties, and or their predecessors in interest, previously entered into that certain Lease Agreement dated July 18, 2001, as amended by that certain First Amendment To Lease Agreement dated February 8, 2013, and that certain Second Amendment to Lease Agreement dated August 13, 2018, and that certain Third Amendment to Lease Agreement dated June 18, 2020 (collectively, the "Lease") that provides for the operation of communications equipment on Lessor's tower ("Existing Tower"), and other equipment on portion of the real property owned by Lessor and occupied by the Milwaukee Fire Department (the "MFD"), located in the City of Milwaukee as described in Exhibit "A" to the Lease ("Property"), together with certain non-exclusive easement rights of access for utility lines and cables and vehicular ingress and egress across and over the Property (collectively the "Leased Space"); and

WHEREAS, Lessee wishes to reconfigure its equipment installation in and on the Leased Space; and

WHEREAS, the Parties wish to amend the Lease in order to address the above item and to reach new agreements with respect to the same;

NOW, THEREFORE, in consideration of the promises hereinafter made and other good and valuable consideration, the receipt of which is hereby acknowledged, the Parties agree to the following:

1. The Parties agree to supplement the existing Exhibit "C-1" to the Lease with a supplemental Exhibit "C-4" attached hereto which references Lessee's equipment modifications to the Leased Space.
2. All capitalized terms herein shall have the meaning ascribed to them in this Fourth Amendment or the Lease, as applicable.
3. In the event of any inconsistency between this Fourth Amendment and Lease, this Fourth Amendment shall control.

Verizon Wireless Site Name: MFD 56th & Oklahoma
Attorney/ Date: JAC/ 2-22-21
VZW PSLC# 113511

4. Except as modified by this Fourth Amendment, all other terms and conditions of the Lease shall remain in full force and effect.
5. This Fourth Amendment may be executed in one or more counterparts, all of which counterparts taken together shall constitute one and the same agreement.

[Signatures appear on following page]

Verizon Wireless Site Name: MFD 56th & Oklahoma
Attorney/ Date: JAC/ 2-22-21
VZW PSLC# 113511

IN WITNESS WHEREOF, the parties have set their hands and affixed their respective seals the day and year first above written.

LESSEE:
CELLCO PARTNERSHIP
D/B/A VERIZON WIRELESS



By: Dena Ranieri
Title: Sr. Manager - Network RE

LESSOR:
CITY OF MILWAUKEE

By: _____
 Mayor

By: _____
 City Clerk

COUNTERSIGNED

By: _____
 City Comptroller

Signatures of _____, _____, and _____,
authenticated this _____ day of _____, 2021.

_____, Assistant City Attorney

Approved as to form and execution
this _____ day of _____, 2021.

Assistant City Attorney



NO.	DATE	DESCRIPTION

LOC. #113511
MFD 56TH & OKLAHOMA
5600 W OKLAHOMA AVE
MILWAUKEE, WI 53219

DRAWN BY: PP
CHECKED BY: AJ
DATE: 02/20/2021
PROJECT #: 134-800

SHEET TITLE
TITLE SHEET

SHEET NUMBER
T-1

CONSULTANT TEAM

PROJECT CONSULTANT:
TERRA CONSULTING GROUP, LTD.
600 BUSSE HIGHWAY
COLUMBUS, IL 60008
(847) 596-6405

STRUCTURAL CONSULTANT:
PAUL J. FORD AND COMPANY
250 E. BROAD STREET, SUITE 1000
COLUMBUS, OH 43215
(614) 548-4108 (FAX)

BY OTHERS

MOUNT ANALYSIS STATUS: COMPLETE
MOUNT ANALYSIS RESULTS: PASS
MOUNT ANALYSIS DATE: 09/30/2020
STRUCTURAL ANALYSIS DATE: 01/19/2021

PROJECT INFORMATION

OCCUPANCY: UNINHABITED

SITE ADDRESS: 5600 W OKLAHOMA AVE
MILWAUKEE, WI 53219

LATITUDE: 42° 59' 20.16" N (APPROXIMATE)
LONGITUDE: 87° 59' 04.73" W (APPROXIMATE)

STRUCTURE OWNER: CITY OF MILWAUKEE
501 N. WISCONSIN AVENUE
MILWAUKEE, WI 53202

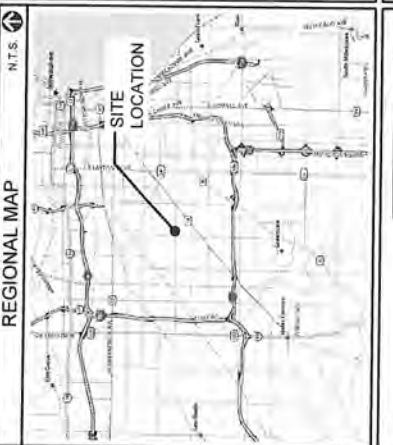
APPLICANT: VERIZON WIRELESS
1701 GOLF ROAD
TOWER 2, SUITE 400
ROLLING MEADOWS, IL 60008

REAL ESTATE MANAGER: ALLEN WHITES (830) 291-7945

DRAWING INDEX

SHEET	REVISION
T-1	TITLE SHEET
C-1	SITE LAYOUT
ANT-1	SITE ELEVATION
ANT-2	ANTENNA LAYOUT
ANT-2A	PROPOSED ANTENNA LAYOUT
ANT-2B	PROPOSED ANTENNA LAYOUT
ANT-3	ANTENNA INFORMATION
ANT-3A	COMBINER CABLE DATA & CABLE DIAGRAM
ANT-4	DETAILS
EX-1	PHOTO EXHIBIT

22" X 34" IS FULL SCALE 11" X 17" IS HALF SCALE



CONTRACTOR PMI REQUIREMENTS

PMI ACCESSED AT: [HTTPS://PMI.VZWSMART.COM](https://pmi.vzwsmart.com)

SMART TOOL VENDOR PROJECT #: 10016559

VZW LOCATION CODE (PRLC): 113511

***PMI AND REQUIREMENTS ALSO EMBEDDED IN MOUNT ANALYSIS REPORT

MOUNT MODIFICATION REQUIRED:
VZW APPROVED SMART KIT VENDORS
REFER TO MOUNT MODIFICATION DRAWINGS PAGE FOR VZW SMART KIT APPROVED VENDORS

GENERAL CONTRACTOR TO FOLLOW ALL APPLICABLE BUILDING CODES OBSERVED BY LOCAL JURISDICTION



1701 GOLF ROAD, TOWER 2, SUITE 400
ROLLING MEADOWS, ILLINOIS 60008
PHONE: (847) 619-5397 FAX: (847) 706-7415

LOCATION NUMBER: 113511
SITE NAME: MFD 56TH & OKLAHOMA
5600 W OKLAHOMA
MILWAUKEE, WI 53219



OTHER JURISDICTIONS NOT SHOWN IN THIS STATE AND LOCAL JURISDICTIONS AND COMPANIES SHALL ALSO BE NOTED

Verizon
 1701 GOLF ROAD
 TOWER 2, SUITE 400
 ROLLING MEADOWS, IL 60008
 PHONE: (647) 815-5287
 FAX: (647) 706-7415

TERRA
 100 SUITE 1000
 PARK RIDGE, IL 60068
 PHONE: (647) 815-5287
 FAX: (647) 815-5287

NO.	DATE	BY	DESCRIPTION

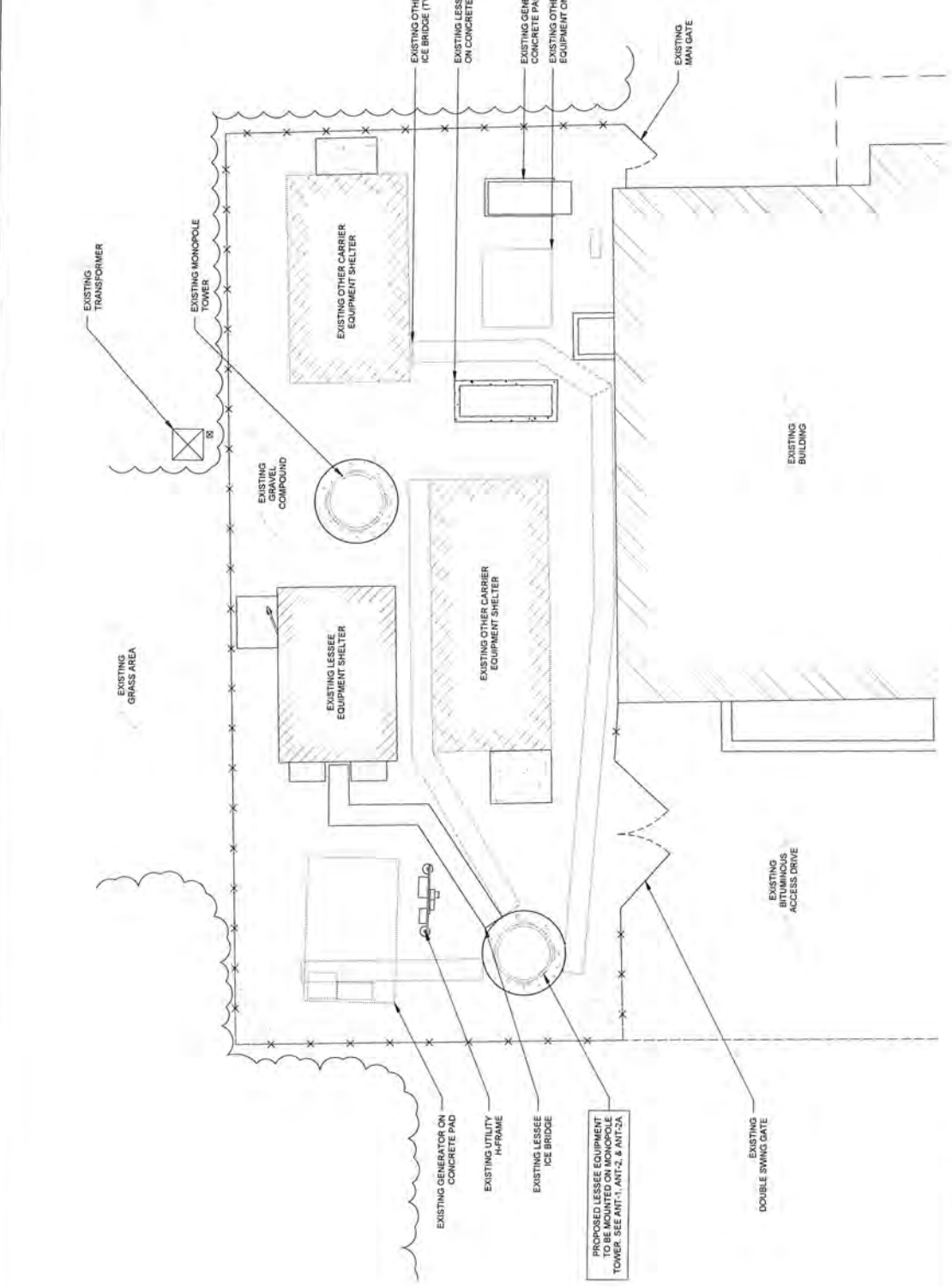
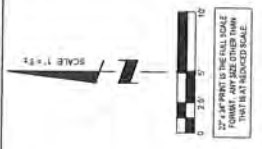
LOC. #113511
 MFD 56TH &
 OKLAHOMA

