



The Hills Luxury Commons - Phase V | Block C

MILWAUKEE, WISCONSIN | JUNE 16, 2017

ROYAL CAPITAL
Group LLC

Engberg
Anderson
ARCHITECTS

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**THE HILLS LUXURY
COMMONS- BLOCK C**

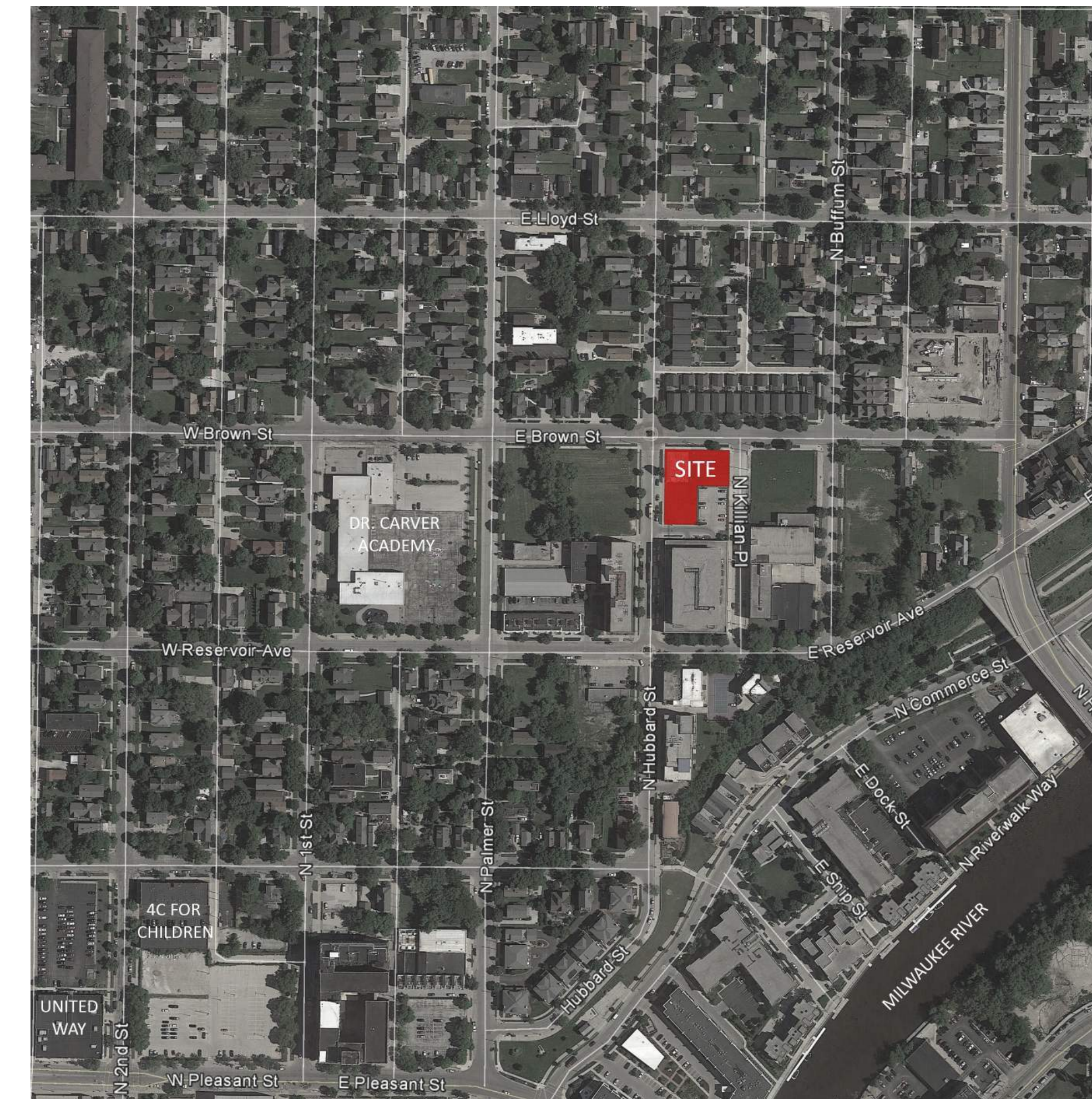
E. BROWN ST. AND N. HUBBARD ST.
MILWAUKEE, WI

Royal Capital Group, LLC.
710 E. Plankinton Ave, Suite 300
Milwaukee, WI 53203

PROJECT NUMBER 172715.02

ISSUED FOR:
REVIEW SET 06/16/17

REVISION FOR:
NO. DESCRIPTION DATE



VICINITY MAP



SITE IMAGES

**REVIEW SET - NOT FOR
CONSTRUCTION**

DRAWN BY _____ Author
CHECKED BY _____ Checker

ARCHITECTURAL
SITE PLAN, VICINITY
MAP & SITE PHOTOS

A001



GENERAL

- THE LOCATION OF ALL STRUCTURES, OBSTACLES, AND EXISTING FACILITIES SHALL NOT BE TAKEN AS CONCLUSIVE. IT SHALL BE ASSUMED THAT THE CONTRACTOR HAS VERIFIED SAID LOCATIONS AS A CONDITION OF HIS BID AND THEREFORE THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES RESULTING FROM HIS ACTIVITIES.
- ALL CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS NECESSARY TO CARRY OUT THEIR WORK.
- THE CONTRACTOR SHALL SUBMIT FOR APPROVAL BY THE OWNER A LIST OF ALL MATERIALS PROPOSED TO BE USED PRIOR TO ORDERING OR DELIVERY.
- ALL CONTRACTORS SHALL HAVE A COMPETENT FOREMAN, SUPERINTENDENT, OR OTHER REPRESENTATIVE AT THE SITE AT ALL TIMES WHO HAS AUTHORITY TO ACT FOR THE CONTRACTOR.
- A PRE CONFERENCE WILL BE HELD PRIOR TO CONSTRUCTION START UP.
- CONTRACTORS SHALL BE RESPONSIBLE FOR ADEQUATELY BARRICADING AREAS AND ERECTING A CONSTRUCTION FENCE AROUND THE PERIMETER OF THE SITE OF CONSTRUCTION TO PROTECT AGAINST PERSONAL INJURY AS WELL AS WARN TRAFFIC OF THE CONSTRUCTION SITE WHERE NECESSARY. SIGNING SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) MOST RECENT VERSION WITH WISDOT SUPPLEMENT. ALL OTHER SIGNS MUST BE PRE-APPROVED BY OWNER.
- ALL DIMENSIONS ARE TO THE EDGE OF FACE OF CURB, PAVEMENT, FACE OF BUILDING OR PROJECT WORK LIMIT LINE UNLESS OTHERWISE NOTED.
- ALL ROAD AND PAVING CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION - 2016 EDITION, HEREIN REFERRED TO AS THE STANDARD SPECIFICATIONS, EXCEPT AS MODIFIED HEREIN.
- WHERE SPECIFIC PORTIONS OF THESE PLANS & SPECIFICATIONS ARE IN CONFLICT WITH THE WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, 2016 EDITION, THESE PLANS & SPECIFICATIONS SHALL GOVERN.
- CONSTRUCTION WORK AND STORAGE OF EQUIPMENT OR MATERIALS WILL NOT BE ALLOWED IN WETLAND AREAS.
- A STREET EXCAVATION PERMIT WILL BE REQUIRED FOR WORK WITHIN THE PUBLIC RIGHT OF WAY/EASEMENTS. APPLICABLE PERMIT FEES WILL BE DETERMINED UPON RECEIPT OF THE PERMIT APPLICATION. COORDINATE PERMIT APPLICATION WITH XXXXXXXX, CITY OF MILWAUKEE DPW ENGINEERING INSPECTOR, AFTER FINAL PLAN APPROVAL.
- CITY OF MILWAUKEE PUBLIC WORKS INSPECTION IS NEEDED FOR ALL WORK WITHIN THE PUBLIC RIGHT OF WAY/EASEMENTS. CONTACT XXXXXXXX, INSPECTION SUPERVISOR 72 HOURS PRIOR TO SCHEDULING WORK.

GRADING

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTING THE PROPOSED ROADS, SIDEWALKS, CONCRETE SLAB, STORMWATER MANAGEMENT FACILITIES AND EROSION CONTROL DEVICES TO THE PROPOSED GRADE ELEVATIONS AND LOCATIONS SHOWN ON THE GRADING PLAN.
- THE CONTRACTOR SHALL STRIP AND REMOVE TOPSOIL FOUND WITHIN THE GRADING LIMITS. GRADE LANDSCAPE AREAS LOW TO ALLOW FOR PLACEMENT OF TOPSOIL, SEED, MULCH AND PLANTINGS BY LANDSCAPE CONTRACTOR PER THE LANDSCAPE SPECIFICATIONS AND PLANS.
- THE SUB GRADE FOR THE ROAD SHALL BE PREPARED IN ACCORDANCE WITH SECTION 31

22 16.15 OF THE CONTRACT SPECIFICATIONS. OPERATION OF SPREADING AND HAULING EQUIPMENT WILL NOT BE CONSIDERED AS ADEQUATE COMPACTION.

4. THE BASE COURSE SHALL BE PLACED ONLY ON SUB GRADE THAT HAS BEEN PROOF-ROLLED.

5. GRADING CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF EXISTING PROPERTY CORNERS AND PERTINENT AREAS WITHIN ALL EASEMENTS.

PAVING

- THE PAVING CONTRACTOR SHALL BE RESPONSIBLE FOR PLACING THE CRUSHED STONE BASE ON THE ROAD TO THE DEPTHS INDICATED.
- BASE COURSE IN PROPOSED ASPHALT PAVEMENT AREAS SHALL BE IN ACCORDANCE WITH THE SITE PLAN AND THE TYPICAL PAVEMENT SECTION SHOWN ON THE DETAIL DRAWING. THE CRUSHED STONE SHALL MEET THE REQUIREMENTS OF SECTION 305.1 1/4-INCH GRADATION OF THE STANDARD SPECIFICATIONS. THE BASE COURSE SHALL BE COMPACTED USING ROLLERS, VIBRATORY ROLLERS, OR A COMBINATION OF BOTH AS DETAILED IN SECTION 305 OF THE STANDARD SPECIFICATIONS.
- PRIOR TO PLACING THE ASPHALT PAVEMENT, THE SURFACE OF THE CRUSHED STONE BASE COURSE SHALL BE GRADED TO PROPER ELEVATION AND CROWN AND COMPACTED IN ACCORDANCE WITH SECTION 305.3.2 OF THE STANDARD SPECIFICATIONS.
- EQUIPMENT UTILIZED IN THE MIXING, TRANSPORT, LAYING AND COMPACTING OF THE ASPHALT BINDER AND SURFACE COURSES SHALL COMPLY WITH SECTION 450 OF THE STANDARD SPECIFICATIONS. SUFFICIENT EQUIPMENT IN GOOD OPERATING CONDITION SHALL BE MAINTAINED AT THE SITE AT ALL TIMES TO PERFORM THE WORK WITH NO DELAYS.
- ASPHALT LOWER LAYER AND UPPER LAYER SHALL BE INSTALLED IN ACCORDANCE WITH PROJECT SPECIFICATIONS AND WITH SECTIONS 455, 460, AND 465 OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, 2016 EDITION.
- PRIOR TO PLACING THE SURFACE COURSE, THE PAVING CONTRACTOR SHALL REMOVE ALL FOREIGN MATTER FROM THE SURFACE OF THE UPPER LAYER AND REPAIR, BY SAW CUTTING, REMOVAL AND REPLACEMENT, ANY DEPRESSION OR SIGNS OF FAILURE AND ALL SURFACE IRREGULARITIES AS DIRECTED BY THE ENGINEER. A TACK COAT SHALL BE APPLIED PRIOR TO PLACEMENT OF THE SURFACE COURSE.
- TO AVOID HAVING LONGITUDINAL JOINTS IN THE UPPER LAYER, THE UPPER LAYER SHALL BE PLACED WITH PASS WIDTHS SUCH THAT THE LONGITUDINAL JOINTS ARE OFFSET A MINIMUM OF ONE FOOT. JOINTS SHALL BE TACKED PRIOR TO LAYING NEW ASPHALT.

SIDEWALK AND MISCELLANEOUS

- WHERE INDICATED ON THE PLANS, INSTALL CONCRETE SIDEWALK IN ACCORDANCE WITH CONTRACT SPECIFICATION 32 16 00.
- ALL SURPLUS EXCAVATED MATERIAL SHALL BE COORDINATED WITH THE GENERAL CONTRACTOR FOR ITS TEMPORARY LOCATION.

SANITARY AND WATER SERVICES

- ALL SANITARY AND WATER SERVICE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CONTRACT SPECIFICATIONS AND CITY OF MILWAUKEE STANDARDS. REFERENCES ARE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (2003 EDITION): ADDENDUM NO. 1 AND NO. 2, 2004). REGULATIONS OF THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES (DSPS) (SPS 382) FOR PRIVATE DEVELOPMENT WORK.
- ALL PIPE MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FOLLOWING: SEE CONTRACT SPECIFICATIONS FOR DETAILS.

A. SANITARY LATERAL - SECTION 33 30 00 FOR PVC PIPE, ASTM D3034, SDR 35.

B. HYDRANT LEADS - SECTION 33 10 00 FOR PVC PIPE, AWWA C-900, CLASS 235 (DR-18).

C. WATER SERVICE - SECTION 33 10 00 FOR PVC PIPE, AWWA C-900, CLASS 235 (DR-18).

3. ALL SANITARY PIPE JOINT CONNECTIONS SHALL BE PUSH-ON RUBBER GASKET. ALL WATER FITTINGS SHALL CONFORM TO SPECIFICATION SECTION 33 10 00. OFFSET FITTINGS SHALL BE MEGA-LUGS OR EQUAL.

