

# Certificate of Appropriateness

**LIVING WITH HISTORY**

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

**City of Milwaukee, owner**

**805 N. 28TH ST., Concordia Historic District**

**Description of work**

Remove existing front porch railings and spindles. Install new front porch and upper porch railings. Install new front stairs and newel posts. Replace any damaged or missing wood sidewall shingles. New skirting and risers on rear porch.

**Date issued**

6/9/2011

PTS ID 72426 COA, PORCH AND SIDING REPAIRS

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All work will be done according to attached drawings, photos and specifications. All finish wood will be smooth and free of knots and sapwood. All wood will be painted upon completion. Please note that research has shown that when new, bare wood is left exposed to the exterior elements for a period of only a week or two, the life of the paint job applied over it will be decreased.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-3004 E-mail: [pjakub@milwaukee.gov](mailto:pjakub@milwaukee.gov).

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, [www.mkdcd.org/build](http://www.mkdcd.org/build), or call (414) 286-8230.

Paul Jakubovich  
City of Milwaukee Historic Preservation

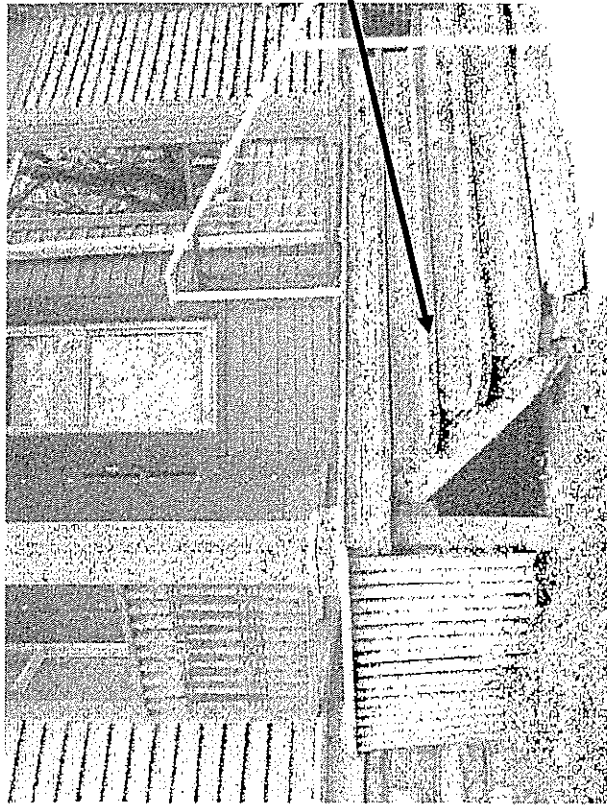
Copies to: Development Center, Ald. Robert Bauman, Inspector Joel Walloch (286-8160)

Replace upper porch railing and lower porch railings, deck railings, deck and steps.



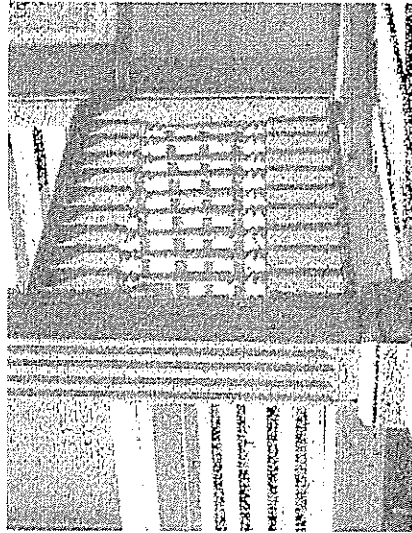
805 N. 28<sup>th</sup> St.