5600 W OKLAHOMA AVE
 MILWAUKEE, WI 53219

DRAWN BY:	PH
CHECKED BY:	AJ
DATE:	02/20/2011
PROJECT #:	124.690

SHEET TITLE
SITE LAYOUT

SHEET NUMBER
C-1



THESE PLANS ASSUME SITE WAS BUILT PER CONSTRUCTION DRAWINGS BY EDGE CONSULTING ENGINEERS DATED 05/19/10. A SITE VISIT WAS NOT PERFORMED FOR THIS UPGRADE.

1 SITE LAYOUT

FULL SCALE PRINT IS ON 22x34" MEDIA
 HALF SCALE PRINT IS ON 11x17" MEDIA

1701 GOLF ROAD,
 TOWER 2, SUITE 400
 ROCKING HILLS, MD 20850
 PHONE: (443) 819-4597
 FAX: (443) 706-2415

600 BIRCH HOLLOW
 PARK RIDGE, IL 60068
 PH: 847-454-4500
 FAX: 847-454-4501

NO.	DATE	BY	DESCRIPTION

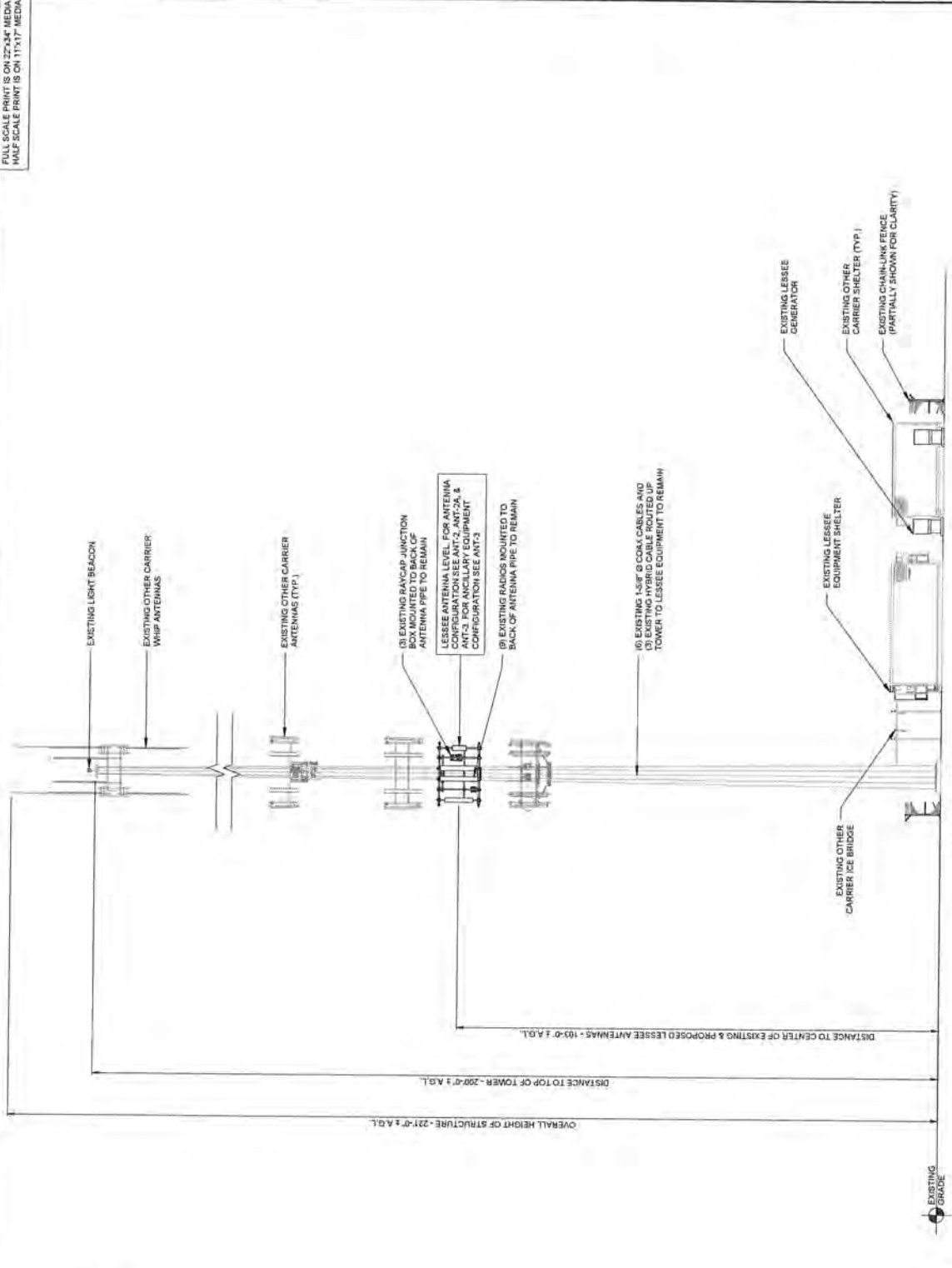
LOC. #113511
 MFD 56TH &
 OKLAHOMA

5800 W OKLAHOMA AVE
 MILWAUKEE, WI 53219

DESIGNED BY:	ALJ
CHECKED BY:	
DATE:	10/20/2021
PROJECT #:	104-850

SHEET TITLE	SITE ELEVATION
SHEET NUMBER	

ANT-1



1 SOUTH ELEVATION
 SCALE: 3/32" = 1'-0"

NOTES:
 THIS DRAWING IS FOR EXHIBIT AND LAYOUT PURPOSES ONLY.
 PLEASE REFER TO TOWER ANALYSIS PROVIDED BY PAUL J. COBURN & COMPANY AND MOUNT ANALYSIS PROVIDED BY OTHERS FOR ANALYSIS AND STRUCTURAL REQUIREMENTS.
 THE ANALYSIS OF THE ANTENNA MOUNT WAS PERFORMED BY OTHERS. TERRA CONSULTING ENGINEERS IS NOT RESPONSIBLE FOR THE ANTENNA MOUNT DESIGN OR ANALYSIS. TERRA CONSULTING ENGINEERS DIRECTLY CONTRACTED THE MOUNT ANALYSIS WITH OTHERS.

THESE PLANS ASSUME SITE WAS BUILT PER CONSTRUCTION DRAWINGS BY EDGE CONSULTING ENGINEERS DATED 09/16/19. A SITE VISIT WAS NOT PERFORMED FOR THIS UPGRADE.