4. WATER VALVES SHALL BE EITHER AFC SERIES 2500, CLOW F-6100, MUELLER 2360-20, KENNEDY KEN-SEAL OR M&H RESILIENT WEDGE GATE VALVES WITH STAINLESS STEEL BOLTS, MEETING THE REQUIREMENTS OF AWWA C-509 AND IN ACCORDANCE WITH SECTION 33 10 00.

5. BACKFILL MATERIAL FOR WATER UTILITIES SHALL BE CRUSHED STONE BACKFILL (CONTRACT SPECIFICATION SECTION 33 10 00) UNDER PAVED SURFACES OR SPOIL (STANDARD SPEC SECTION 8.43.5) UNDER LANDSCAPED AREAS.

6. HYDRANTS SHALL BE EITHER CLOW MEDALLION, MUELLER CENTURIAN, WATEREOUS PACER, OR KENNEDY GUARDIAN, MEETING THE REQUIREMENTS OF AWWA C-502 AND IN ACCORDANCE WITH SECTION 33 10 00 OF CONTRACT SPECIFICATIONS. HYDRANTS SHALL HAVE BRONZE ON BRONZE SEAT, BRONZE UPPER VALVE PLATE, BREAK AWAY FLANGE, OIL OR GREASE RESERVOIR, 5-1/2 INCH VALVE OPENING, TWO 2-1/2 INCH HOSE NOZZLES AND ONE 4-1/2 INCH PUMPER NOZZLE. STAINLESS STEEL BOLTS SHALL BE USED UNDERGROUND.

7. IF APPLICABLE, SHELL-TYPE CUTTER WITH MULTIPLE CUTTING TEETH SHALL BE USED FOR TAPPING SERVICE CONNECTIONS, AS FOLLOWS:

A. CORPORATION STOPS SHALL NOT BE LOCATED CLOSER THAN ONE (1) FOOT FROM PIPE JOINTS. INSERTIONS ON OPPOSITE SIDES OF THE MAIN SHALL BE SEPARATED BY MIN. OF ONE (1) FOOT.

B. TEFLON TAPE SHALL BE PLACED ON THE CORPORATION STOP THREADS PRIOR TO INSTALLATION.

8. CONTRACTOR SHALL INSTALL TRACER WIRE WITH ALL NON-METALLIC WATER UTILITIES IN ACCORDANCE WITH SECTION 33 10 00 OF SPECIFICATIONS. THIS INCLUDES ALL LATERALS, SERVICES AND BOXES.

UTILITY CONTACTS:
CITY OF MILWAUKEE (WATER & SEWER)
CITY OF MILWAUKEE (INSPECTION SUPERVISOR)
CITY OF MILWAUKEE (DPW ENGINEERING INSPECTOR)
CITY OF MILWAUKEE (CITY ENGINEER)
WE ENERGIES
EMERGENCY CONTACT
1-800-261-5325

HATCHING PATTERNS

	PROPOSED HMA PAVEMENT
	PROPOSED CONCRETE SIDEWALK
	REMOVE EXISTING ASPHALTIC PAVEMENT
	REMOVE EXISTING CONCRETE PAVEMENT/SIDEWALK
	GRAVEL
	RIP RAP
	STAGING AND STOCKPILE AREA
	STRUCTURE DEMOLITION
	STABILIZED CONSTRUCTION ENTRANCE
	LANDSCAPING

ABBREVIATIONS

AGG	- AGGREGATE
B/C	- BACK OF CURB
BIT	- BITUMINOUS/ASPHALT
CE	- COMMERCIAL ENTRANCE
CIP	- CAST IRON PIPE
CO	- CLEANOUT
CONC	- CONCRETE
CMP	- CORRUGATED METAL PIPE
CSP	- CONCRETE SEWER PIPE
CUC	- CITY UNDERGROUND CONDUIT
DIA	- DIAMETER
DIP	- DUCTILE IRON PIPE
EMD	- ELECTRICAL MANHOLE DRAIN
EXTG	- EXISTING
EOP	- EDGE OF PAVEMENT
F&C	- FRAME AND COVER
F/C	- FACE OF CURB
F-F	- FACE TO FACE
F/G	- FINISHED GRADE
FES	- FLARED END SECTION
INV	- INVERT
L	- LENGTH OF CURVE
LF	- LINEAR FT
LT	- LEFT
NG	- NATURAL GAS
OH	- OVERHEAD UTILITY
PC	- POINT OF CURVATURE
PE	- POLYETHYLENE PIPE
PI	- POINT OF INTERSECTION
PL	- PROPERTY LINE
PT	- POINT OF TANGENCY
PVC	- POLYVINYL CHLORIDE PIPE
PVI	- POINT OF VERTICAL INTERSECTION
R	- RADIUS
RCP	- REINFORCED CONCRETE PIPE
RIM	- TOP OF CASTING ELEVATION
ROW	- RIGHT OF WAY
RT	- RIGHT
SAN	- SANITARY SEWER
SS	- STORM SEWER
SD	- SUMP DISCHARGE
T/C	- TOP OF CURB
TW	- TOP OF WALL
UD	- UNDERDRAIN
VC	- VERTICAL CURVE
WDNR	- WISCONSIN DEPARTMENT OF NATURAL RESOURCES

LEGEND

EXISTING	PROPOSED	EXISTING	PROPOSED
			EROSION MATTING
			WETLAND IMPACT
			SAW CUT LINE
			CATCH CURB
			REJECT CURB
			PERIMETER SILT FENCE
			STRAW BALES
			INLET PROTECTION
			STRAW BALE/SILT FENCE INLET PROTECTION
			CANOPY / SHADE TREE
			SHRUB
			TREE CONIFEROUS, DECIDUOUS
			TREE REMOVAL
			BURIED WATER MAIN
			SANITARY SEWER
			STORM SEWER
			ROOF DRAIN
			OVERHEAD WIRES
			BURIED CABLE TV LINES
			BURIED ELECTRIC
			BURIED TELEPHONE
			FIBER OPTIC
			BURIED GAS MAIN
			COMBINED SEWER
			CONTOUR
			SPOT ELEVATION
			CAUTION
			PROPERTY LINE
			UTILITY EASEMENT
			SETBACK LINE
			EDGE OF WATER
			WETLAND BOUNDARY
			100 YEAR FLOOD BOUNDARY
			TOP OF WALL ELEVATION
			BOTTOM OF WALL ELEVATION
			CONTROL POINT
			NOTE: THIS IS STANDARD LEGEND. NOT ALL OF THE INFORMATION SHOWN ON THIS LEGEND IS NEEDED IN THESE CONTRACT DRAWINGS.

INDEX OF SHEETS

C001C	- GENERAL NOTES
C002C	- EXISTING CONDITIONS
AS101D30	- ALTA/NSPS LAND TITLE SURVEY
C110C	- EROSION CONTROL PLAN
C111C	- EROSION CONTROL DETAILS
C200C	- SITE PLAN
C300C	- GRADING PLAN
C400C	- UTILITY PLAN
C501C-504C	- CONSTRUCTION DETAILS

3636 North 124th Street
Wauwatosa, WI 53222
262-821-1171

CONSULTANT

CONSULTANT

CONSULTANT

TITLE: BLOCK C GENERAL NOTES AND LEGEND

PROJECT TITLE: THE HILLS LUXURY COMMONS - BLOCK C

CLIENT: ROYAL CAPITAL GROUP, LLC

PROJECT LOCATION: EAST BROWN ST. AND NORTH PALMER ST. MILWAUKEE, WI

REVISIONS	DATE	DESCRIPTION
01	05/11/17	CITY ZONING SUBMITTAL
DRAWN BY JAF	DATE 05/11/2017	
CHECKED BY CMB	DATE 05/11/2017	

GENERAL NOTES AND LEGEND

BLOCK C

C001C

SHEET 1
of
SHEET 13

PLAN NOTES:

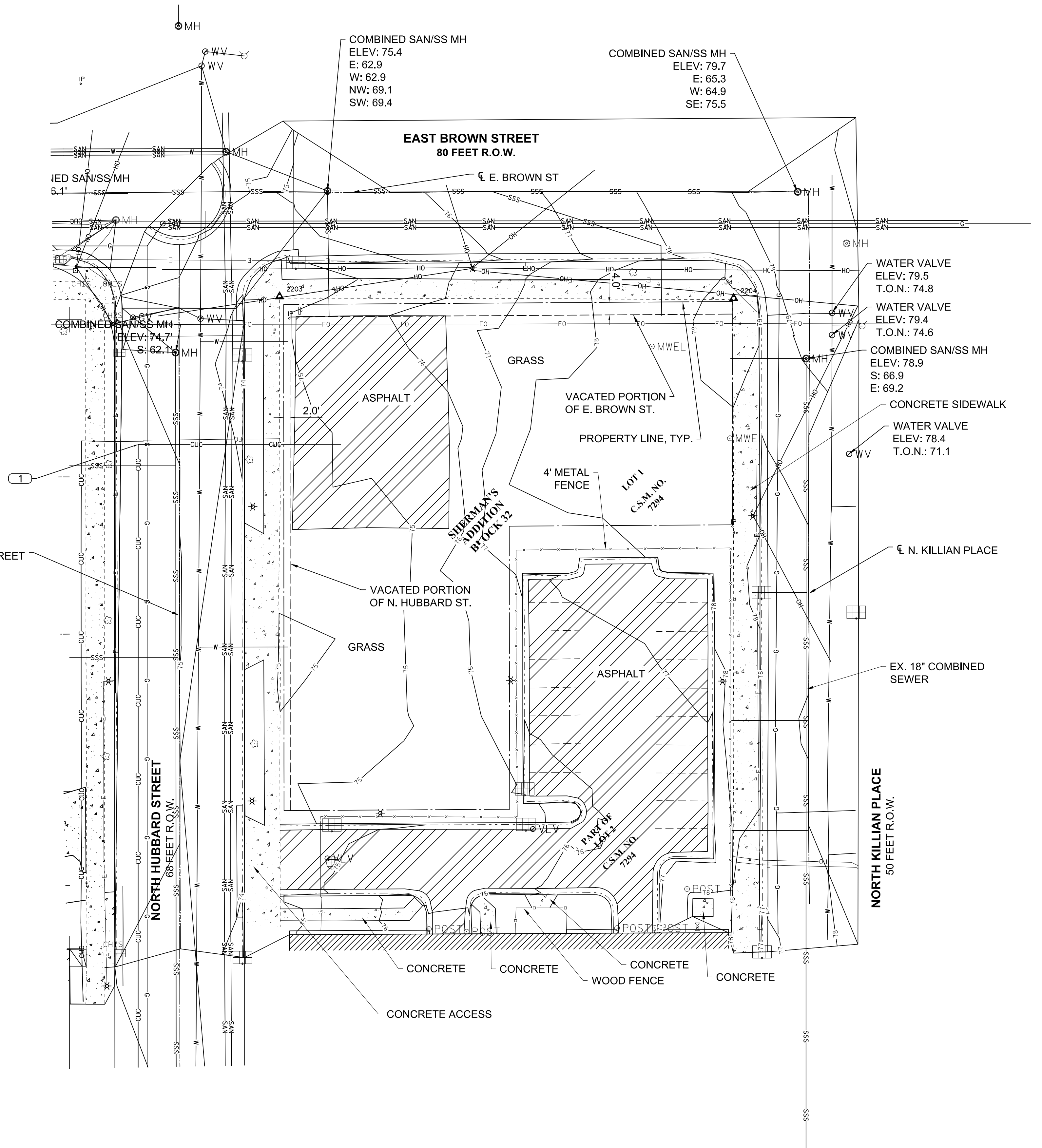
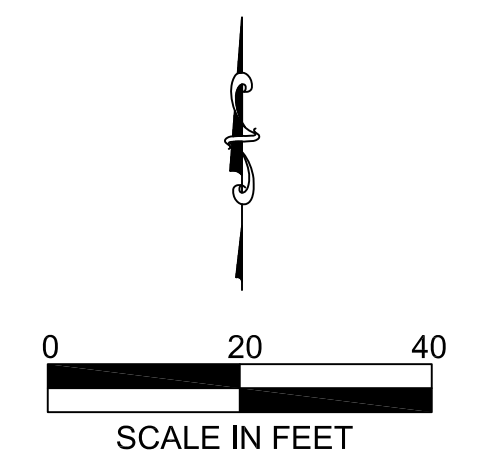
- CITY UNDERGROUND CONDUIT (CUC) SHALL REMAIN IN SERVICE. THIS CUC PACKAGE SHALL NOT BE EXPOSED OR UNDERMINED DURING THE CONSTRUCTION OF THE BLOCK B EAST AND WEST BUILDINGS INCLUDING THE SEWER LATERALS, WATER LATERALS, SIDEWALK AND/OR DRIVEWAYS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS INCLUDING TIGHT SHEATHING TO ENSURE THE CUC PACKAGE REMAINS INTACT, IN SERVICE AND WITHOUT DAMAGE.

NOTES:

- THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, UPON INFORMATION FURNISHED BY UTILITY COMPANIES, CITY OF MILWAUKEE, MILWAUKEE METROPOLITAN SEWERAGE DISTRICT, AND PRIVATE LOCATORS. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
- ALL EXISTING UTILITIES SHOWN ARE BASED ON FIELD MARKINGS/PRINTS PROVIDED BY DIGGER'S HOTLINE, OR RECORD DRAWINGS BY OTHERS. CONTRACTOR SHALL CONTACT DIGGER'S HOTLINE AT 811 OR 1-800-242-8511 PRIOR TO PERFORMING EARTH MOVING OR EXCAVATION ACTIVITIES. CONTRACTOR SHALL CONTACT ANY OTHER UTILITY WHICH MAY BE PRESENT WHICH ARE NOT PART OF THE ONE CALL SYSTEM.
- CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY LOCATIONS (VERTICALLY AND HORIZONTALLY) PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE DISCUSSED WITH THE ENGINEER.