805 N. 28TH STREET



Front porch deck, steps and railings to be replaced

3. Front Porch (East Elevation) skirt and stairs

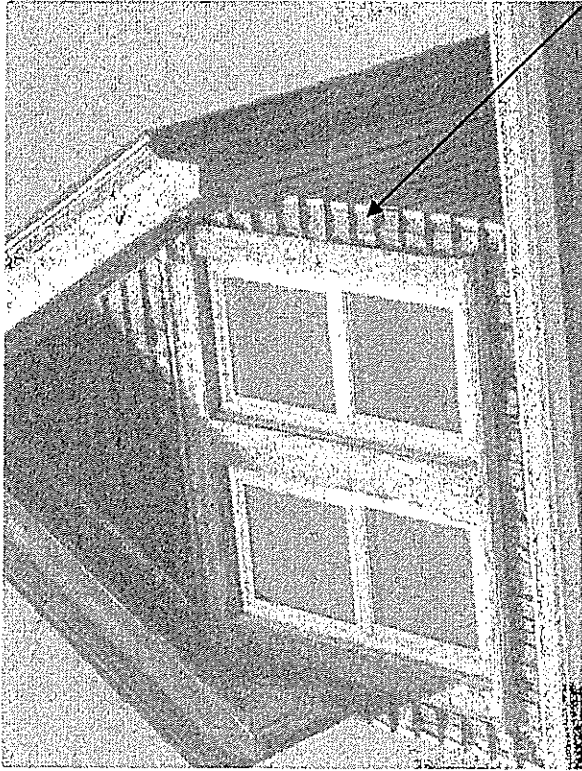


4. Front Porch south railing and column deterioration