Verizon
 1781 GOLF ROAD,
 TOWER 2, SUITE 400,
 KOKOMO, INDIANA 46760
 PHONE: (847) 619-2282
 FAX: (847) 709-7415

TERRA
 402 WEST HOBBS AVENUE
 PARK MOORE, IN 46081
 TEL: 317-838-6473
 FAX: 317-838-6473

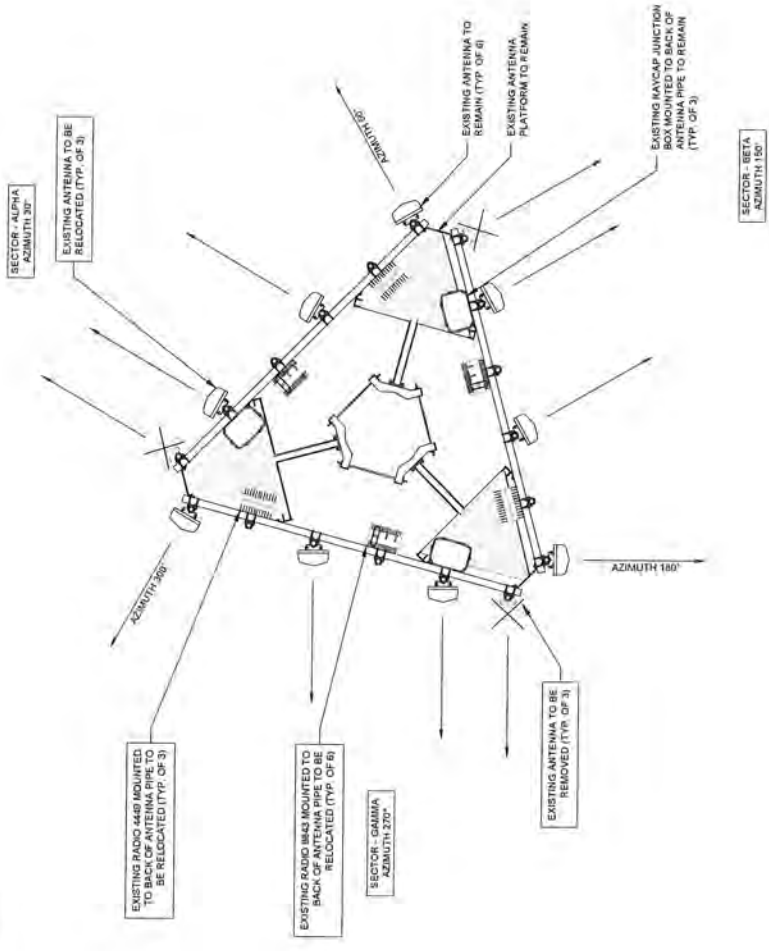
NO.	DATE	DESCRIPTION	ISSUED FOR

LOC. #113511
MFD 56TH & OKLAHOMA

5600 W OKLAHOMA AVE
 MILWAUKEE, WI 53219

DRAWN BY: JAL
 CHECKED BY: WOODG021
 DATE: 10/14/09
 PROJECT #: 10-1400

SHEET TITLE
ANTENNA LAYOUT
 SHEET NUMBER
ANT-2

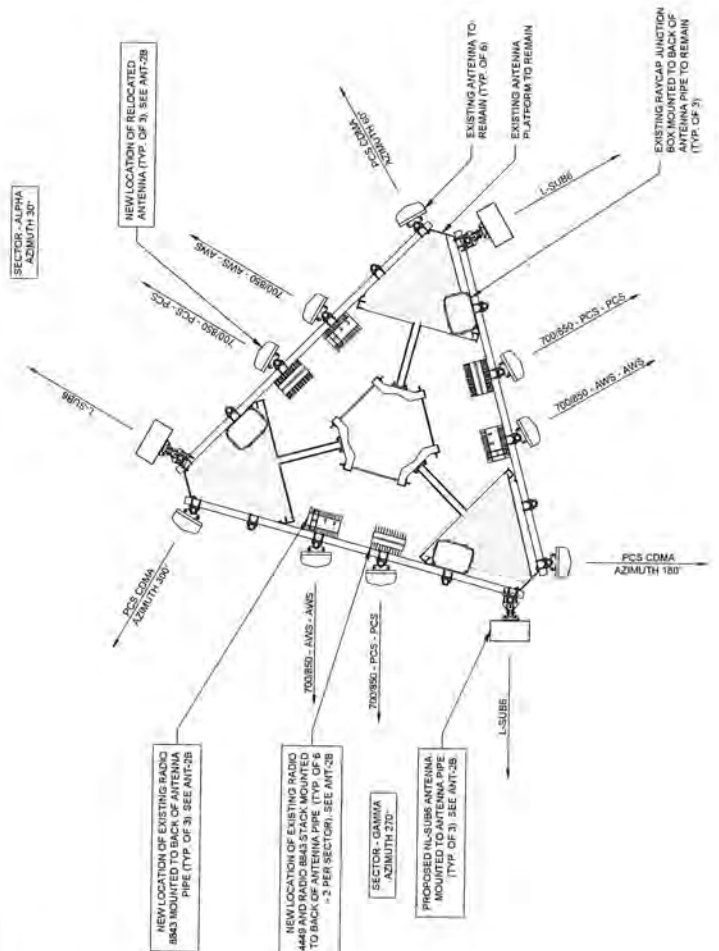


1 EXISTING ANTENNA LAYOUT
 N.T.S.

- NOTES:**
1. THIS DRAWING IS FOR EXHIBIT AND LAYOUT PURPOSES ONLY. VERIZON WIRELESS HAS PROVIDED A MOUNT ANALYSIS (BY OTHERS) THAT NEEDS TO BE REVIEWED BY THE CONTRACTOR. IF THERE IS ANY DISCREPANCY BETWEEN THE MOUNT ANALYSIS AND THIS DRAWING, ANALYSIS IS THE GOVERNING DOCUMENT.
 2. NO ANTENNA OR LINE WORK TO BECAUSE PRIOR TO CONFIRMATION OF ADEQUATE TOWER AND MOUNT CAPACITY.
 3. O.C. TO VERIFY ANTENNA TECHNOLOGIES PRIOR TO REMOVAL OF ANY ANTENNAS.
 4. REFER TO ANT-3 & ANT-3A FOR DETAIL ON EXISTING & PROPOSED RF CONFIGURATION.

THESE PLANS ASSUME SITE WAS BUILT PER CONSTRUCTION DRAWINGS BY EDGE CONSULTING ENGINEERS, DATED 09/19/19. A SITE VISIT WAS NOT PERFORMED FOR THIS UPGRADE.

NO.	DATE	DESCRIPTION



- NOTES:**
- THIS DRAWING IS FOR EXHIBIT AND LAYOUT PURPOSES ONLY. VERIZON WIRELESS HAS PROVIDED A MOUNT ANALYSIS (BY OTHERS) THAT NEEDS TO BE REVIEWED BY THE CONTRACTOR. IF THERE IS ANY DISCREPANCY BETWEEN THIS DRAWING AND THE MOUNT ANALYSIS, THE CONTRACTOR IS TO NOTIFY VERIZON WIRELESS. THE MOUNT ANALYSIS IS THE GOVERNING DOCUMENT.
 - NO ANTENNA OR LINE WORK TO BEGUN PRIOR TO CONFIRMATION OF ADEQUATE TOWER AND MOUNT CAPACITY.
 - 5.C. TO VERIFY ANTENNA TECHNOLOGIES PRIOR TO REMOVAL OF ANY ANTENNAS.
 - REFER TO ANT-3A ANT-3A FOR DETAIL ON EXISTING & PROPOSED RF CONFIGURATION.

THESE PLANS ASSUME SITE WAS BUILT PER CONSTRUCTION DRAWINGS BY EDGE ENGINEERS DATED 06/19/19. A SITE VISIT WAS NOT PERFORMED FOR THIS UPGRADE.

NOTE: GENERAL CONTRACTOR IS TO REFER TO THE STRUCTURAL MOUNT ANALYSIS PERFORMED BY OTHERS. CONTRACTOR IS TO VERIFY WITH THE MOUNT ANALYSIS. IF THERE IS CONFLICT BETWEEN THE ANALYSIS AND DRAWINGS, THE ANALYSIS TAKES PRECEDENT. VERIZON WIRELESS CONTRACTED DIRECTLY WITH THE MOUNT ANALYSIS ENGINEER, TERRA. TERRA IS NOT RESPONSIBLE FOR THE MOUNT ANALYSIS.

1 PROPOSED ANTENNA LAYOUT
 N.T.S.

Verizon
 1701 GOLF ROAD
 TOWER 2, SUITE 400
 ROLLING MEADOWS, IL 60008
 PHONE: (647) 815-5297
 FAX: (647) 706-2415

TERRA
 485 ROCK HOLLOW
 PARK PLACE L. 6004
 PH: 472-992-6000
 FAX: 472-992-6511

NO.	DATE	DESCRIPTION
1	12/20/21	ISSUED FOR PERMITS

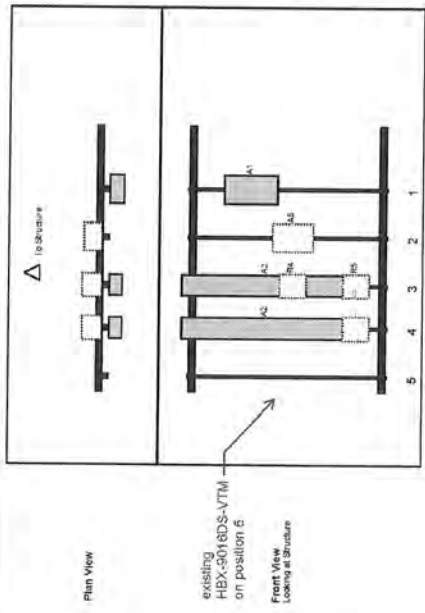
LOC. #113511
MFD 56TH & OKLAHOMA

5600 W OKLAHOMA AVE
MILWAUKEE, WI 53219

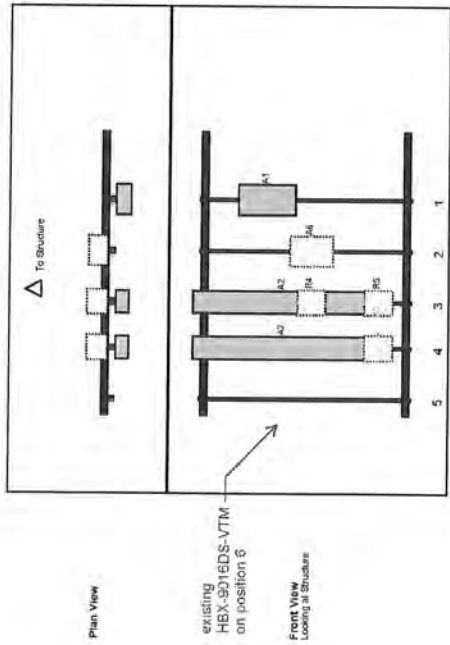
DRAWN BY:	PS
CHECKED BY:	AJ
DATE:	07/20/2021
PROJECT #:	124-800
SHEET TITLE:	PROPOSED ANTENNA LAYOUT
SHEET NUMBER:	

ANT-2B

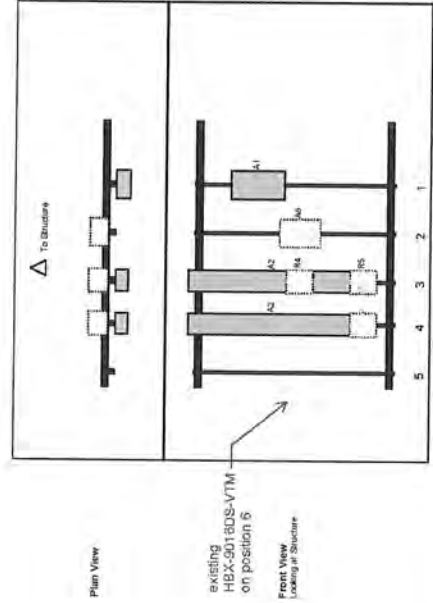
NOTE:
 THE GENERAL CONTRACTOR IS TO REFER TO THE STRUCTURAL MOUNT ANALYSIS PERFORMED BY TERRA ENGINEERING, INC. IN ALL DRAWINGS AND SPECIFICATIONS. ANY DISCREPANCY FROM THAT ANALYSIS IS TO BE RESOLVED BY THE GENERAL CONTRACTOR. TERRA ENGINEERING, INC. IS NOT RESPONSIBLE FOR ANY DISCREPANCY BETWEEN THE ANALYSIS AND DRAWINGS. THE ANALYSIS WAS PERFORMED BY TERRA ENGINEERING, INC. CONTRACTED DIRECTLY WITH THE MOUNT ANALYSIS ENGINEER. TERRA IS NOT RESPONSIBLE FOR THE MOUNT ANALYSIS.