SURVEY NOTES:

- HORIZONTAL DATUM: COORDINATE SYSTEM IS ASSUMED HOLDING THE NORTH LINE OF LOT 1, CSM NO. 6980 AS ASSUMED TO BEAR N89° 36' 30"E.
- VERTICAL DATUM: ELEVATIONS SHOWN ON THE PLAN ARE REFERENCED TO THE CITY OF MILWAUKEE STANDARD BENCH MARKS. CITY OF MILWAUKEE DATA ARE REFERENCED TO THE LEVEL OF THE MILWAUKEE RIVER AS IT WAS IN THE MONTH OF MARCH, 1836 A.D. ADD 580.603 TO PLACE ELEVATIONS ON THE NATIONAL GEODETIC VERTICAL DATUM (NGVD) OF 1929.



BENCHMARK TABLE

PT. NO.	NORTHING	EASTING	DESCRIPTION	ELEV.
2203	5007.292	5056.818	CP SET T	74.622
2204	5006.742	5201.200	CP SET T	79.294

CONSULTANT

CONSULTANT

CONSULTANT

TITLE: BLOCK C EXISTING CONDITIONS
PROJECT TITLE: THE HILLS LUXURY COMMONS - BLOCK C
CLIENT: ROYAL CAPITAL GROUP, LLC
PROJECT LOCATION: EAST BROWN ST. AND NORTH PALMER ST.
MILWAUKEE, WI

REVISIONS	DATE	DESCRIPTION
01	05/11/17	CITY ZONING SUBMITTAL

DRAWN BY JAF	DATE 05/11/2017
CHECKED BY CMB	DATE 05/11/2017

EXISTING CONDITIONS
BLOCK C

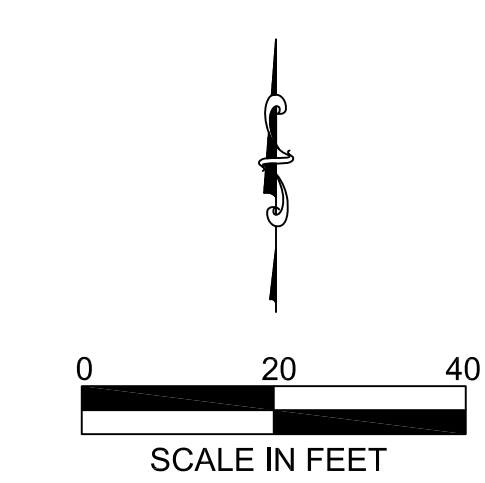
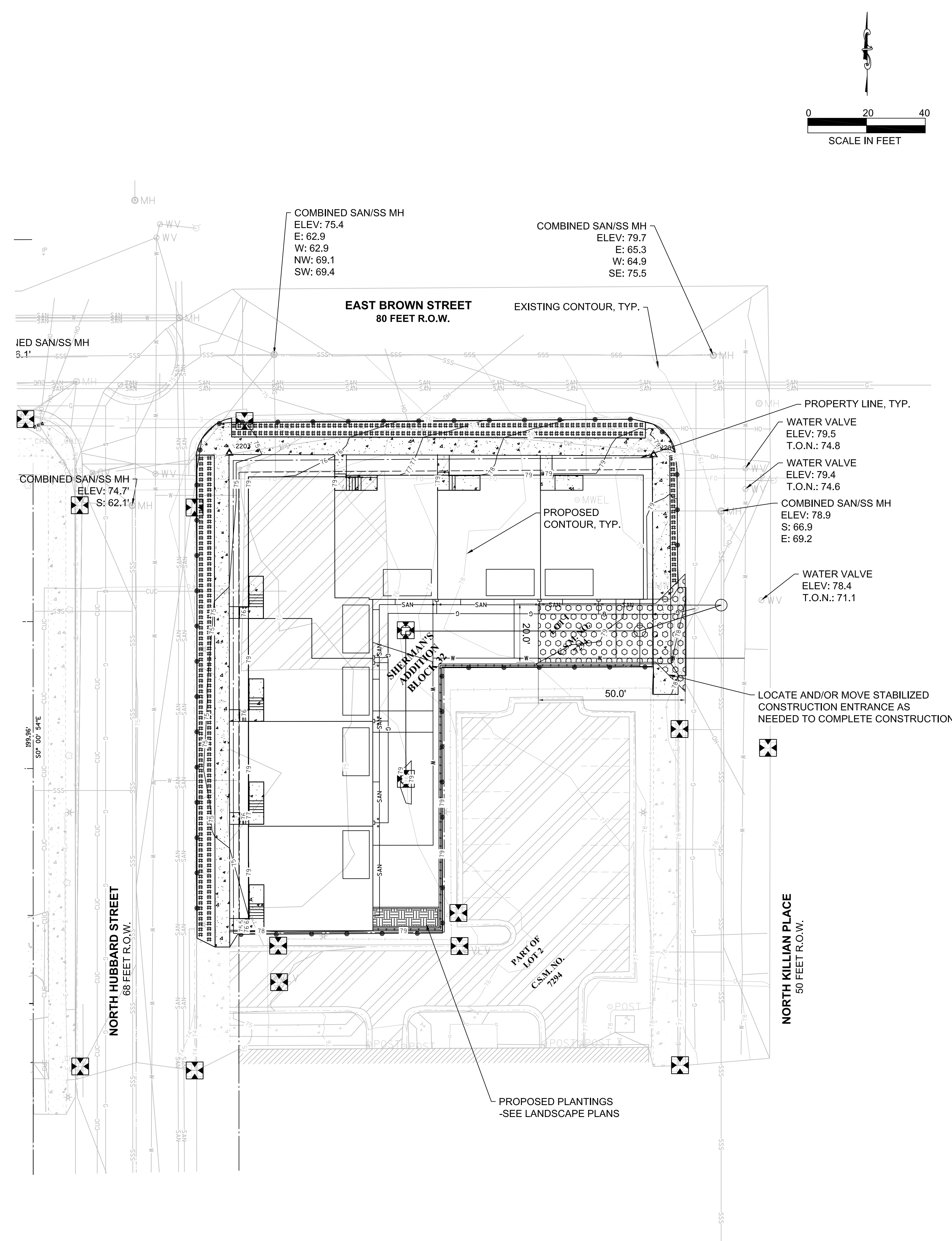
C002C

EROSION CONTROL NOTES

1. CONSTRUCTION SITE EROSION CONTROL AND SEDIMENTATION CONTROL SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF MILWAUKEE AND EMPLOY EROSION CONTROL METHODS AS SHOWN IN THE DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS WHICH CAN BE FOUND AT: http://dnr.wi.gov/topic/stormwater/standards/const_standards.html
 2. ALL EROSION CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND SHALL BE INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON THE SITE.
 3. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CHECKED FOR STABILITY AND OPERATION AFTER A RAINFALL OF 0.5" OR MORE, BUT NO LESS THAN ONCE EVERY WEEK. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEAN UP AND REMOVAL OF ALL SEDIMENT AND ALL SEDIMENT CONTROL STRUCTURES. EROSION CONTROL MEASURES MUST BE IN WORKING CONDITION AT END OF EACH DAY. ALL RECORDS OF THE INSPECTION AND MAINTENANCE OF EROSION CONTROL MEASURES SHALL BE KEPT BY THE OWNER'S REPRESENTATIVE RESPONSIBLE FOR EROSION CONTROL INSPECTIONS.
 4. INSPECT AND MAINTAIN ALL INSTALLED EROSION CONTROL PRACTICES UNTIL CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
 5. SILT FENCE SHALL BE INSTALLED IN HORSESHOE FASHION AROUND ALL TOPSOIL AND FILL STOCKPILES.
 6. ALL OFF-SITE SEDIMENT DEPOSITS FROM THIS PROJECT OCCURRING AS RESULT OF A STORM EVENT SHALL BE CLEANED UP BY END OF NEXT WORKING DAY. ALL OTHER OFF-SITE SEDIMENT DEPOSITS OCCURRING AS RESULT OF CONSTRUCTION ACTIVITIES SHALL BE CLEANED UP BY END OF THE WORK DAY.
 7. CONSTRUCTION SEQUENCE FOR EROSION CONTROL INCLUDES:
 - 7.1. INSTALL SILT FENCE.
 - 7.2. INSTALL INLET PROTECTION ON EXISTING STORM INLETS.
 - 7.3. INSTALL STABILIZED CONSTRUCTION ENTRANCE/EXIT.
 - 7.4. STRIP TOPSOIL, REMOVE AND/OR STOCKPILE.
 - 7.5. PERFORM ROUGH GRADING.
 - 7.6. INSTALL UTILITIES.
 - 7.7. INSTALL INLET PROTECTION.
 - 7.8. CONSTRUCT BUILDINGS.
 - 7.9. INSTALL PAVEMENTS.
 - 7.10. REMOVE ACCUMULATED SEDIMENT FROM SITE.
 - 7.11. REMOVE EROSION CONTROL MEASURES ONLY WHEN SITE IS FULLY STABILIZED.
 8. ALL EXPOSED SOIL AREAS NOT DISTURBED FOR UP TO SEVEN DAYS MUST BE IMMEDIATELY RESTORED WITH SEED AND MULCH.
 9. IMMEDIATELY STABILIZE ALL DISTURBED AREAS THAT WILL REMAIN INACTIVE FOR 14 DAYS OR LONGER. BETWEEN SEPTEMBER 15 AND OCTOBER 15; STABILIZE WITH MULCH, TACKIFIER, AND A PERENNIAL SEED MIXED WITH WINTER WHEAT, ANNUAL OATS OR ANNUAL RYE, AS APPROPRIATE FOR REGION AND SOIL TYPE. OCTOBER 15 THROUGH COLD WEATHER; STABILIZE WITH A POLYMER AND DORMANT SEED MIX, AS APPROPRIATE FOR REGION AND SOIL TYPE.
 10. RESTORATION OF ALL DISTURBED AREAS WITH SLOPES GREATER THAN 20% SHALL BE COMPLETED WITHIN 30 DAYS AFTER BEGINNING CONSTRUCTION ON SAID AREA.
 11. SWEEP/CLEAN UP ALL SEDIMENT/TRASH THAT MOVES OFF-SITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS BEFORE THE END OF THE SAME WORKDAY OR AS DIRECTED BY CITY OF MILWAUKEE/OWNER/ OR ENGINEER. SEPARATE SWEEPED MATERIALS (SOILS AND TRASH) AND DISPOSE OF APPROPRIATELY.
 12. CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST PER WDNR TECHNICAL STANDARD #1068 DUST CONTROL FOR CONSTRUCTION SITES.
 13. PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO RECEIVING CHANNEL.
 14. IF DEWATERING IS NEEDED, CONTRACTOR SHALL PROVIDE FOR SEDIMENT REMOVAL ACCORDING TO WDNR TECHNICAL STANDARD #1061. WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS, GRIT CHAMBERS, SAND FILTERS, UPSLOPE CHAMBERS, HYDRO-CYCLONES, SWIRL CONCENTRATORS, OR OTHER APPROPRIATE CONTROLS. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE OR RECEIVING CHANNELS.
 15. PROVIDE ANTI-SCOUR PROTECTION AND MAINTAIN NON-EROSIVE FLOW DURING DEWATERING. LIMIT PUMPING RATES, OR THE BASIN DESIGN RELEASE RATE WITH THE CORRECTLY FITTED HOSE AND GEOTEXTILE FILTER BAG. PERFORM DEWATERING OF ACCUMULATED SURFACE RUNOFF IN ACCORDANCE WITH WDNR TECHNICAL STANDARD #1061 DEWATERING.
 16. FOR NON-CANNELIZED FLOW ON DISTURBED OR CONSTRUCTED SLOPES, PROVIDE CLASS 1 TYPE B EROSION CONTROL MATTING. SELECT EROSION MATTING FROM APPROPRIATE MATRIX IN WISDOT'S PRODUCT ACCEPTABILITY LIST (PAL); INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARD #1052 NON-CANNEL EROSION MAT.
 17. MAKE PROVISIONS FOR WATERING DURING THE FIRST 8 WEEKS FOLLOWING SEEDING OR PLANTING OF DISTURBED AREAS WHENEVER MORE THAN 7 CONSECUTIVE DAYS OF DRY WEATHER OCCUR.
 18. INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES (SUCH AS TEMPORARY SEDIMENT BASINS, DITCH CHECKS, EROSION CONTROL MATTING, SILT FENCING, FILTER SOCKS, WATTLES, SWALES, ETC.) AS NEEDED OR AS DIRECTED BY CITY OF MILWAUKEE.
 19. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE WDNR REMEDIATION AND WASTE MANAGEMENT REQUIREMENTS FOR HANDLING AND DISPOSING OF CONTAMINATED MATERIALS. SITE-SPECIFIC INFORMATION FOR AREAS WITH KNOWN OR SUSPECTED SOIL AND/OR GROUNDWATER CONTAMINATION CAN BE FOUND ON WDNR'S BUREAU OF REMEDIATION AND REDEVELOPMENT TRACKING SYSTEM (BRRTS) PUBLIC DATABASE AT <http://dnr.wi.gov/topic/brownfields/botw.html>
 20. GRADING CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF EXISTING PROPERTY CORNERS AND PERTINENT AREAS WITHIN ALL EASEMENTS.
 21. CONTRACTOR IS RESPONSIBLE TO INSTALL ALL EROSION CONTROL DEVICES SHOWN ON THE PLANS IN ACCORDANCE WITH THE WDNR BEST MANAGEMENT PRACTICES.
 22. PARKING LOTS AND DRIVES SHALL BE CLEANED DAILY AS NEEDED. STREET SWEEPING SHALL BE COMPLETED TO MAINTAIN THE PUBLIC STREET FREE OF DUST AND DIRT.
 23. CONTRACTOR SHALL SEED & MULCH ALL DISTURBED AREAS WITHIN 7 DAYS.
 24. SEE LANDSCAPING PLAN FOR RESTORATION.
- ANTICIPATED START OF CONSTRUCTION: XX
 ANTICIPATED CONSTRUCTION DURATION: XX MONTHS
 ANTICIPATED END OF CONSTRUCTION: XX