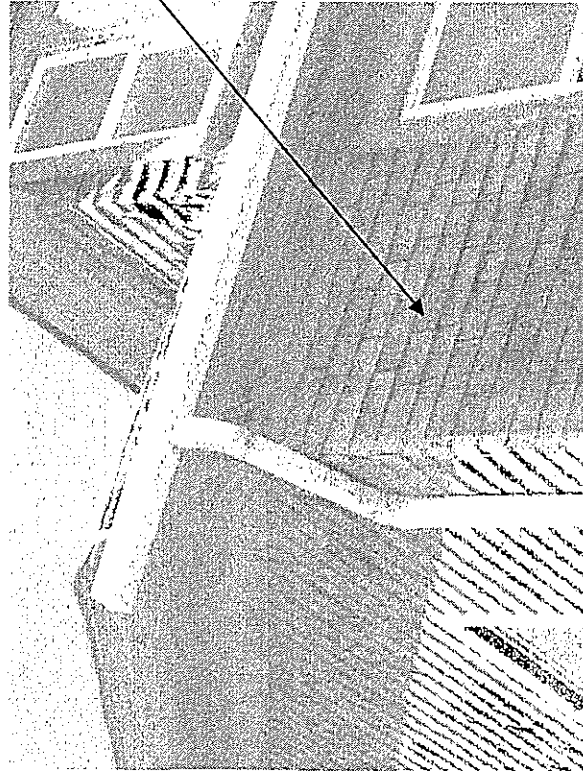


5. Front Porch north railing and column deterioration

805 N. 28TH STREET



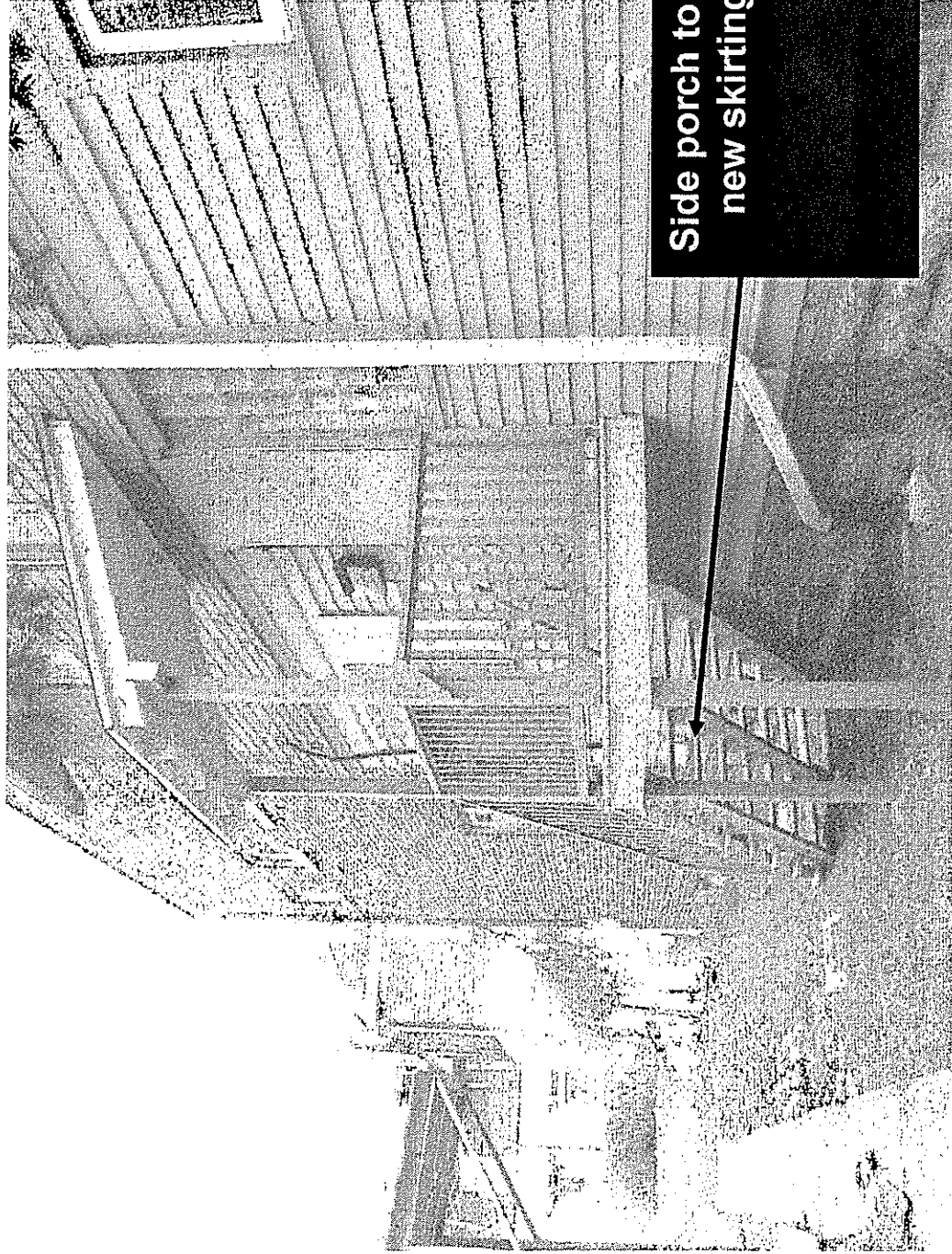
6. Northern-most Attic Dormer with wood shingle details above new K-Style gutter