1 ALPHA SECTOR



3 GAMMA SECTOR



2 BETA SECTOR

Ref	Mod#	Height (ft)	Width (ft)	Depth (ft)	Dist. (ft)	From	To	Alt.	Sts.	Valid
A1	02591	32.4	15.1	1.8	174	1	2	4	Behind 0	0
A2	02591	32.4	15.1	1.8	174	1	2	4	Behind 0	0
A3	02591	32.4	15.1	1.8	174	1	2	4	Behind 0	0
A4	02591	32.4	15.1	1.8	174	1	2	4	Behind 0	0
A5	02591	32.4	15.1	1.8	174	1	2	4	Behind 0	0
A6	02591	32.4	15.1	1.8	174	1	2	4	Behind 0	0
A7	02591	32.4	15.1	1.8	174	1	2	4	Behind 0	0
A8	02591	32.4	15.1	1.8	174	1	2	4	Behind 0	0
A9	02591	32.4	15.1	1.8	174	1	2	4	Behind 0	0
A10	02591	32.4	15.1	1.8	174	1	2	4	Behind 0	0

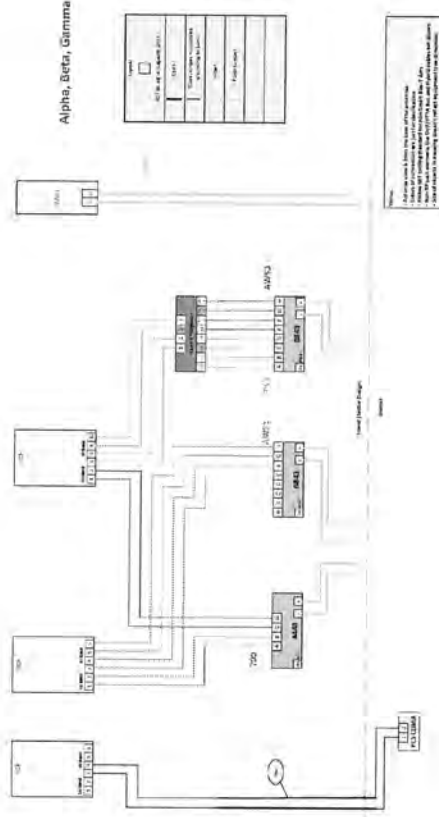
NOTE:
 THE GENERAL CONTRACTOR IS TO REFER TO THE STRUCTURAL MOUNT ANALYSIS PERFORMED BY TERRA ENGINEERING, INC. IN ALL DRAWINGS AND SPECIFICATIONS. ANY DISCREPANCY FROM THAT ANALYSIS IS TO BE RESOLVED BY THE GENERAL CONTRACTOR. TERRA ENGINEERING, INC. IS NOT RESPONSIBLE FOR ANY DISCREPANCY BETWEEN THE ANALYSIS AND DRAWINGS. THE ANALYSIS WAS PERFORMED BY TERRA ENGINEERING, INC. CONTRACTED DIRECTLY WITH THE MOUNT ANALYSIS ENGINEER. TERRA IS NOT RESPONSIBLE FOR THE MOUNT ANALYSIS.

RF EMISSIONS REPORT REQUIRED

YES NO
 DATE OF REPORT: .XX.XX.XX

EXISTING EQUIPMENT TO BE REUSED		
LOCATION	COMPONENT	COUNT
TOP	MAIN RAYCAP	3
BOTTOM	MAIN RAYCAP	3
EXISTING CABLEING TO BE REUSED		
TYPE	SIZE	COUNT
HYBRID	MAIN TRUNK	3
COAX	1-5/8" Ø	6

1 RAYCAP/HYBRID CABLE INFORMATION
 N.T.S.



2 CABLE DIAGRAM
 N.T.S.

Verizon
 1701 GOLF ROAD,
 TOWER 2, SUITE 400
 ROLLING MOUNTAINS, IL 60008
 PHONE: (647) 819-6287
 FAX: (647) 706-2415

TERRA
 605 WISCONSIN AVENUE
 PLANK ROAD L. 62068
 FAX: 847-858-0421
 PH: 847-858-6423

NO.	DATE	BY	DESCRIPTION

LOC. #113511
 MFD 56TH &
 OKLAHOMA

5600 W OKLAHOMA AVE
 MILWAUKEE, WI 53219

DRAWN BY:	PP
CHECKED BY:	AJ
DATE:	02/02/2021
PROJECT #:	T4480

SHEET TITLE
**COMBINER CABLE DATA
 & CABLE DIAGRAM**

SHEET NUMBER
ANT-3A

Verizon
 1701 OOLF ROAD,
 TOWER 2, SUITE 400
 ROLLING MEADOWS, IL 60008
 PHONE: (847) 615-5297
 FAX: (847) 706-7415

TERRA
 305 SOUTH WINDWAY
 P.O. BOX 604
 FARM ROAD E. 60205
 PHONE: (815) 424-4231
 FAX: (815) 424-4231

NO.	DATE	DESCRIPTION

LOC. #113511
MFD 56TH & OKLAHOMA

5600 W OKLAHOMA AVE
 MILWAUKEE, WI 53219

DRAWN BY: PP
 CHECKED BY: AJ
 DATE: 07/25/07
 PROJECT#: 124480

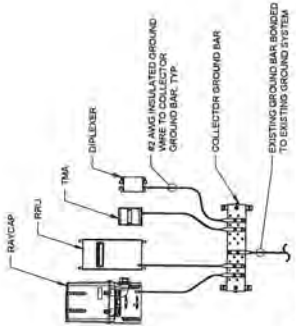
SHEET TITLE
DETAILS

SHEET NUMBER
ANT-4

- NOTES:**
- DO NOT INSTALL CABLE GROUND KIT AT A BEND AND ALWAYS DIRECT GROUND WIRE DOWN TO GROUND BAR.
 - THIS DETAIL IS TYPICAL FOR EACH COAX CABLE WHERE IT IS SPECIFIED TO BE GROUNDED.
 - CABLE TO BE GROUNDED AT ANTENNA LEVEL AND PRIOR TO ENTERING SHELTER ENTRY PANEL.
 - CABLE ALSO TO BE GROUNDED TO GROUND BAR AT TOWER BASE IF APPLICABLE.
 - USE ONLY TH PLATED GROUNDING NTS.



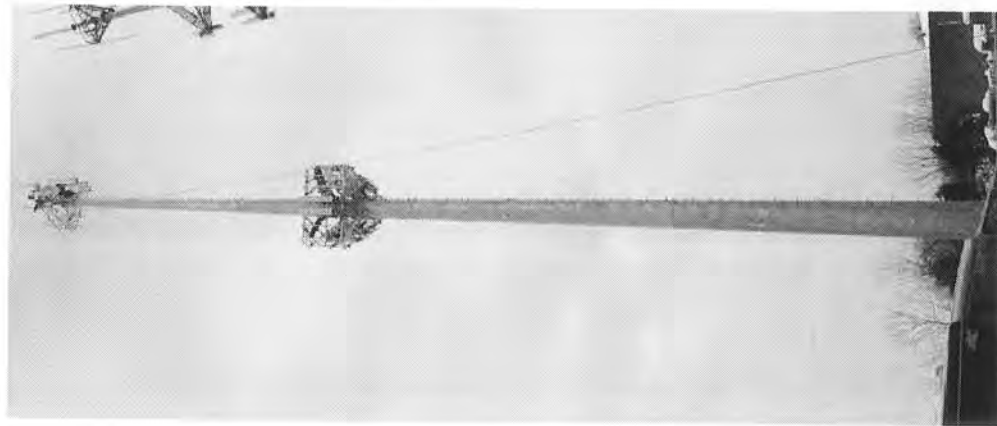
2 COAX / HYBRID CABLE GROUND KIT DETAIL
 SCALE: N.T.S.



- NOTE:**
- DETAIL IS CONCEPTUAL ONLY. PLEASE SEE FOR AND LAYOUT SHEETS FOR ACTUAL EQUIPMENT CONFIGURATION.
 - GROUND CONNECTIONS MUST BE DOUBLE HOLE CONNECTION. SPECIAL EXCEPTION ONLY FOR AIR TERMINALS. THIS DETAIL NOT ALLOW FOR A DOUBLE HOLE CONNECTION.

1 TYPICAL APPEARANCE GROUNDING
 SCALE: N.T.S.

EXISTING SITE CONDITIONS SUPPLIED
BY LESSEE. SITE VISIT WAS NOT
PERFORMED FOR THIS UPGRADE.