LEGEND

	SEED AND EROSION MAT	
	STABILIZED CONSTRUCTION ENTRANCE	
	SILT FENCE	
	INLET PROTECTION, TYPE D	



KSingh Engineers
Scientists
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3636 North 124th Street
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TITLE: BLOCK C EROSION CONTROL PLAN

PROJECT TITLE: THE HILLS LUXURY COMMONS - BLOCK C

CLIENT: ROYAL CAPITAL GROUP, LLC

PROJECT LOCATION: EAST BROWN ST. AND NORTH PALMER ST. MILWAUKEE, WI

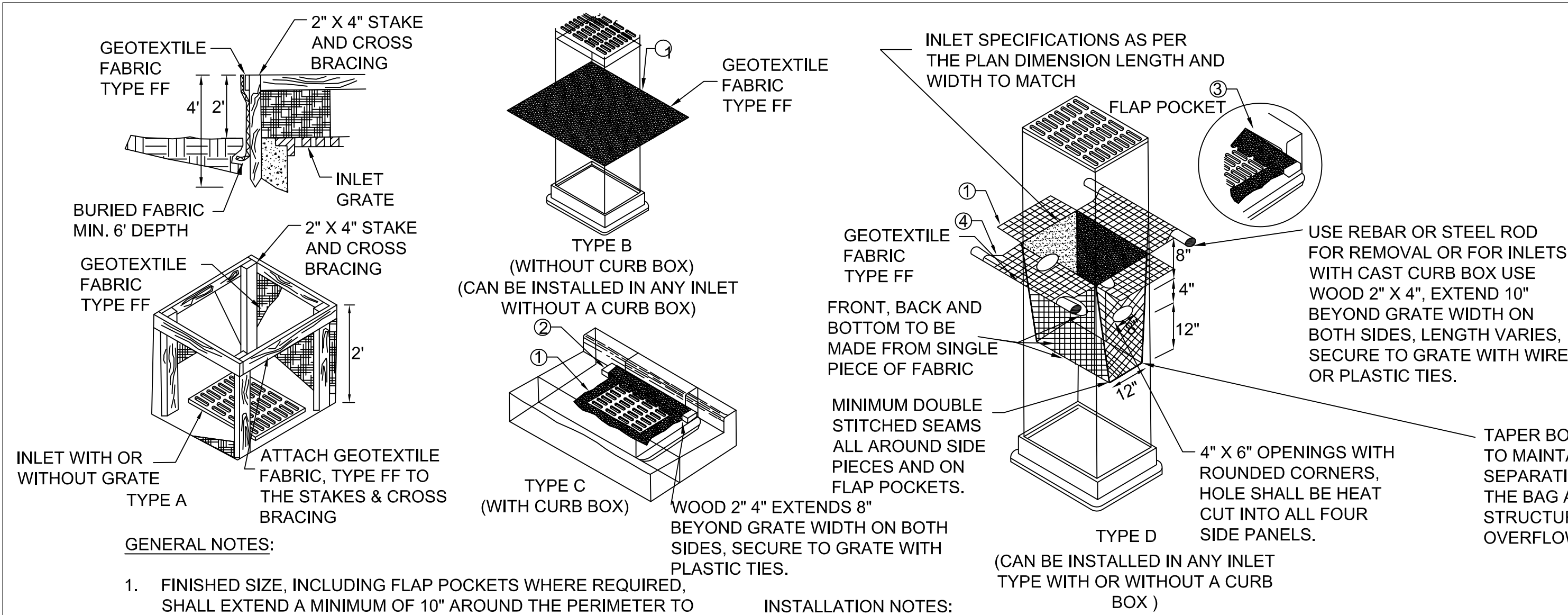
REVISIONS	DATE	DESCRIPTION
01	05/11/17	CITY ZONING SUBMITTAL

DRAWN BY: JAF DATE: 05/11/2017

CHECKED BY: CMB DATE: 05/11/2017

**EROSION CONTROL PLAN
BLOCK C**

C110C



GENERAL NOTES:

1. FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
2. FOR INLET PROTECTION, TYPE C (WITH CURB BOX) AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
3. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2"x4". THE REBAR, STEEL PIPE OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.
4. FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
5. INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.
6. MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.
7. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

INSTALLATION NOTES:

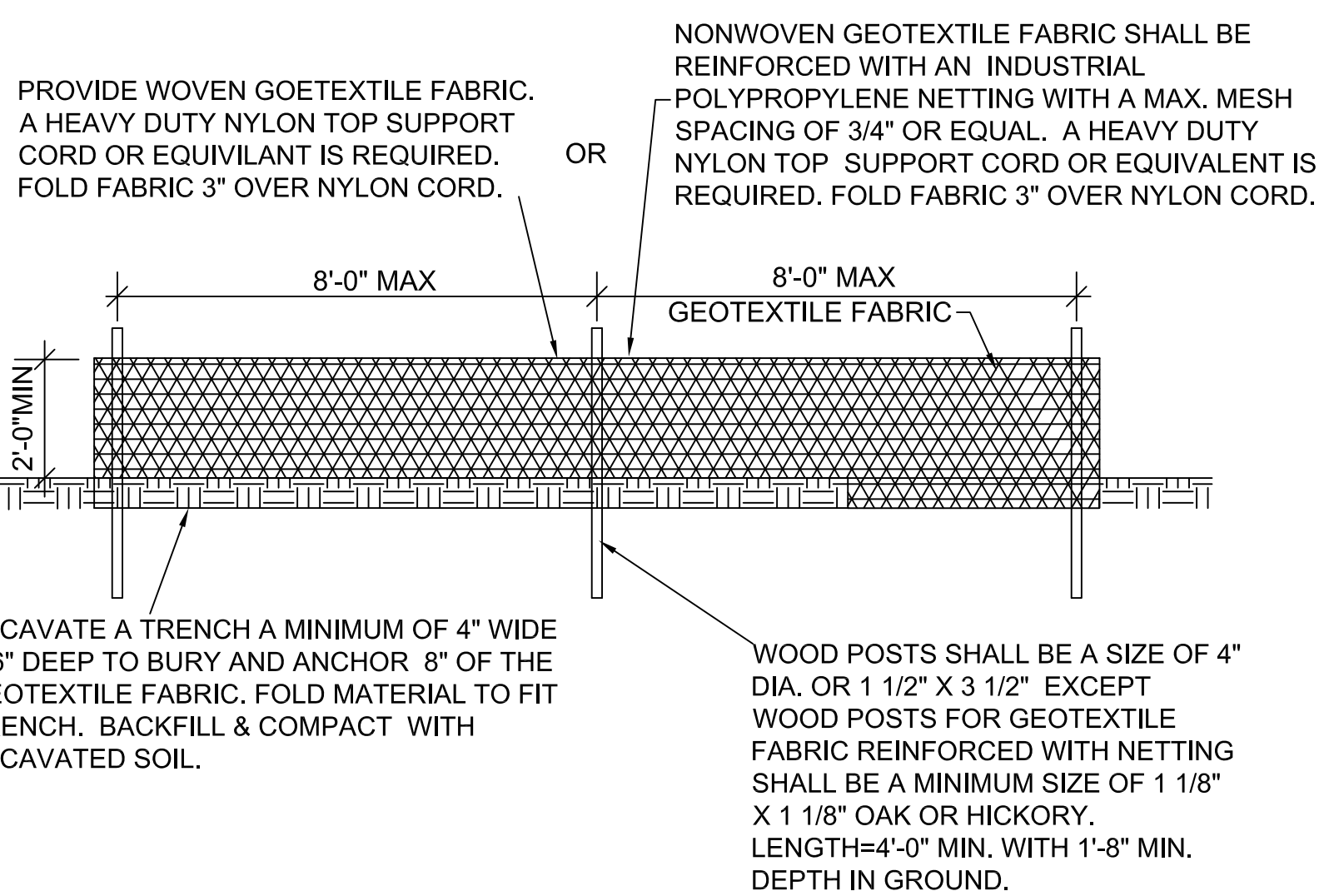
TYPE B & C

1. TYPE FF GEOTEXTILE FABRIC (EXTEND FABRIC A MINIMUM OF 10" AROUND GRATE PERIMETER FOR MAINTENANCE OR REMOVAL.
2. THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

TYPE D

1. DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.
2. THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

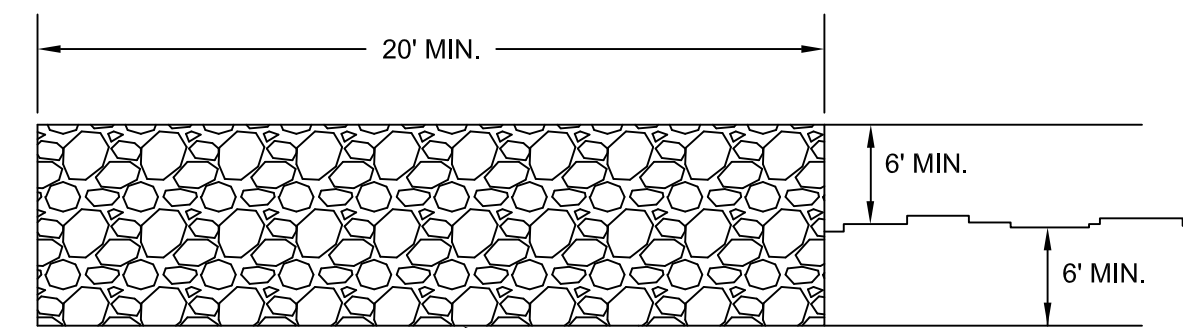
1
C111 INLET PROTECTION
NTS



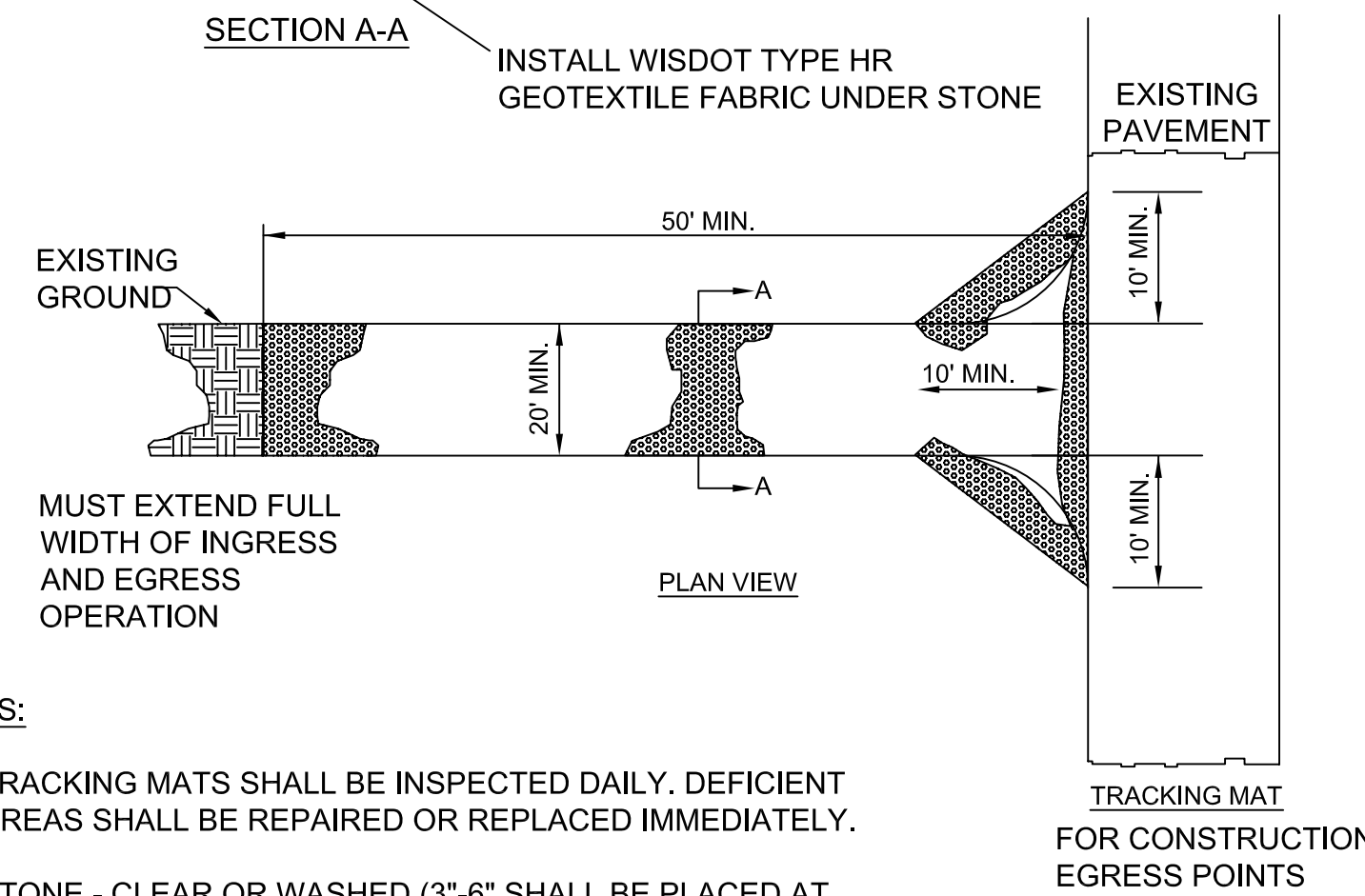
NOTES:

1. CONTRACTOR SHALL INSPECT SILT FENCE DAILY AND REPAIR OR REPLACE AS NEEDED. SEDIMENT SHALL BE REMOVED AND PROPERLY DISPOSED OF WHEN DEPOSITS REACH 1/2 THE HEIGHT OF THE FENCE.
2. ATTACH THE FABRIC TO THE POSTS WITH WIRE STAPLES OR WOODEN LATH AND NAILS.