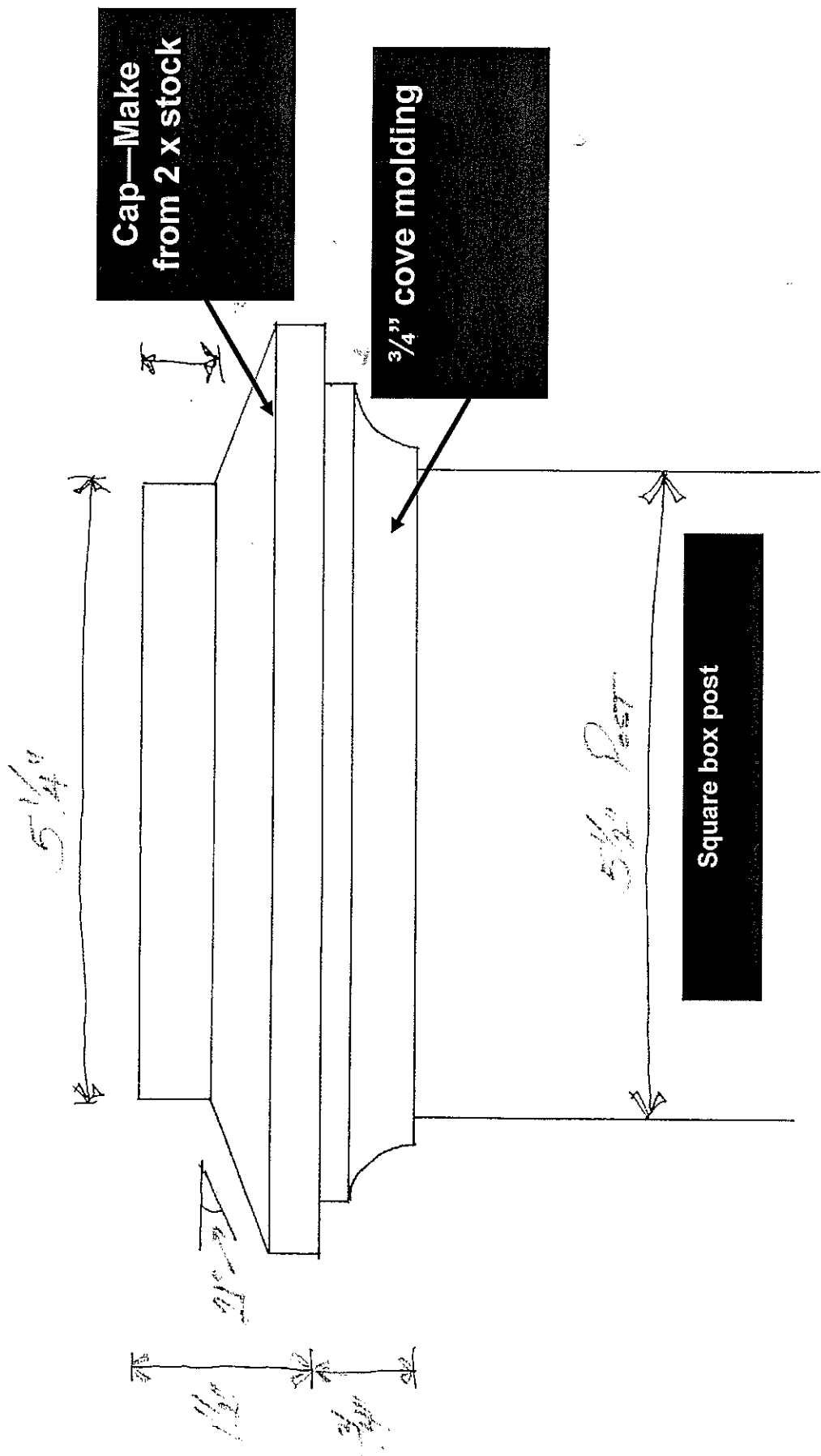
7. Second floor (South-East Elevation) cornice line connection showing new K-Style gutters and shingle deterioration

Wood sidewall shingling to be replaced as needed with new, matching wood shingles. All new shingles must be clear and free of knots and sapwood. Exposure of new shingles must match the original.