1 OVERALL TOWER PHOTO
SCALE: N.T.S.



2 PHOTO OF ANTENNA LEVEL
SCALE: N.T.S.

Verizon
1701 GOLF ROAD,
TOWER 2, SUITE 400
ROLLING MEADOWS, IL 60008
PHONE: (847) 619-5287
FAX: (847) 708-7415

TERRA
602 BUSSE HIGHWAY
PARK ROSE, IL 60068
PH: 847-498-6408
FAX: 847-998-6431

REVISIONS	
NO.	DESCRIPTION
01	ISSUED FOR REVIEW
02	02/08/2021
03	PP

LOC. #113511
MFD 56TH &
OKLAHOMA

5600 W OKLAHOMA AVE
MILWAUKEE, WI 53219

DRAWN BY: PP
CHECKED BY: AJJ
DATE: 02/03/2021
PROJECT #: 134-660

SHEET TITLE
PHOTO EXHIBIT

SHEET NUMBER
EX-1

GIS - Upper Midwest - Illinois/Wisconsin - Wisconsin - WFO 5674 AND OKLAHOMA/NELO-6
Kim Brian - brian.ka@verizonwireless.com - 93-47935 13 29 35

Project Details

Carrier Aggregation Info

MPT Id:

eCIP-Id: N/A

Project Name: SG_L5648 - Carrier Add

FUZE Project ID: 1822855

Designated Sector Carrier 4G: 15

Designated Sector Carrier 5G: 3

Additional Sector Carrier 4G: N/A

Additional Sector Carrier 5G: N/A

SiteTracker Project Id: a101000000P3844C

PP Solution Type & Tech Type: ADDITION:SG_L5648-P49

RFDS Project Scope:

Self:

Location Information

Site Id: 5661555

E-NodeB Id: 0059513209951209515

PSGC: 113511

Switch Name: New Berlin, New Berlin, New Berlin

Parent Owner:

Tower Type: Monopole

Site Type: P49CD

Street Address: 500 W. Oklahoma

City: Milwaukee

State: WI

Zip Code: 53219

Country: Milwaukee

Latitude: 42.989533374274873818° N

Longitude: -87.984877187197427° W

Antenna Summary

Antenna	Antenna Type	Antenna Model	Antenna Desc	Antenna Pos	Antenna Az	Antenna Elev	Antenna Gain	Antenna Power	Antenna Notes
Antenna 1	Vertical	...	...	...	...	...	...	...	...
Antenna 2	Vertical	...	...	...	...	...	...	...	...

Table 1

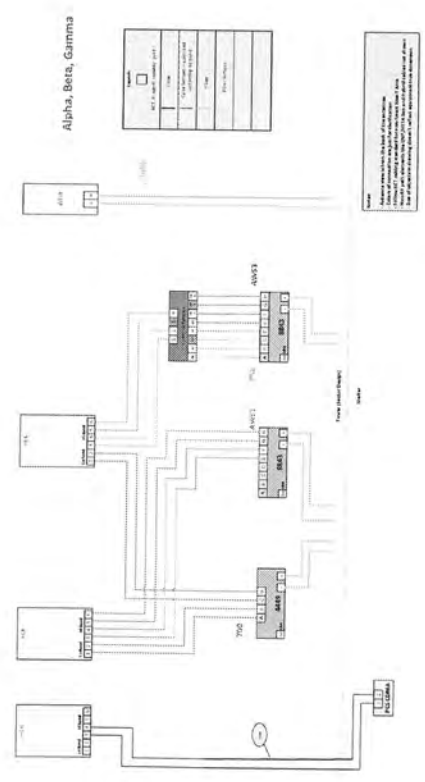
Equipment Summary

Equip	Equip Type	Equip Model	Equip Desc	Equip Pos	Equip Az	Equip Elev	Equip Gain	Equip Power	Equip Notes
Equip 1
Equip 2

Part	QTY	Part	QTY	Part	QTY
...

Notes:
 1. All components are to be replaced with new units.
 2. The unit is to be tested and found to be satisfactory before being returned to the customer.
 3. The unit is to be tested and found to be satisfactory before being returned to the customer.

Part	QTY	Part	QTY	Part	QTY	Part	QTY	Part	QTY
...



Alpha Beta, Gamma

Part	QTY	Part	QTY
...

Notes:
 1. All components are to be replaced with new units.
 2. The unit is to be tested and found to be satisfactory before being returned to the customer.
 3. The unit is to be tested and found to be satisfactory before being returned to the customer.



Paul J. Ford and Company
 250 East Broad Street Suite 600
 Columbus, OH 43215
 (614) 221-6679
asage@pauljford.com

Antenna Mount Analysis Report and PMI Requirements

Mount Analysis

SMART Tool Project #: 10016559

Paul J. Ford Project #: 24320-0448.001.7190

September 29, 2020

Site Information

Site ID: 113511-VZW / MFD 56TH OKLAHOMA -- 698775
 Site Name: MFD 56TH OKLAHOMA -- 698775
 Carrier Name: Verizon Wireless
 Address: 5600 W Oklahoma Ave
 Milwaukee, Wisconsin 53219, Milwaukee County
 Latitude: 42.989100°
 Longitude: -87.984530°

Structure Information

Tower Type: 200-Ft Monopole
 Mount Type: 12.50-Ft Platform w/ support rail

FUZE ID # 16233656

Analysis Results

12.50-Ft Platform w/ support rail: 39.4% Pass

*****Contractor PMI Requirements:**

Included at the end of this MA report

Available & Submitted via portal at <https://pmi.vzwsmart.com>

Contractor - Please Review Specific Site PMI Requirements Upon Award

Requirements also Noted on Mount Modification Drawings

Requirements may also be Noted on A & E drawings

Report Prepared By: Angela Sage



Paul J Ford and Company
 Firm #2979
 Expires 06.30.2021

09.29.2020

Executive Summary:

The objective of this report is to determine the capacity of the antenna support mount at the subject facility for the final wireless telecommunications configuration, per the applicable codes and standards. Any modification listed under Sources of Information was assumed completed and was included in this analysis.

This analysis is inclusive of the mount structure only, and does not address the structural capacity of the supporting structure. This mounting frame was not analyzed as an anchor attachment point for fall protection. All climbing activities are required to have a fall protection plan completed by a competent person.

Sources of Information:

Document Type	Remarks
Radio Frequency Data Sheet (RFDS)	Verizon RFDS 16233656, dated September 14, 2020
Mount Specification	SitePro1 CAGE, dated May 9, 2016
Previous Construction Drawings	Edge, Project # 21793, dated April 11, 2019

Analysis Criteria:

Codes and Standards:	ANSI/TIA-222-H
Wind Parameters:	Basic Wind Speed (Ultimate 3-sec. Gust), V_{ULT} : 107 mph Ice Wind Speed (3-sec. Gust): 40 mph Design Ice Thickness: 1.50 in Risk Category: II Exposure Category: C Topographic Category: 1 Topographic Feature Considered: N/A Topographic Method: N/A Ground Elevation Factor, K_e : 0.974
Seismic Parameters:	S_s : 0.077 S_1 : 0.049
Maintenance Parameters:	Wind Speed (3-sec. Gust): 30 mph Maintenance Live Load, L_v : 250 lbs. Maintenance Live Load, L_m : 500 lbs.
Analysis Software:	RISA-3D (V17.0.3)

Final Loading Configuration:

The following equipment has been considered for the analysis of the mount:

Mount Elevation (ft)	Equipment Elevation (ft)	Quantity	Manufacturer	Model	Status
103.00	103.00	3	Ericsson	VZE01	Added
		3	Commscope	CDX1923Q-DS-43	
		6	Commscope	NHH-65C-R2B	
		3	Ericsson	4449	Retained
		6	Ericsson	8843	
		3	Raycap	RC3DC-3315-PF-48	
		3	Andrew	HBX-9016DS-VTM	

Any proposed antennas not currently installed should be mounted such that the centerline of the antennas does not exceed 6 inches vertically from the center of the antenna mount.

Standard Conditions:

1. All engineering services are performed on the basis that the information provided to Paul J. Ford and used in this analysis is current and correct. The existing equipment loading has been applied at locations determined from the supplied documentation. Any deviation from the loading locations specified in this report shall be communicated to Paul J. Ford to verify deviation will not adversely impact the analysis.
2. Mounts are assumed to have been properly fabricated, installed and maintained in good condition, twist free and plumb in accordance with its original design and manufacturer's specifications.

 Obvious safety and structural issues/deficiencies noticed at the time of the mount mapping and reported in the Mount Mapping Report are assumed to be corrected and documented as part of the PMI process and are not considered in the mount analysis.

 The mount analysis and the mount mapping are not a condition assessment of the mount. Proper maintenance and condition assessments are still required post analysis.
3. For mount analyses completed from other data sources (including new replacement mounts) and not specifically mapped by PJF, the mounts are assumed to have been properly fabricated, installed and maintained in good condition, twist free and plumb in accordance with its original design and manufacturer's specifications.
4. All member connections are assumed to have been designed to meet or exceed the load carrying capacity of the connected member unless otherwise specified in this report.
5. The mount was checked up to, and including, the bolts that fasten it to the mount collar/attachment and threaded rod connections in collar members if applicable. Local deformation and interaction between the mount collar/attachment and the supporting tower structure are outside the scope of this analysis.
6. All services are performed, results obtained, and recommendations made in accordance with generally accepted engineering principles and practices. Paul J. Ford is not responsible for the conclusion, opinions, and recommendations made by others based on the information supplied.
7. Structural Steel Grades have been assumed as follows, if applicable, unless otherwise noted in this analysis:
 - o Channel, Solid Round, Angle ASTM A53 (Gr. B-35)
 - o HSS (Rectangular), Plate Q235 Gr B (Fy = 34 ksi, Fu = 58 ksi)
 - o Pipe ASTM A53 (Gr. B-35)
 - o Threaded Rod SAE J429 (GR2)
 - o Bolts ASTM A325

Discrepancies between in-field conditions and the assumptions listed above may render this analysis invalid unless explicitly approved by Paul J. Ford.