3
C111 SILT FENCE
NTS



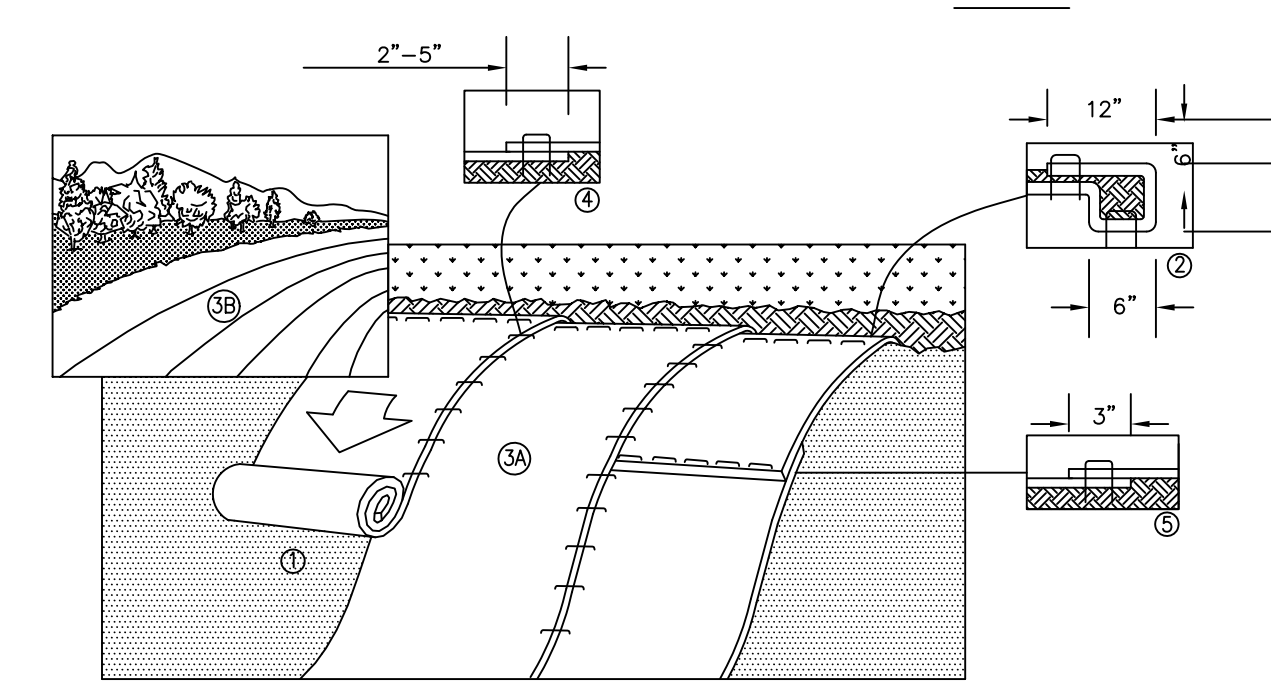
2
C111 EROSION MAT INSTALLATION
NTS



NOTES:

1. TRACKING MATS SHALL BE INSPECTED DAILY. DEFICIENT AREAS SHALL BE REPAIRED OR REPLACED IMMEDIATELY.
2. STONE - CLEAR OR WASHED (3"-6" SHALL BE PLACED AT LEAST 12" DEEP OVER THE LENGTH AND WIDTH OF ENTRANCE).
3. SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND MINIMUM OF 6" OF STONE OVER THE PIPE TO BE SIZED ACCORDING TO THE DRAINAGE. WHEN THE SCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY, A PIPE WILL NOT BE NECESSARY. PIPE SHOULD BE SIZED ACCORDING TO THE AMOUNT OF RUNOFF TO BE CONVEYED. A 6" MINIMUM WILL BE REQUIRED.
4. LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED AT EVERY POINT WHERE CONSTRUCTION TRAFFIC ENTERS OR LEAVES A CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE STABILIZED CONSTRUCTION ENTRANCE.

4
C111 STABILIZED CONSTRUCTION ENTRANCE
NTS



SLOPE INSTALLATION

1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" (15CM) DEEP X 6" (15CM) WIDE TRENCH WITH APPROXIMATELY 12" (30CM) OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30CM) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30CM) PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30CM) APART ACROSS THE WIDTH OF THE BLANKET.
3. ROLL THE BLANKETS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2"-5" (5CM-12.5CM) OVERLAP DEPENDING ON BLANKET TYPE. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
5. CONSECUTIVE BLANKETS SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5CM) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30CM) APART ACROSS ENTIRE BLANKET WIDTH.

NOTES:

1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. DO NOT SCALE DRAWINGS.
3. IN LOOSE SOIL CONDITIONS THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15CM) MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.

TITLE: BLOCK C EROSION CONTROL DETAILS
PROJECT TITLE: THE HILLS LUXURY COMMONS - BLOCK C
CLIENT: ROYAL CAPITAL GROUP, LLC
PROJECT LOCATION: EAST BROWN ST. AND NORTH PALMER ST.
MILWAUKEE, WI

REVISIONS	DATE	DESCRIPTION
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DRAWN BY JAF	DATE 05/11/2017
CHECKED BY CMB	DATE 05/11/2017

**EROSION CONTROL DETAILS
BLOCK C**

C111C

GENERAL NOTES:

1. ALL DIMENSIONS AND CURB RADII ARE TO THE FACE OF CURB, EDGE OF PAVEMENT, FACE OF BUILDING OR PROJECT WORK LIMIT; UNLESS STATED OTHERWISE.
2. CONTRACTOR TO ENSURE THAT ALL EXTERIOR CONCRETE SLABS ARE BROOM FINISHED.
3. REFER TO LANDSCAPE PLANS FOR RESTORATION IN LANDSCAPED AREAS.

BUILDING USE & HEIGHT:

BUILDING USE = MULTIFAMILY RESIDENTIAL
 BUILDING HEIGHT = 2 STORIES, 28'-8" ABOVE GRADE AT HIGHEST POINT

BUILDING AREA:

BUILDING - FIRST FLOOR AREA: 9,900 S.F.

TOTAL FIRST FLOOR AREA: 9,900 S.F.

SITE DATA:

TOTAL AREA OF LOTS = 16,577 S.F. = 0.38 ACRES
 TOTAL DISTURBED AREA (PROJECT LIMITS) = 22,500 S.F. = 0.52 ACRES
 IMPERVIOUS AREA BEFORE CONSTRUCTION = 3,300 S.F. = 0.076 ACRES
 IMPERVIOUS AFTER CONSTRUCTION = 14,740 S.F. = 0.34 ACRES
 IMPERVIOUS INCREASE = 11,440 S.F. = 0.26 ACRES

GREEN SPACE:

LOT:
 AREA = 16,577 S.F.
 GREEN SPACE = 1,837 S.F.
 11.1% GREEN SPACE

PARKING DATA:

TOTAL GARAGES = 7

PARCEL ADDRESS:

301 E. BROWN STREET
 MILWAUKEE, WI 53202

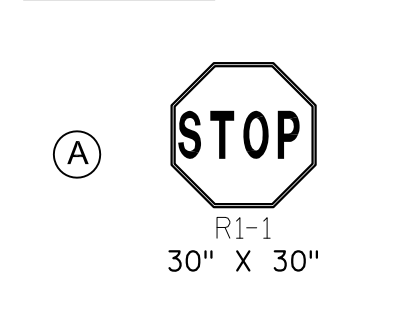
ZONING:

CURRENTLY: PLANNED DEVELOPMENT (PD)
 PROPOSED: PLANNED DEVELOPMENT (PD)

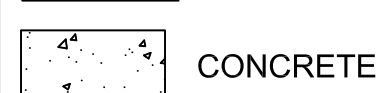
PLAN NOTES:

1. CITY UNDERGROUND CONDUIT (CUC) SHALL REMAIN IN SERVICE. THIS CUC PACKAGE SHALL NOT BE EXPOSED OR UNDERMINED DURING THE CONSTRUCTION OF THE BLOCK B EAST AND WEST BUILDINGS INCLUDING THE SEWER LATERALS, WATER LATERALS, SIDEWALK AND/OR DRIVEWAYS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS INCLUDING TIGHT SHEATHING TO ENSURE THE CUC PACKAGE REMAINS INTACT, IN SERVICE AND WITHOUT DAMAGE.
2. 5" CONCRETE SIDEWALK, SEE DETAIL 1, SHEET C501C.
3. 7" THICK CONCRETE SLABS AT DRIVEWAY APPROACHES, SEE DETAIL 3, SHEET C501C.
4. R1-1 STOP SIGN SIZE 6, TUBULAR STEEL POST, SEE DETAIL 1, SHEET C504C.
5. HMA PAVEMENT CONSISTS OF 4" OF ASPHALTIC PAVEMENT TYPE E-1 ON 4" OF DENSE GRADED 1 1/4-INCH ON 8" DENSE GRADED 3-INCH, SEE DETAIL 2, SHEET C501C.
6. CONCRETE STEPS, SEE DETAIL 4, SHEET C501C.
7. BOLLARD (TYP.), SEE DETAIL 3, SHEET C502C.
8. MODULAR BLOCK WALL, SEE DETAIL 1, SHEET C502C.
9. 6-INCH VERTICAL CONCRETE CURB, SEE DETAIL 4, SHEET C502C.

SIGN KEY:

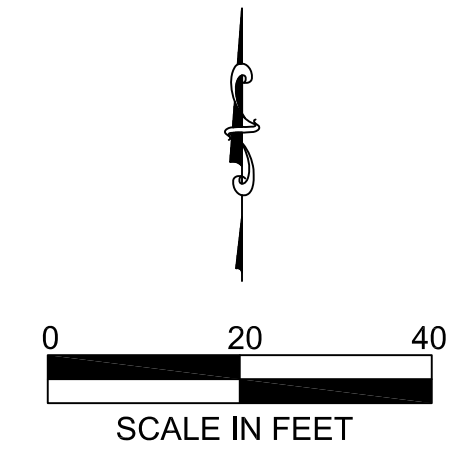
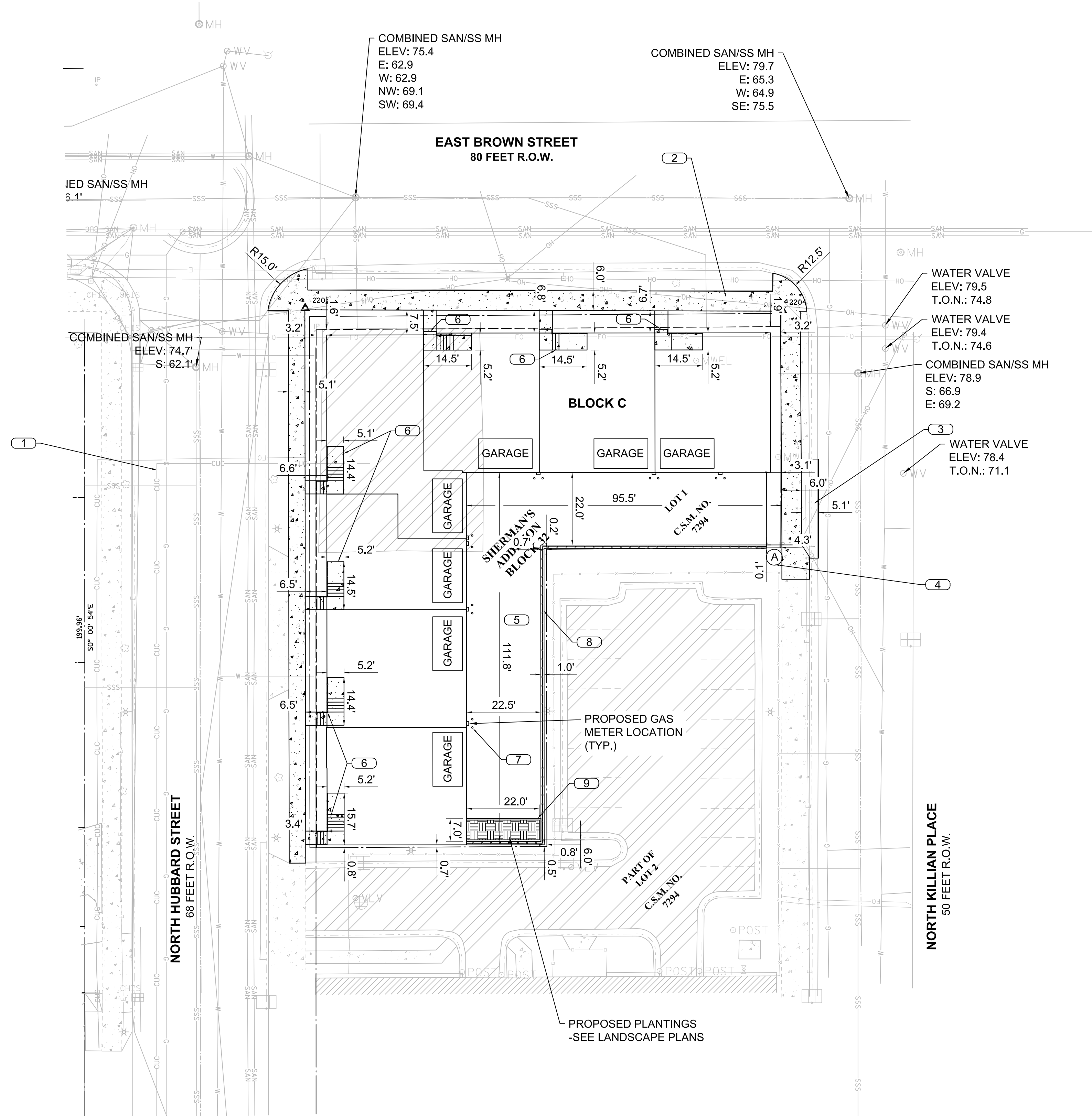


LEGEND



SURVEY NOTES:

1. HORIZONTAL DATUM: COORDINATE SYSTEM IS ASSUMED HOLDING THE NORTH LINE OF LOT 1, CSM NO. 6980 AS ASSUMED TO BEAR N89° 36' 30"E.
2. VERTICAL DATUM: ELEVATIONS SHOWN ON THE PLAN ARE REFERENCED TO THE CITY OF MILWAUKEE STANDARD BENCH MARKS. CITY OF MILWAUKEE DATA ARE REFERENCED TO THE LEVEL OF THE MILWAUKEE RIVER AS IT WAS IN THE MONTH OF MARCH, 1836 A.D. ADD 580.603 TO PLACE ELEVATIONS ON THE NATIONAL GEODETIC VERTICAL DATUM (NGVD) OF 1929.