**805 N. 28TH STREET**



8. Rear Porch (West Elevation) roof, deck, railing, and stairs



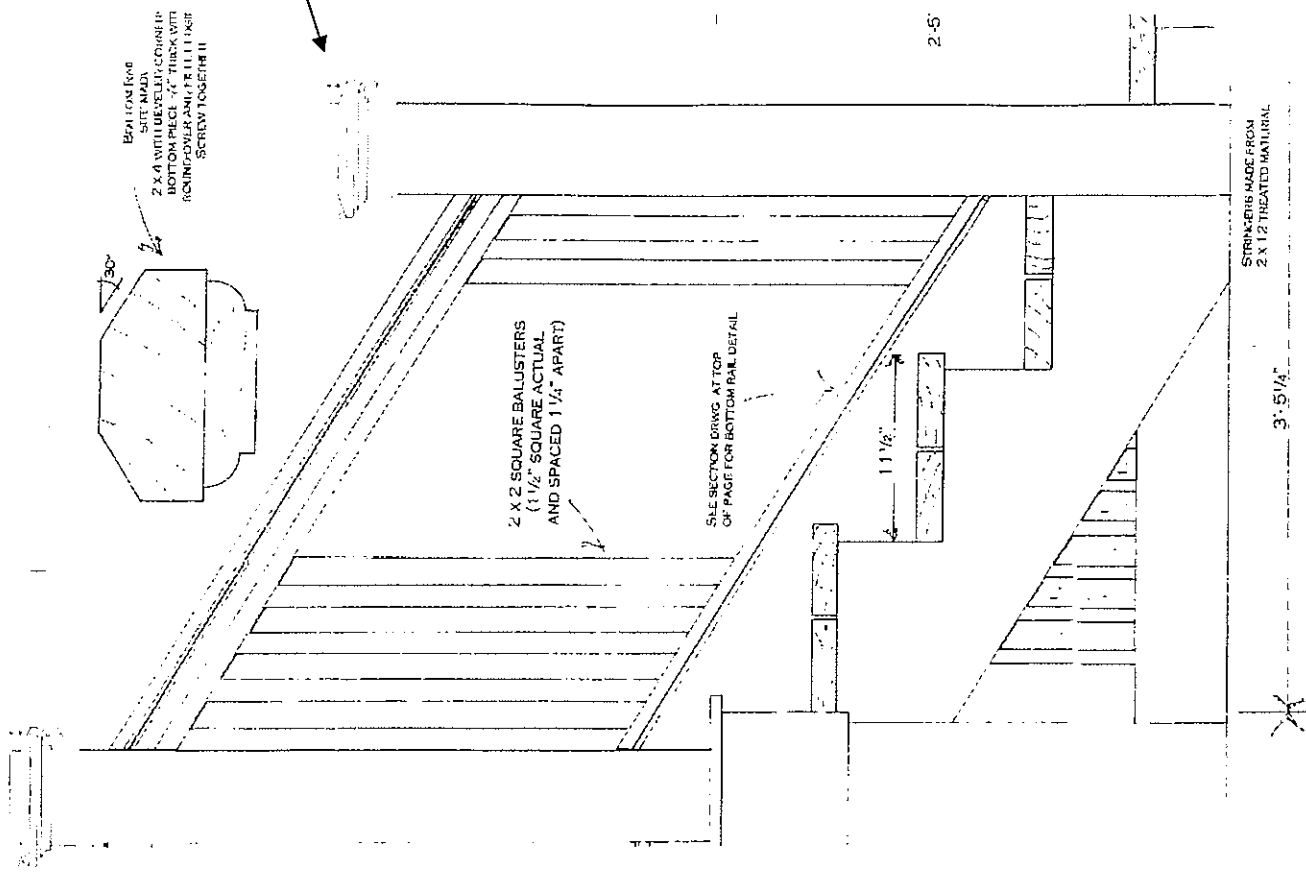
Cap—Make from 2 x stock

$3\frac{3}{4}''$  cove molding

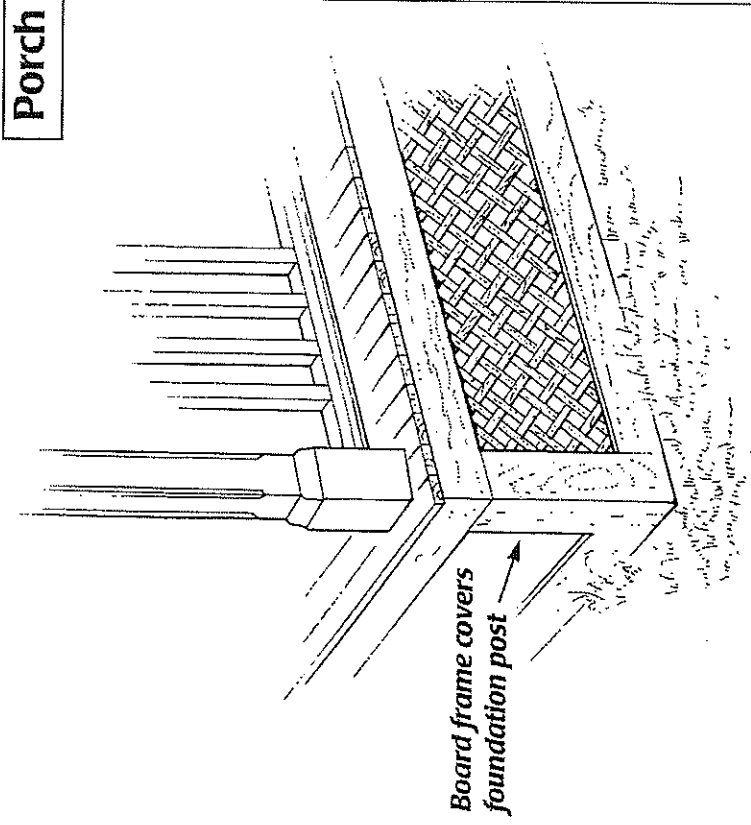
Square box post

Detail of post tops for all newels

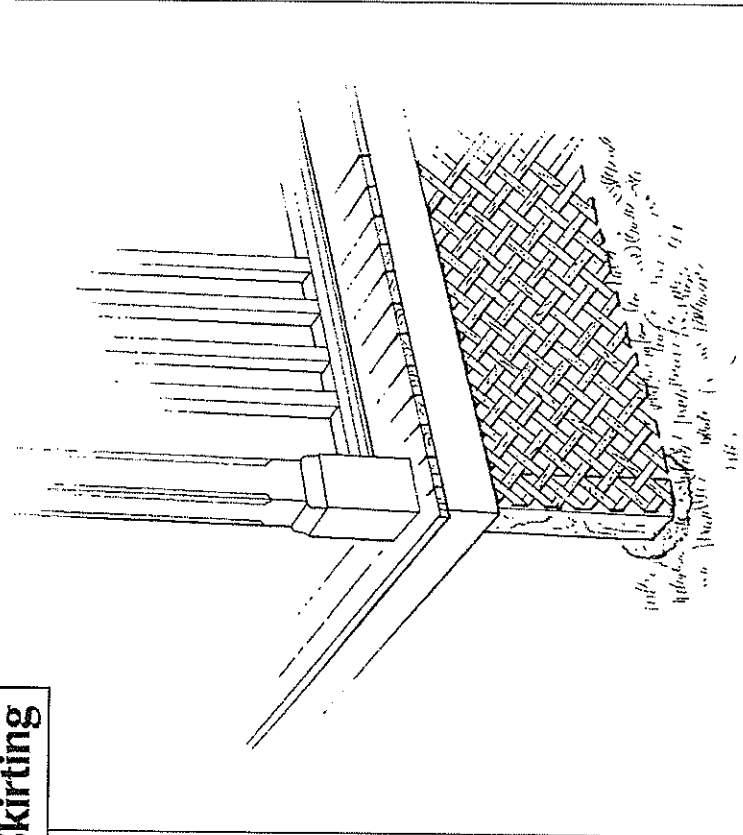
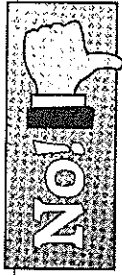
See detail above for post cap



All skirting must have a full frame. Pickets, 1-3/4" wide and spaced 3/4" apart can be substituted for the lattice infill shown here



Porch Skirting



Do not install a lattice skirting without a frame around it. The rough framing lumber that supports the porch will show through and the raw edges of the lattice look unfinished.