Analysis Results:

Component	Utilization %	Pass/Fail
<i>Face Horizontal</i>	10.7%	<i>Pass</i>
<i>Standoff</i>	39.4%	<i>Pass</i>
<i>Corner Plate</i>	43.3%	<i>Pass</i>
<i>Bracing Member</i>	26.3%	<i>Pass</i>
<i>Support Rail</i>	22.6%	<i>Pass</i>
<i>Mount Pipe</i>	10.8%	<i>Pass</i>
<i>Mount to Tower Connection</i>	28.1%	<i>Pass</i>

Structure Rating – (Controlling Utilization of all Components)	39.4%
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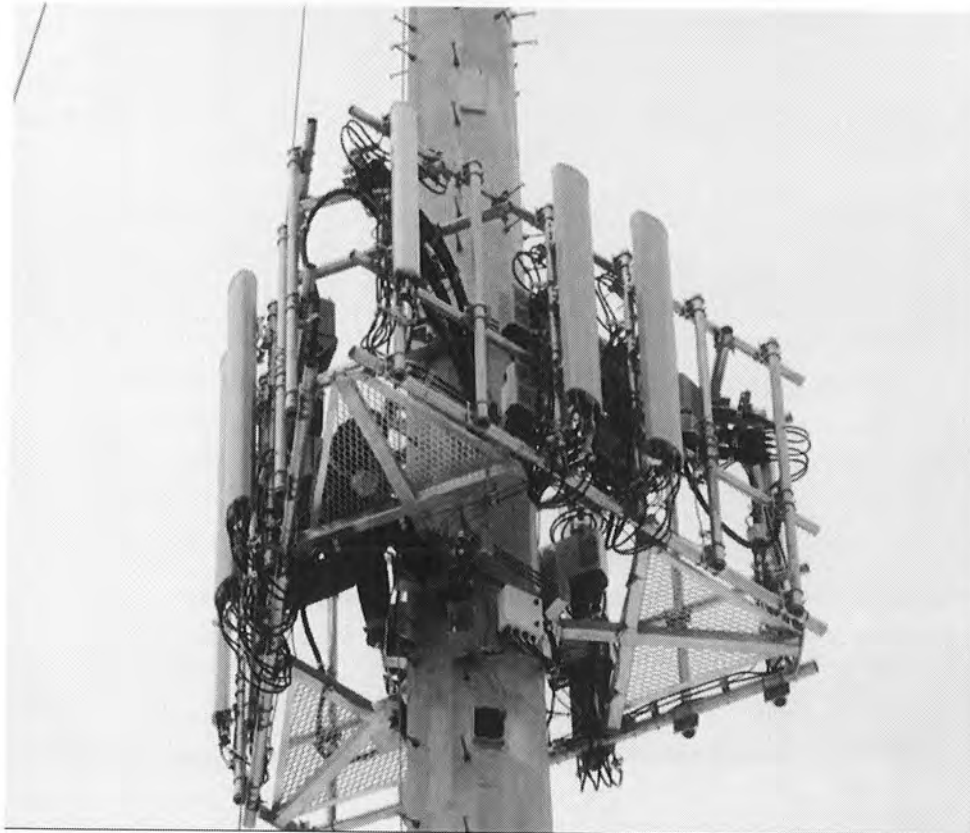
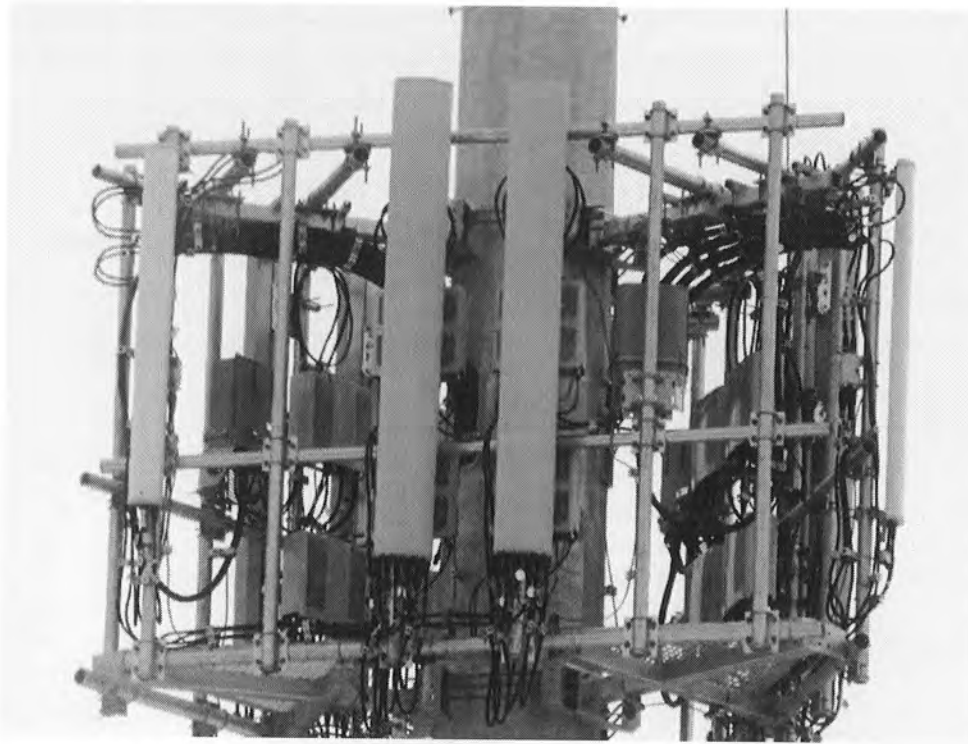
Recommendation:

The existing mount is **SUFFICIENT** for the final loading configuration and do not require modifications.

ANSI/ASSP rigging plan review services compliant with the requirements of ANSI/TIA 322 are available for a Construction Class IV site or other, if required. Separate review fees will apply.

Attachments:

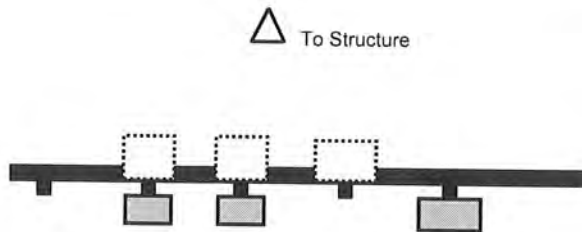
1. Mount Photos
2. Mount Manufacturer Drawings (for reference only)
3. Analysis Calculations
4. **Contractor Required Post Installation Inspection (PMI) Report Deliverables**
5. Antenna Placement Diagrams



Sector: A
 Structure Type: Monopole
 Mount Elev: 103.00

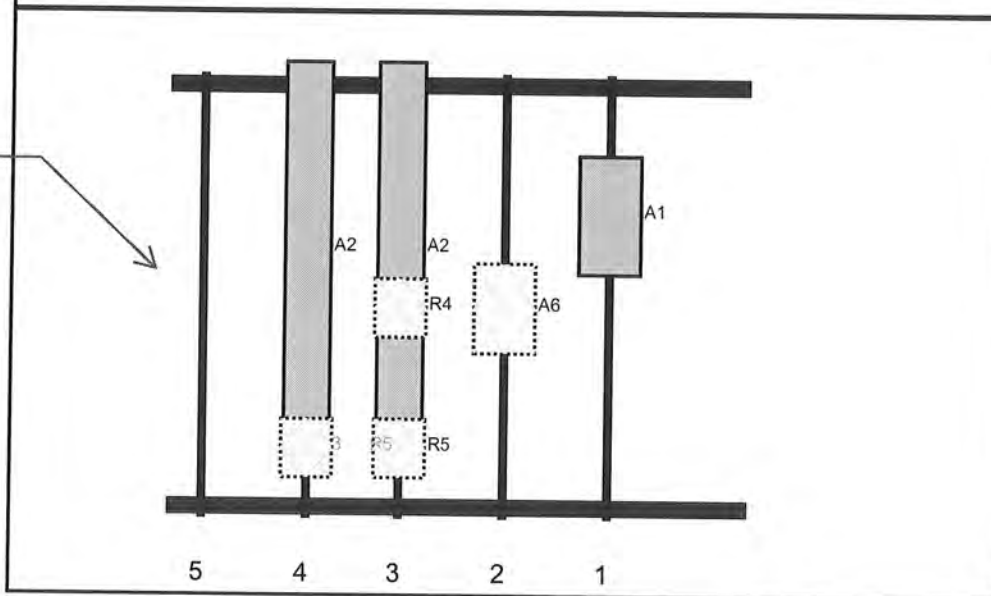
9/28/2020

Plan View



existing
 HBX-9016DS-VTM
 on position 6

Front View
 Looking at Structure

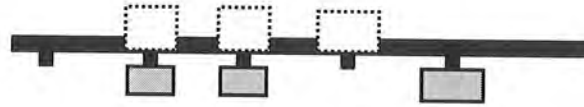


Ref#	Model	Height (in)	Width (in)	H Dist Frm L.	Pipe #	Pipe Pos V	Ant Pos	C. Ant Frm T.	Ant H Off	Status	Validation
A1	VZE01	30.4	15.9	114	1	a	Front	36	0	Added	
A6	RC3DC-3315-PF-48	23	15.7	87	2	a	Behind	60	0	Retained	
A2	NHH-65C-R2B	96	11.9	60	3	a	Front	45	0	Retained	
R4	4449	15	13.2	60	3	a	Behind	60	0	Retained	
R5	8843	15	13.2	60	3	a	Behind	96	0	Retained	
A2	NHH-65C-R2B	96	11.9	36	4	a	Front	45	0	Retained	
A3	CDX1923Q-DS-43	6.9	5.5	36	4	a	Behind	96	0	Added	
R5	8843	15	13.2	36	4	a	Behind	96	0	Retained	