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TITLE: BLOCK C SITE PLAN

PROJECT TITLE: THE HILLS LUXURY COMMONS - BLOCK C

CLIENT: ROYAL CAPITAL GROUP, LLC

PROJECT LOCATION: EAST BROWN ST. AND NORTH PALMER ST.
 MILWAUKEE, WI

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CHECKED BY CMB	DATE 05/11/2017

**SITE PLAN
 BLOCK C**

C200C

GENERAL NOTES:

1. SEE DEMOLITION PLANS FOR EXISTING LOT DEMOLITION.
2. GRADE ALL SURFACES FOR POSITIVE DRAINAGE.
3. ALL GRADES SHOWN ARE FINISHED SURFACE OR FLOW LINE GRADES, UNLESS OTHERWISE NOTED.
4. CONTRACTOR TO STRIP AND STOCKPILE TOPSOIL FROM SITE BEFORE GRADING.
5. ALL UTILITIES WITHIN THE PROJECT LIMITS SHALL BE ADJUSTED TO PROPOSED GRADING BY THE CONTRACTOR, UNLESS A GRADE MATCH IS INDICATED AT A SPECIFIC UTILITY.
6. FINAL ADJUSTMENTS SHALL BE MADE AT THE TIME OF PAVING TO MATCH THE PAVEMENT SURFACE.
7. UTILITY OWNERS SHALL BE CONTACTED PRIOR TO ADJUSTMENTS.
8. UTILITY OWNERS SHALL HAVE THE OPTION OF PERFORMING THE WORK THEMSELVES OR HAVING THE CONTRACTOR PERFORM THE WORK.
9. THE CONTRACTOR SHALL PAY ALL FEES, PERMITS, AND DEPOSITS FOR THE ADJUSTMENT WORK.
10. ALL ADJUSTMENT WORK SHALL BE TO THE SPECIFICATIONS OF THE UTILITY OWNER AND IN ACCORDANCE WITH ANY REQUIRED PERMITS.
11. PAVEMENT RESTORATIONS SHALL MEET ADJACENT EXISTING PAVEMENTS AS A FLUSH MATCH.
12. A GRADING AND DRAINAGE RECORD DRAWING PREPARED TO CITY OF MILWAUKEE STANDARDS IS REQUIRED PRIOR TO OCCUPANCY PERMIT.

PLAN NOTES:

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LEGEND

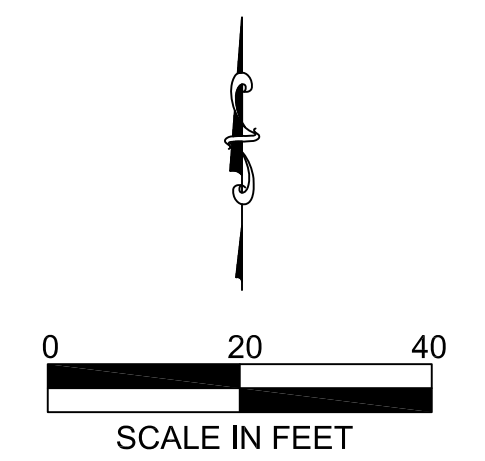
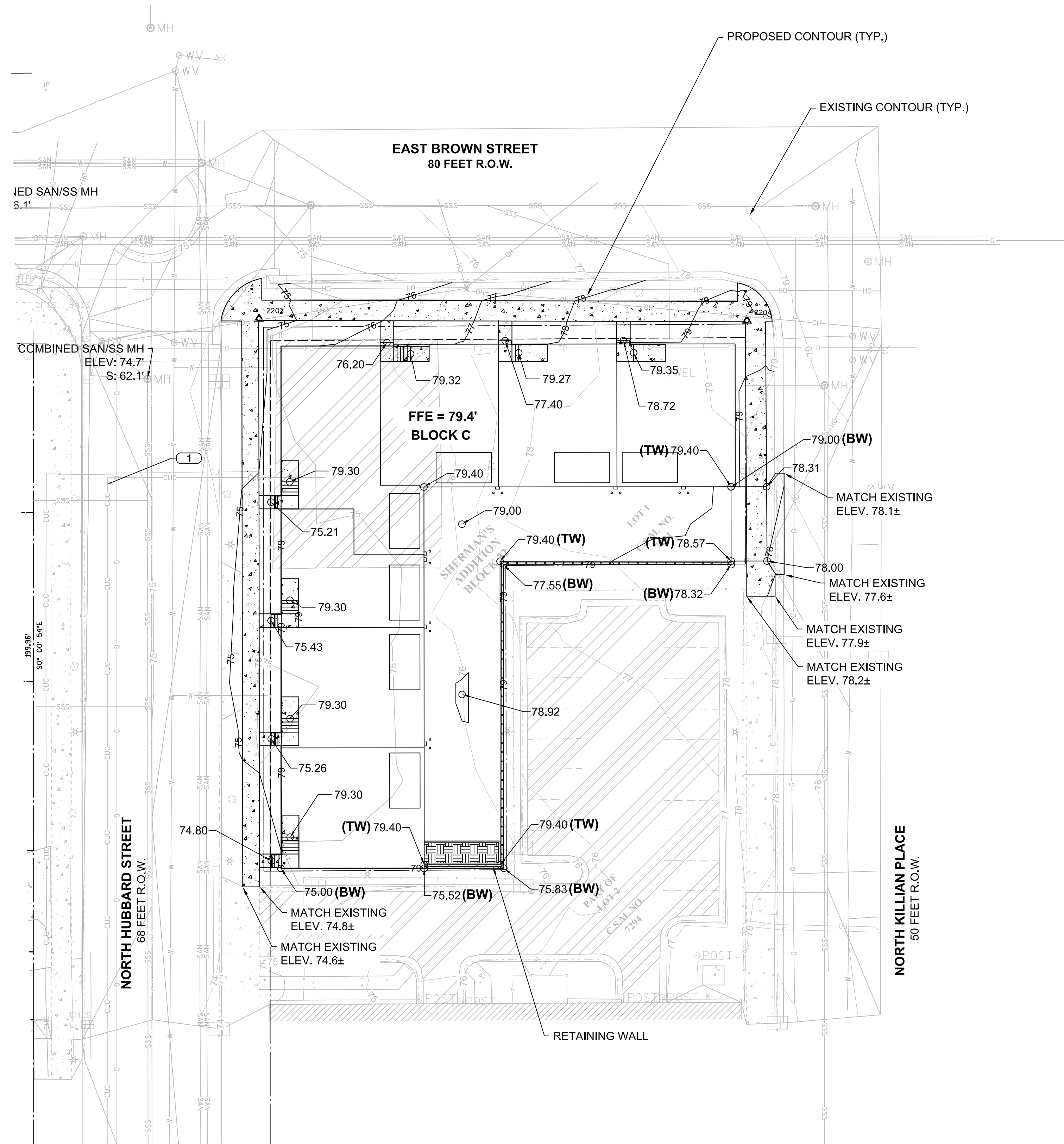
- NEW SPOT GRADE
- NEW GRADING CONTOUR
- TOP OF RETAINING WALL
- BOTTOM OF RETAINING WALL

SURVEY NOTES:

1. HORIZONTAL DATUM: COORDINATE SYSTEM IS ASSUMED HOLDING THE NORTH LINE OF LOT 1, CSM NO. 6980 AS ASSUMED TO BEAR N89° 36' 30"E.
2. VERTICAL DATUM: ELEVATIONS SHOWN ON THE PLAN ARE REFERENCED TO THE CITY OF MILWAUKEE STANDARD BENCH MARKS. CITY OF MILWAUKEE DATA ARE REFERENCED TO THE LEVEL OF THE MILWAUKEE RIVER AS IT WAS IN THE MONTH OF MARCH, 1836 A.D. ADD 580.603 TO PLACE ELEVATIONS ON THE NATIONAL GEODETIC VERTICAL DATUM (NGVD) OF 1929.

BENCHMARK TABLE

PT. NO.	NORTHING	EASTING	DESCRIPTION	ELEV.
2203	5007.292	5056.818	CP SET T	74.622
2204	5006.742	5201.200	CP SET T	79.294



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TITLE: BLOCK C GRADING PLAN
PROJECT TITLE: THE HILLS LUXURY COMMONS - BLOCK C
CLIENT: ROYAL CAPITAL GROUP, LLC
PROJECT LOCATION: EAST BROWN ST. AND NORTH PALMER ST. MILWAUKEE, WI

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GRADING PLAN
BLOCK C

C300C

GENERAL NOTES:

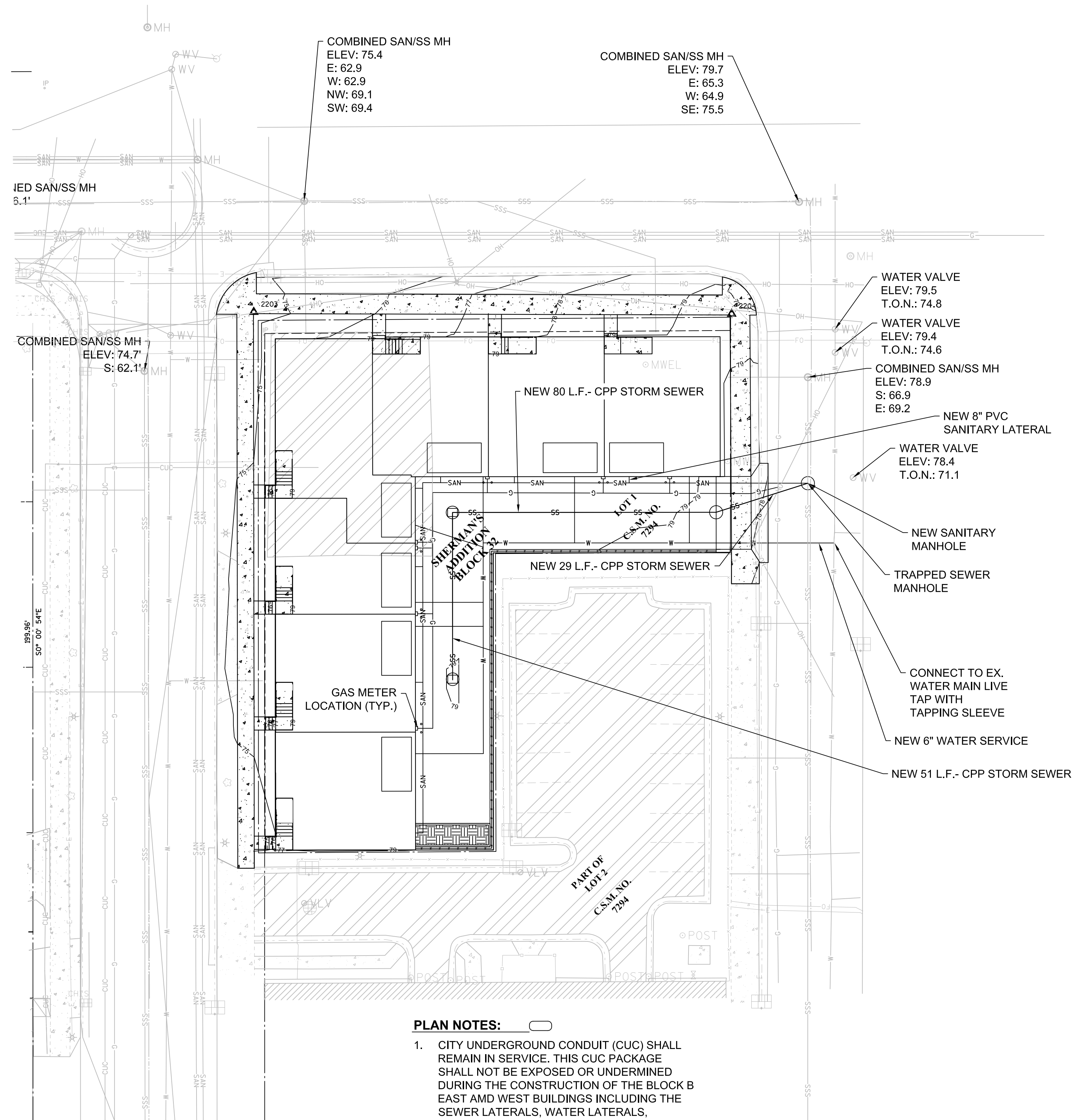
- PIPE LENGTHS ARE TO CENTER OF STRUCTURE, UNLESS OTHERWISE NOTED.
- SEWER INSTALLATION SHALL PROCEED FROM DOWNSTREAM TO UPSTREAM.
- CONTRACTOR SHALL ADJUST ALL EXISTING AND NEW UTILITY CASTINGS, MANHOLES, CLEANOUTS, AND ACCESS BOXES TO PROPOSED GRADING.
- CONNECT SANITARY SERVICE IN ACCORDANCE WITH THE REQUIREMENTS OF CITY OF MILWAUKEE.
- ALL EXISTING LATERALS NOT SHOWN AS REUSED SHALL BE ABANDONED AT THE MAIN PER CITY OF MILWAUKEE STANDARDS.
- MAINTAIN PROPER DRAINAGE AT ALL TIMES DURING CONSTRUCTION.
- SEE CONSTRUCTION DETAIL SHEETS FOR SITE AND UTILITY DETAILS.
- SANITARY LATERALS SHALL BE PVC, ASTM D-3034, SDR 35 IN CONFORMANCE WITH SECTION 8.10.0 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, CURRENT EDITION.
- WATER SERVICE SHALL BE PVC, AWWA C-900, CLASS 235 (DR-18).
- CONTRACTOR SHALL VERIFY EXISTING PIPE INVERT, PIPE MATERIAL, PIPE SIZE AND LOCATION PRIOR TO CONSTRUCTION OF THE UTILITIES. ANY DISCREPANCIES SHALL BE DISCUSSED WITH THE OWNER.
- SANITARY SEWER AND WATER MAIN SHALL BE CONSTRUCTED PER PROJECT SPECIFICATIONS AND IN ACCORDANCE WITH THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND THE CITY OF MILWAUKEE.
- SEE DEMOLITION PLANS FOR PIPE ABANDONMENT AND REMOVAL.
- A MINIMUM OF 6.0 FEET OF COVER SHALL BE MAINTAINED OVER ALL WATER MAIN.
- A MINIMUM OF 6.0 FEET OF COVER SHALL BE MAINTAINED OVER ALL SANITARY SEWER.
- PER DSPS 382.40 (8) (b) PRIVATE WATER MAINS AND WATER SERVICES SHALL BE INSTALLED AT LEAST 5 FEET HORIZONTALLY FROM ANY SANITARY SEWER.
- NO PRIVATE WATER MAIN OR WATER SERVICE MAY BE INSTALLED WITHIN 6 INCHES OF A STORM SEWER.
- CLEANOUTS SHALL BE LOCATED NOT MORE THAN 100 FEET APART. THE CLEANOUT NEAR THE BUILDING SHALL BE WITHIN 5 FEET OF WHERE THE BUILDING DRAIN AND BUILDING SEWER CONNECTS. THE CLEANOUT MAY BE LOCATED EITHER INSIDE OR OUTSIDE OF BUILDING.
- GENERALLY, FOR WATER SERVICE 4-INCHES OR LARGER, DEFLECTION WILL NOT BE ALLOWED AND CONTRACTOR SHALL USE 11.25, 22.5, 45 AND 90 DEGREE BENDS WHEN NEEDED. CONTRACTOR SHALL NOT EXCEED 5 DEGREES PER PIPE OR AS RECOMMENDED BY MANUFACTURER.
- PROVIDE TRACER WIRE FOR NON-METALLIC WATER SERVICE. SEE SPECIFICATIONS. TRACER WIRE FOR POTABLE WATER PIPE SHALL BE BLUE.