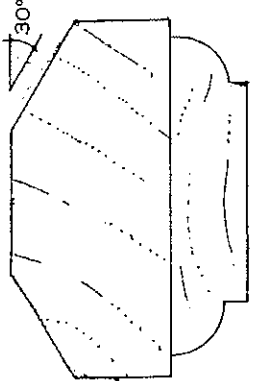
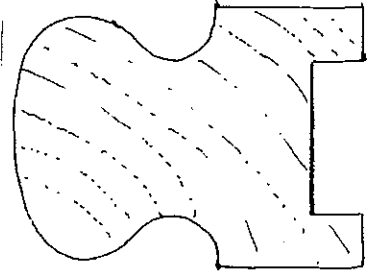
Skirting to be installed on front and rear



# Detail of top and bottom rails for porches

Note specs for spacing of balusters

GRASPABLE HANDRA  
CROWN SPECIALTY MOULD  
#HR-548  
[WWW.CROWN.SPECIALTY.MOUL](http://WWW.CROWN.SPECIALTY.MOUL)  
608-290-1338  
MILTON, WI



BTOM RAIL  
ITE MADE  
BEVELED CORNERS  
ECE 3/4" THICK WITH  
1 AND FILLET EDGING  
W TOGETHER

HANDRAIL ON STEP  
36" ABOVE NOSING

2 X 2 SQUARE BALUST  
(1 1/2" SQUARE ACTU,  
AND SPACED 1 1/4" APA

5T  
2V