Sector: **B**
 Structure Type: Monopole
 Mount Elev: 103.00

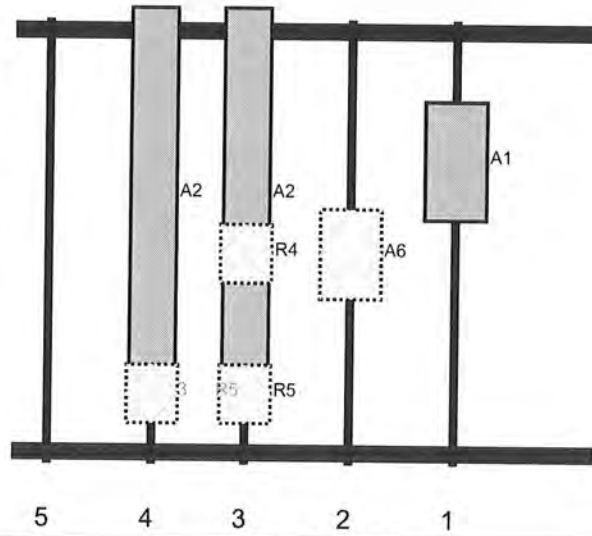
Plan View

△ To Structure



existing
 HBX-9016DS-VTM
 on position 6

Front View
 Looking at Structure

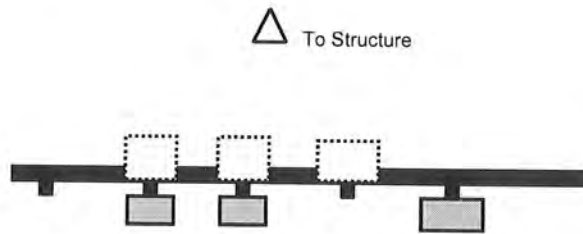


Ref#	Model	Height (in)	Width (in)	H Dist Frm L.	Pipe #	Pipe Pos V	Ant Pos	C. Ant Frm T.	Ant H Off	Status	Validation
A1	VZE01	30.4	15.9	114	1	a	Front	36	0	Added	
A6	RC3DC-3315-PF-48	23	15.7	87	2	a	Behind	60	0	Retained	
A2	NHH-65C-R2B	96	11.9	60	3	a	Front	45	0	Retained	
R4	4449	15	13.2	60	3	a	Behind	60	0	Retained	
R5	8843	15	13.2	60	3	a	Behind	96	0	Retained	
A2	NHH-65C-R2B	96	11.9	36	4	a	Front	45	0	Retained	
A3	CDX1923Q-DS-43	6.9	5.5	36	4	a	Behind	96	0	Added	
R5	8843	15	13.2	36	4	a	Behind	96	0	Retained	

Sector: C
 Structure Type: Monopole
 Mount Elev: 103.00

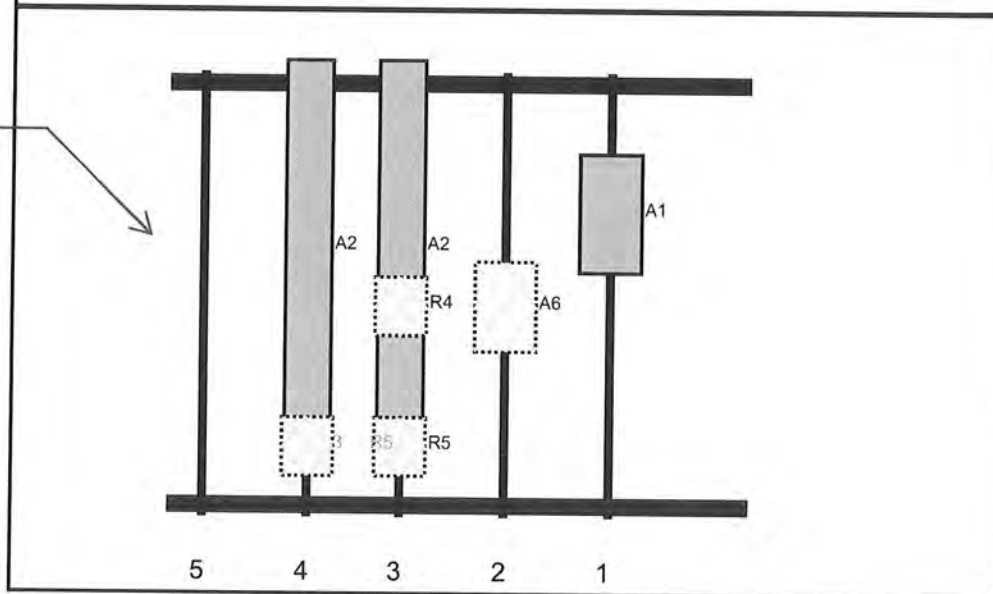
9/28/2020

Plan View



existing
 HBX-9016DS-VTM
 on position 6

Front View
 Looking at Structure



Ref#	Model	Height (in)	Width (in)	H Dist Frm L.	Pipe #	Pipe Pos V	Ant Pos	C. Ant Frm T.	Ant H Off	Status	Validation
A1	VZE01	30.4	15.9	114	1	a	Front	36	0	Added	
A6	RC3DC-3315-PF-48	23	15.7	87	2	a	Behind	60	0	Retained	
A2	NHH-65C-R2B	96	11.9	60	3	a	Front	45	0	Retained	
R4	4449	15	13.2	60	3	a	Behind	60	0	Retained	
R5	8843	15	13.2	60	3	a	Behind	96	0	Retained	
A2	NHH-65C-R2B	96	11.9	36	4	a	Front	45	0	Retained	
A3	CDX1923Q-DS-43	6.9	5.5	36	4	a	Behind	96	0	Added	
R5	8843	15	13.2	36	4	a	Behind	96	0	Retained	

FIFTH AMENDMENT TO LEASE AGREEMENT

THIS FIFTH AMENDMENT TO LEASE AGREEMENT (“Fifth Amendment”) is made this 11th day of December, 2023, by and between City of Milwaukee, a Wisconsin municipal corporation (“Lessor”) and Cellco Partnership d/b/a Verizon Wireless, with its principal offices located at One Verizon Way, Mailstop 4AW100, Basking Ridge, New Jersey 07920 (“Lessee”).

Whereas, Lessor and Lessee previously entered into that certain Lease Agreement on July 18, 2001, as amended by that certain First Amendment to Lease Agreement dated February 8, 2013, that certain Second Amendment to Lease Agreement dated August 13, 2018, that certain Third Amendment to Lease Agreement dated June 18, 2020 and as further amended by that certain Fourth Amendment to Lease Agreement dated May 28, 2021 (collectively, the “Lease”) that provides for the operation of communications equipment on Lessor’s tower and real property owned by Lessor that is located at 5600 W Oklahoma Avenue, in the City of Milwaukee, County of Milwaukee, State of Milwaukee and described in Exhibit A to the Lease (“Property”); and

Whereas, Lessee wishes to reconfigure its equipment installation on the Leased Premises, including placing two (2) freestanding antennas on the roof of its existing equipment shelter; and

Whereas, Lessor and Lessee wish to amend the Lease in order to address the above item and reach new agreements with respect to the same.

NOW THEREFORE, in consideration of the promises hereinafter made and other good and valuable consideration, the receipt of which is hereby acknowledged, Lessor and Lessee agree as follows:

1. Revised Equipment Installation and Addition of Exhibit C-5 to Lease. Lessee shall be allowed to make the equipment additions or removals necessary to configure Lessee’s equipment as shown on Exhibit C-5, attached hereto. Exhibit C-2 of the Lease is hereby supplemented with the attached Exhibit C-5, which reflects the modified equipment that Lessee shall be permitted to install, operate, replace, and maintain on the Leased Premises. Pursuant to § 4(a) of the Lease and as part of the revised equipment installation, Lessor agrees that Lessee shall be able to install and use two (2) freestanding antennas on the roof of its existing equipment shelter, with the antennas plugging into CAT5 cables.
2. Other than as specifically amended herein, all other terms and conditions of the Lease shall remain in full force and effect. Where there is conflict between the terms of the Lease and this Fifth Amendment, the terms of this Fifth Amendment shall control. Unless otherwise indicated or introduced in this Fifth Amendment, all defined terms referenced in the Fifth Amendment shall have the same meaning as those found in the Lease.

[Signature Page Follows]

IN WITNESS WHEREOF, the parties hereto have executed in duplicate this Fifth Amendment on the day and year first written above.

LESSEE:

CELLCO PARTNERSHIP D/B/A VERIZON WIRELESS

Name: [Signature]
Jessica Dewalt, Senior Real Estate Manager - Network
Title: _____

Date: 12-11-2023

LESSOR:

CITY OF MILWAUKEE

By: [Signature]
Cavalier Johnson, Mayor

By: [Signature]
James Owczarski, City Clerk

COUNTERSIGNED

By: [Signature]
for Aycha Sawa, City Comptroller P.N.
Date: 11/22/23

Signatures of Cavalier Johnson, James Owczarski, and Aycha Sawa, authenticated this 30 day of November, 2023.

[Signature]
(name), (title)

Approved as to form and execution
This 30 day of November, 2023

[Signature]
Jordan M. Schettle
Assistant City Attorney
State Bar No. 1104571

EXHIBIT C-5

(Description of revised Lessee's Equipment)

CONSULTANT TEAM

PROJECT CONSULTANT: TERRA CONSULTING GROUP, L.L.C.
 400 BUSSE HIGHWAY
 PARK RIDGE, IL 60068
 (847) 598-6600

VICINITY MAP

N.T.S. ↗

**REGIONAL MAP**

N.T.S. ↗

**PROJECT TYPE**

PROPOSED VERIZON RFP MICROWAVE INSTALLATION AT EXISTING VERIZON EQUIPMENT SHELTER

PROJECT INFORMATION

SITE COORDINATES: LATITUDE: 42° 59' 20.16" N
 LONGITUDE: 87° 59' 04.73" W
 ADDRESS: 5600 W. OKLAHOMA MILWAUKEE, WI 53219
 CONSTRUCTION TYPE: RFP MICROWAVE INSTALLATION
 APPLICANT: VERIZON WIRELESS
 1701 GOLF ROAD, TOWER 2, SUITE 400
 ROLLING MEADOWS, IL 60008
 TOWER OWNER: CITY OF MILWAUKEE
 809 N. BROADWAY
 MILWAUKEE, WI 53202