LEGEND

- SAN — NEW SANITARY SEWER
- SS — NEW STORM SEWER
- W — NEW WATER SERVICE
- C — NEW GAS SERVICE

SURVEY NOTES:

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PLAN NOTES:

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TITLE: BLOCK C UTILITY PLAN
PROJECT TITLE: THE HILLS LUXURY COMMONS - BLOCK C
CLIENT: ROYAL CAPITAL GROUP, LLC
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MILWAUKEE, WI

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**UTILITY PLAN
BLOCK C**

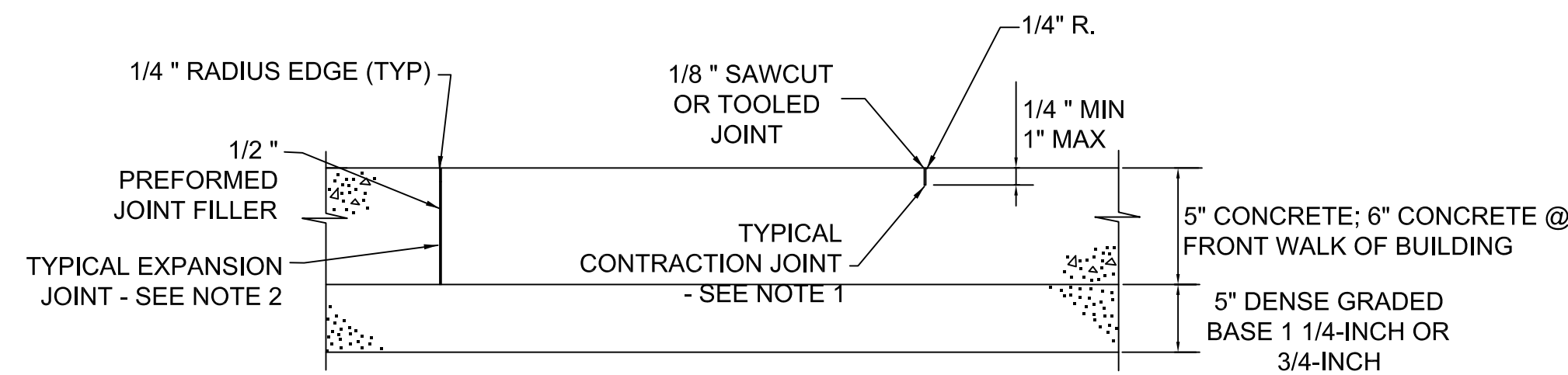
C400C

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**CONSTRUCTION DETAILS
BLOCK C**

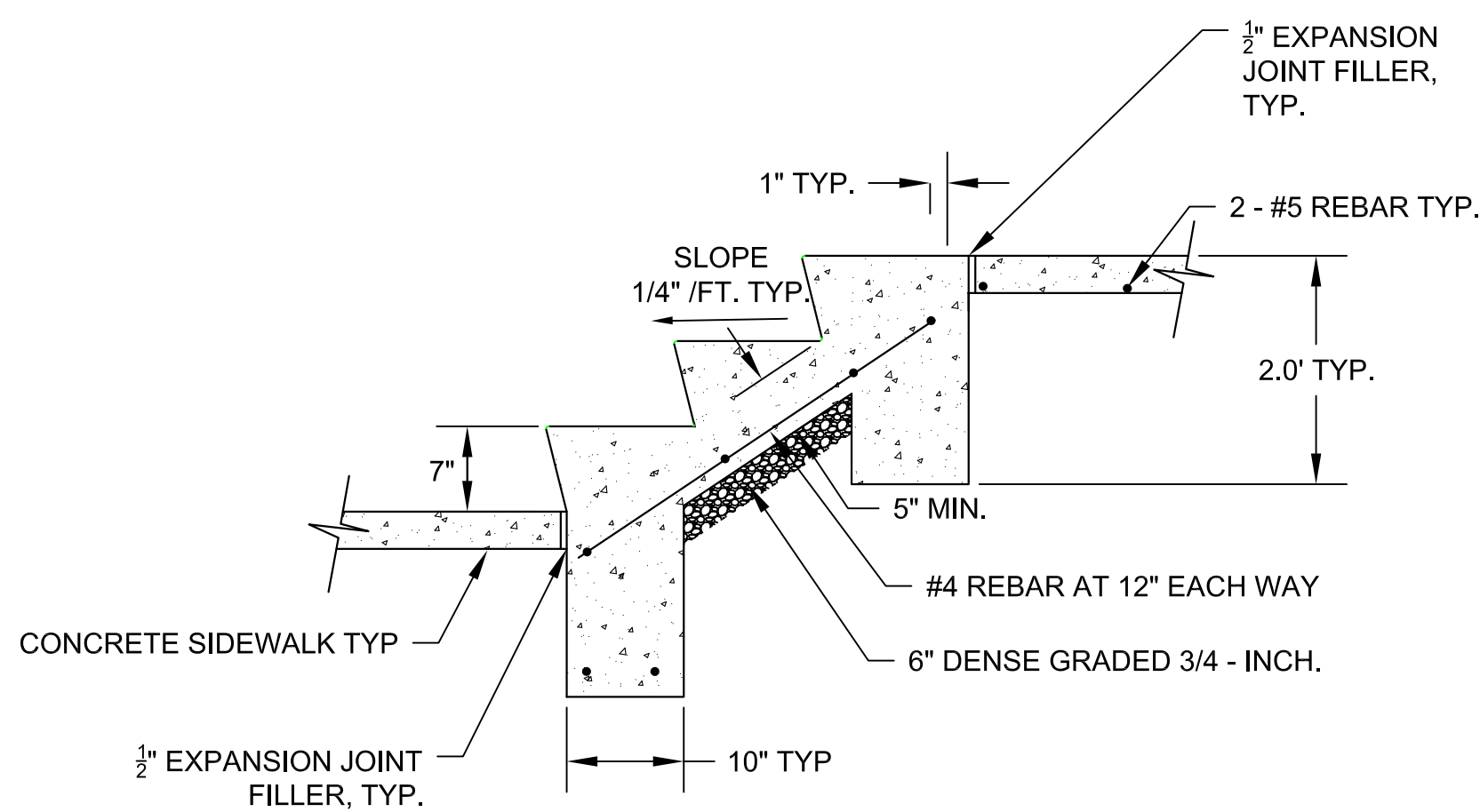
C501C



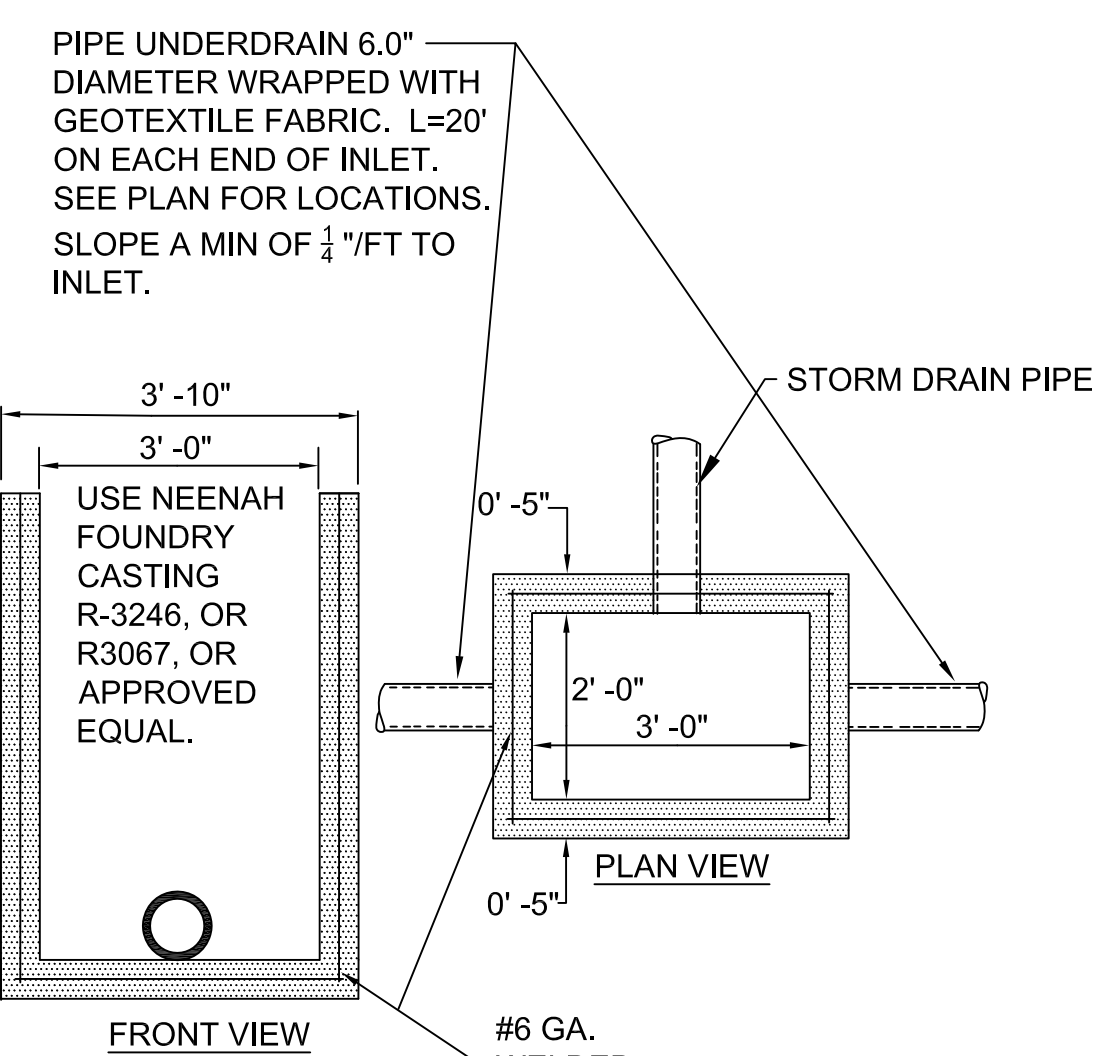
NOTE:

- CONTRACTION JOINTS TO BE SPACED 5'-0" O.C. MAXIMUM EACH DIRECTION.
- EXPANSION JOINTS TO BE SPACED AT 50' MAXIMUM EACH DIRECTION AND WHERE SIDEWALK MEETS BUILDINGS, CURBS, AND EXISTING SIDEWALKS WHICH REMAIN IN PLACE.
- LONGITUDINAL SLOPES TO MATCH PROPOSED GRADE, CROSS SLOPE OF NEW SIDEWALK SHALL BE 1.5%, MAX 2.0%.