**SHEET DRAWING INDEX REVISION**

SHEET	DRAWING INDEX	REVISION
T-1	TITLE SHEET	-
C-1	SITE PLAN	-
C-2	SHELTER ROOF PLAN	-
C-3	SITE DETAILS	-

NO.	DATE	BY	REVISION



1701 GOLF ROAD, TOWER 2, SUITE 400
 ROLLING MEADOWS, ILLINOIS 60008
 PHONE: (847) 619-5397 FAX: (847) 706-7415

LOCATION NUMBER: 113511**SITE NAME: MFD 56TH AND OKLAHOMA RELO - A**

**5600 W. OKLAHOMA
 MILWAUKEE, WI 53219**



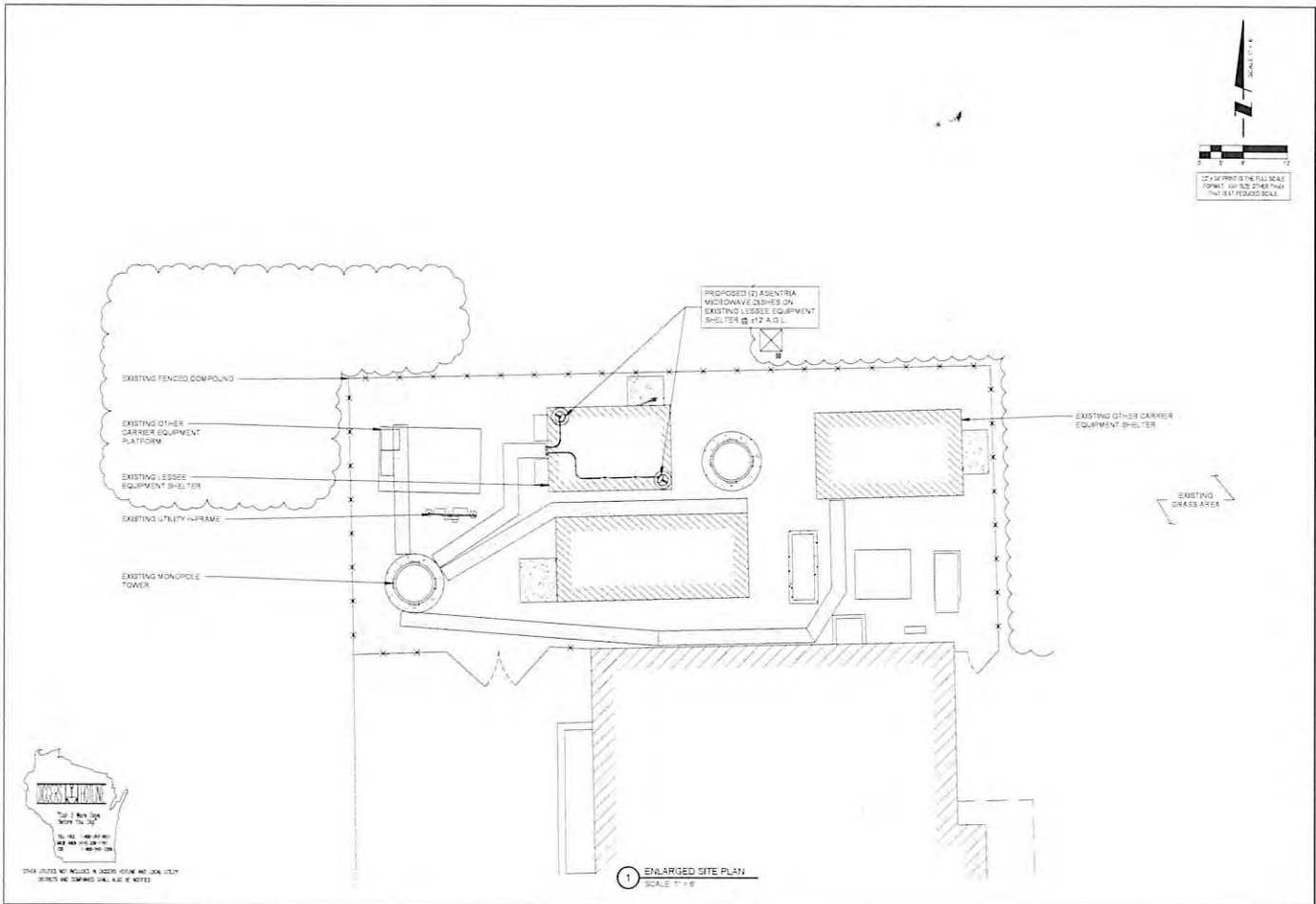
22" x 34" IS FULL SCALE
 11" x 17" IS HALF SCALE

LOC. # 113511
MFD 56TH AND OKLAHOMA RELO - A
 5600 W. OKLAHOMA
 MILWAUKEE, WI 53219

DRAWN BY: KSL
 CHECKED BY: TAZ
 DATE: 12/06/22
 PROJECT #: 228-112

SHEET TITLE:
TITLE SHEET

SHEET NUMBER:
T-1



DATE	BY	DESCRIPTION

LOC. # 113511
MFD 56TH AND OKLAHOMA RELO - A
5600 W. OKLAHOMA MILWAUKEE, WI 53219

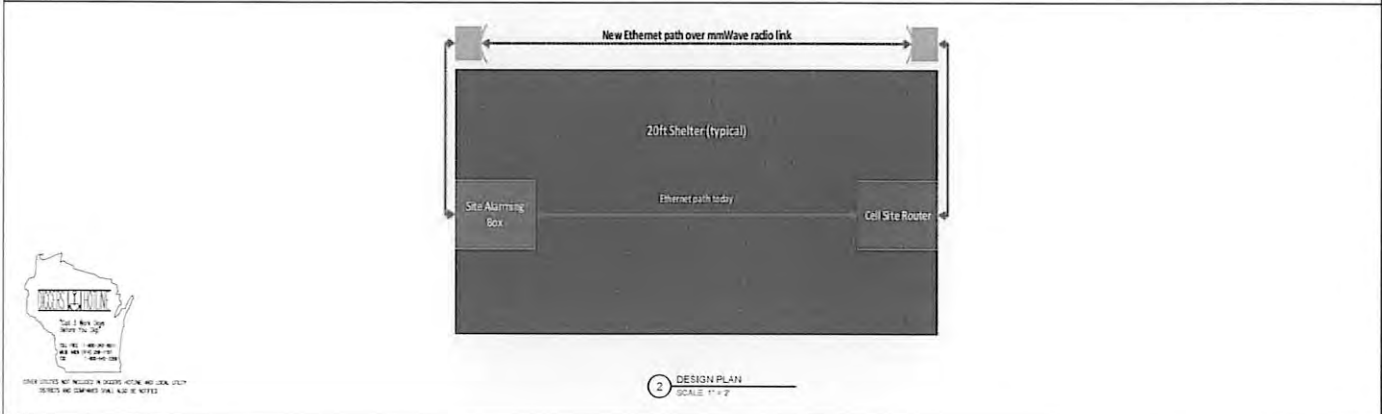
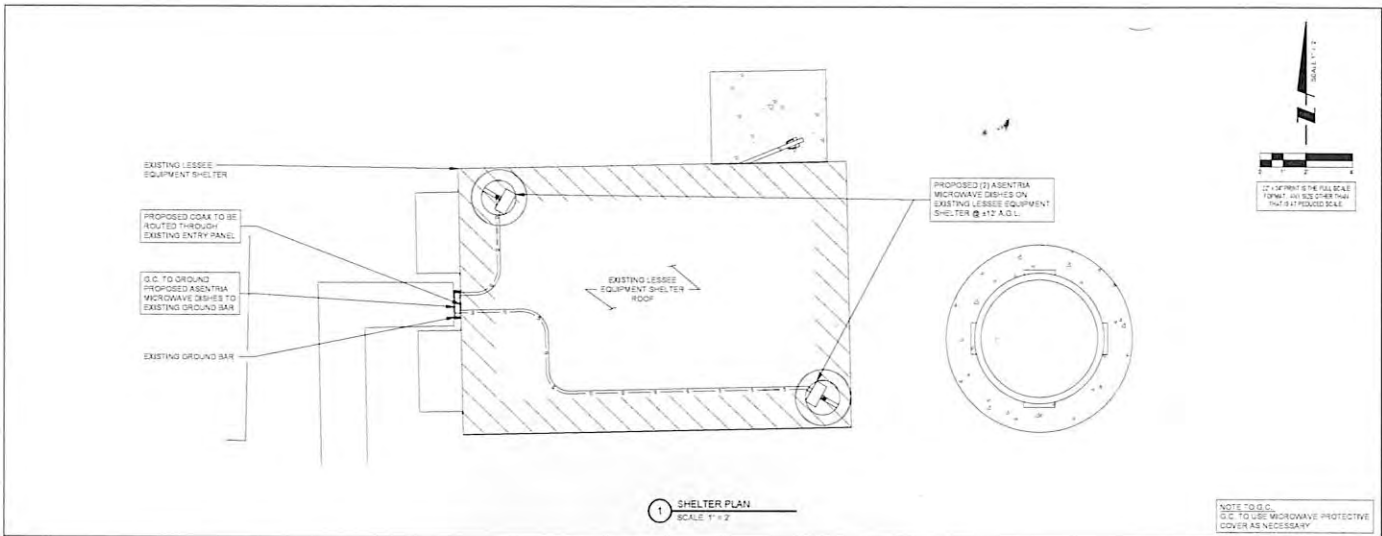
DESIGNED BY	
CHECKED BY	
DATE	
PROJECT #	

SHEET TITLE
SITE PLAN
SHEET NUMBER
C-1

1 ENLARGED SITE PLAN
SCALE 1" = 9'



THIS SHEET IS UNLESS A DESIGN REVIEW AND SEAL IS NOTED
SERIES AND DIMENSIONS ARE AS SHOWN



OTHER SERVICES NOT INCLUDED IN QUOTES: DESIGN AND CONSTRUCTION OF PERMITS AND SUBMITTALS SHALL ALSO BE NOTED

THE LOCAL PEOPLE.
 THE LOCAL BUSINESS.
 THE LOCAL COMMUNITY.
 THE LOCAL SOLUTIONS.
 THE LOCAL SUPPORT.

TERRA CONSULTANTS, INC.
 1000 N. WILSON AVENUE
 SUITE 100
 OKLAHOMA CITY, OKLAHOMA 73102
 PHONE: (405) 753-0100
 FAX: (405) 753-0101

REVISIONS		
NO.	DATE	DESCRIPTION

LOC. # 113511

MFD 56TH AND OKLAHOMA RELO - A

5600 W. OKLAHOMA MILWAUKEE, WI 53219

DRAWN BY	KSL
CHECKED BY	FAZ
DATE	12/06/22
PROJECT #	225-112

SHEET TITLE
SHELTER ROOF PLAN

SHEET NUMBER
C-2