1 UNREINFORCED CONCRETE SIDEWALK
C501C NTS



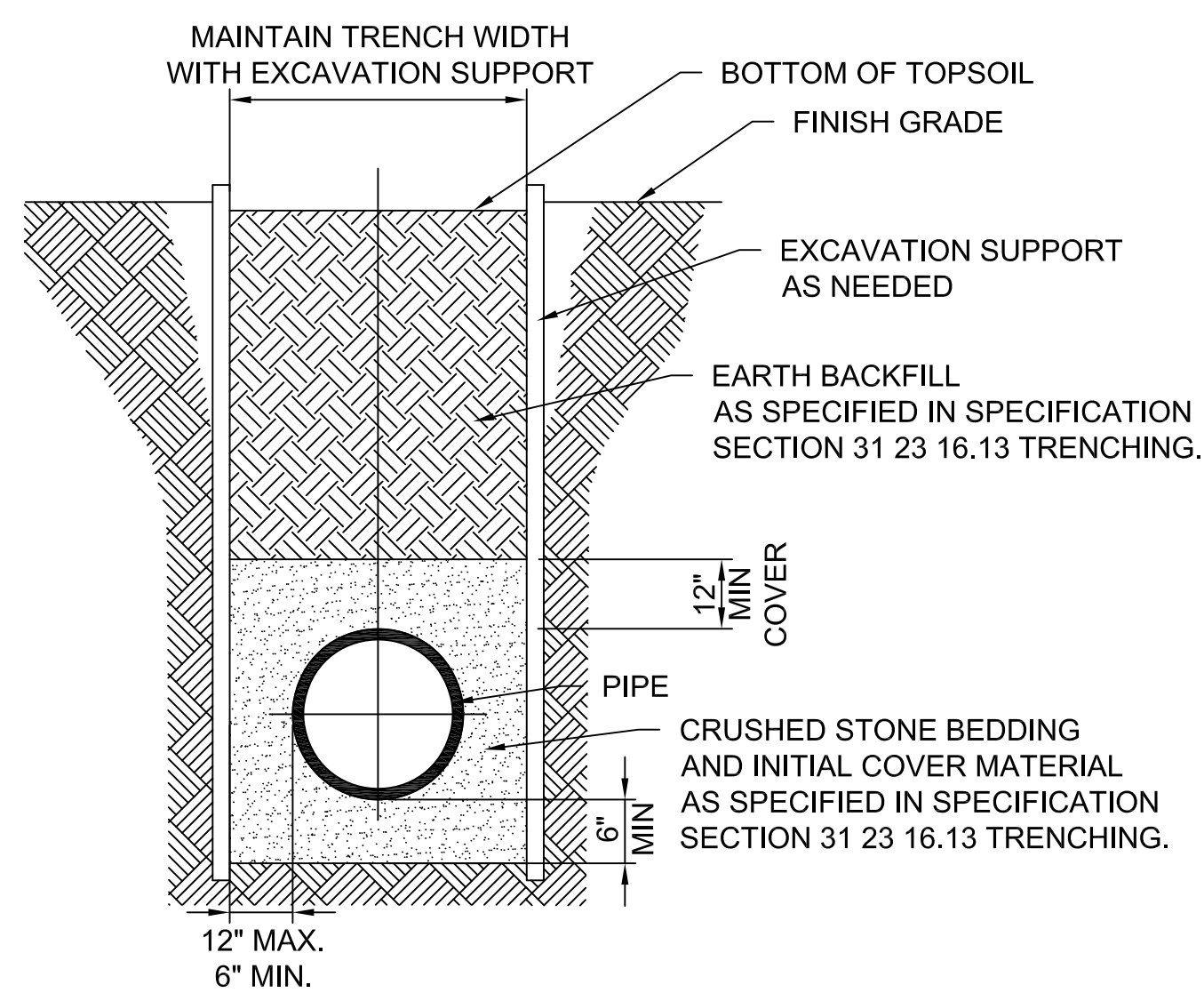
2 HOT MIX ASPHALT PAVEMENT
C501C NTS



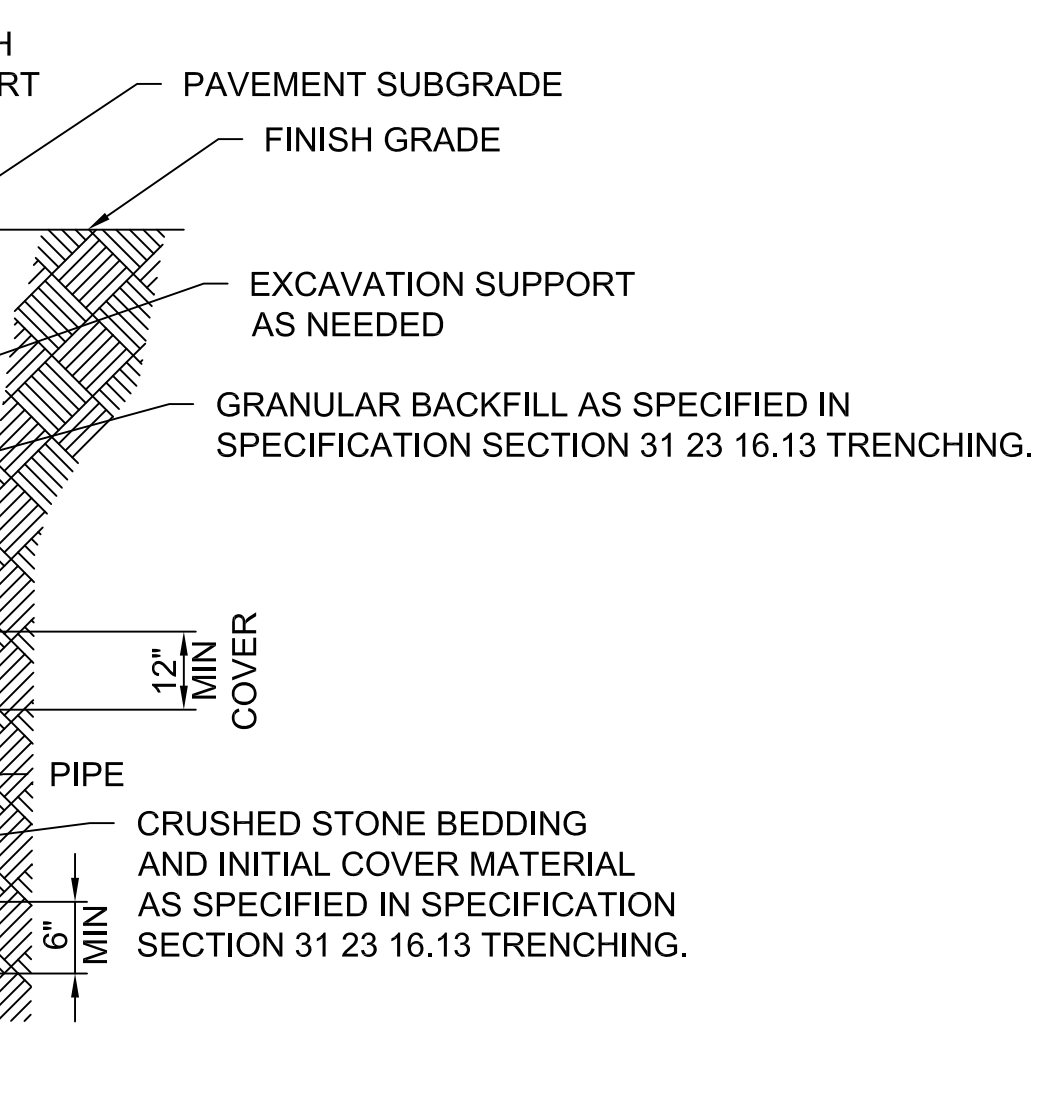
3 DRIVEWAY APPROACH DETAIL
C501C NTS

- NOTES:**
- STAIR WIDTH TO MATCH SIDEWALK WIDTH.

4 CONCRETE STEP DETAIL
C501C NTS



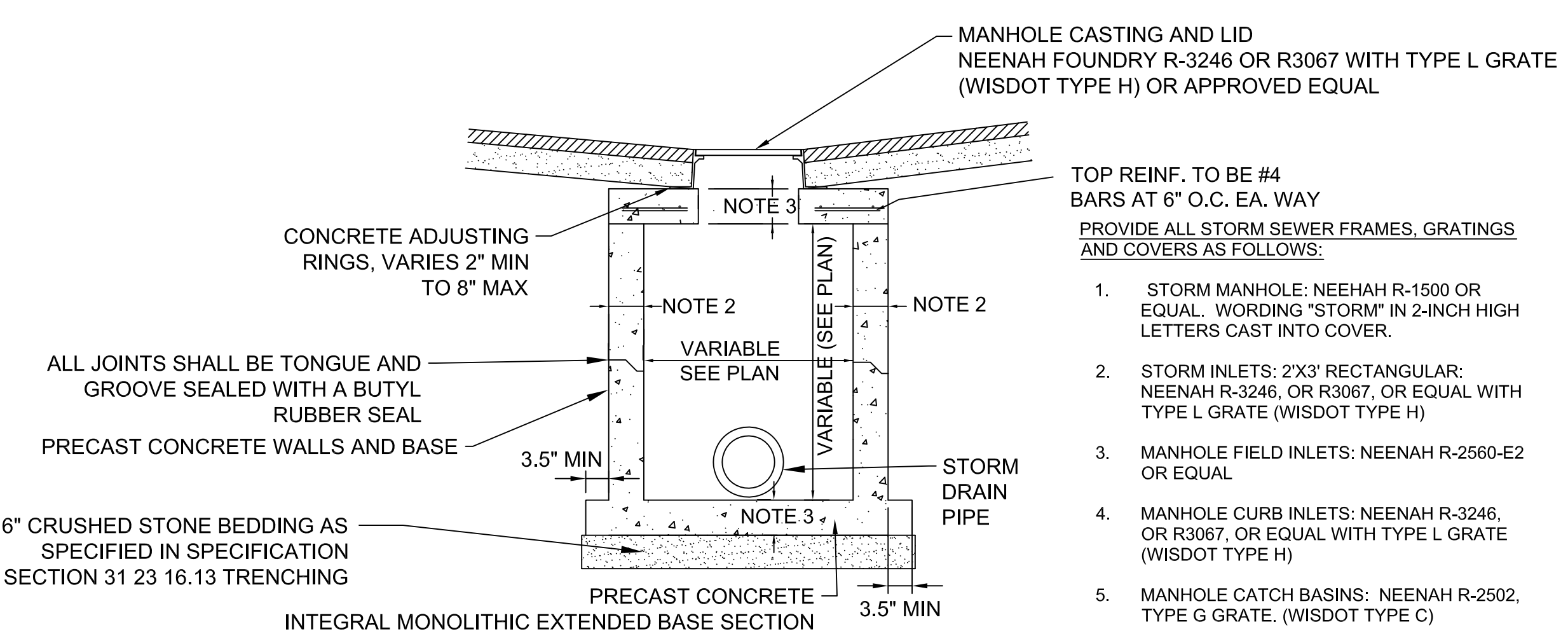
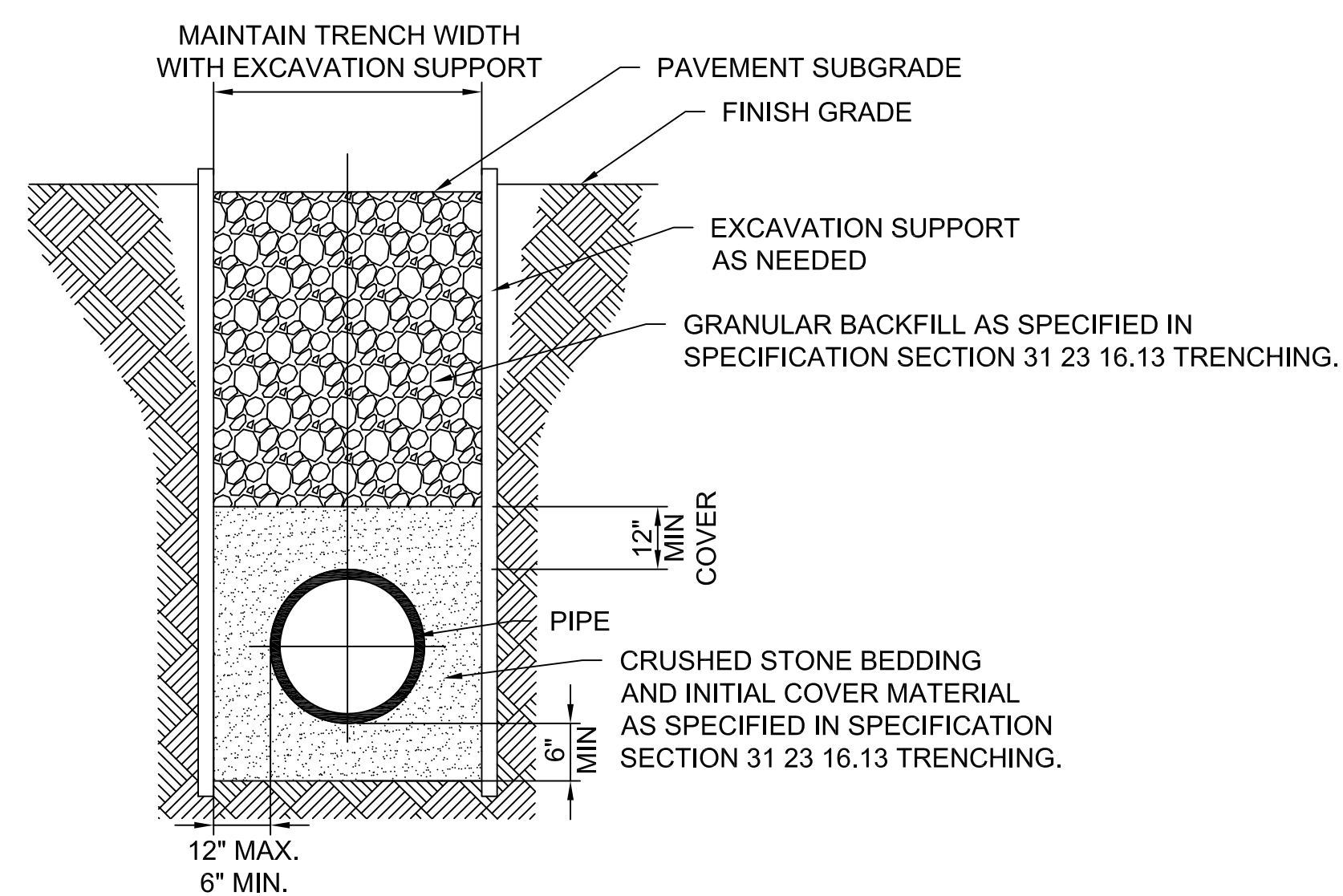
5 INLET
C501C NTS



6 TYPICAL PIPE/UTILITY TRENCH BELOW LANDSCAPING
C501C NTS

TOP OF MANHOLE TO BE FLUSH WITH ADJACENT SURFACE

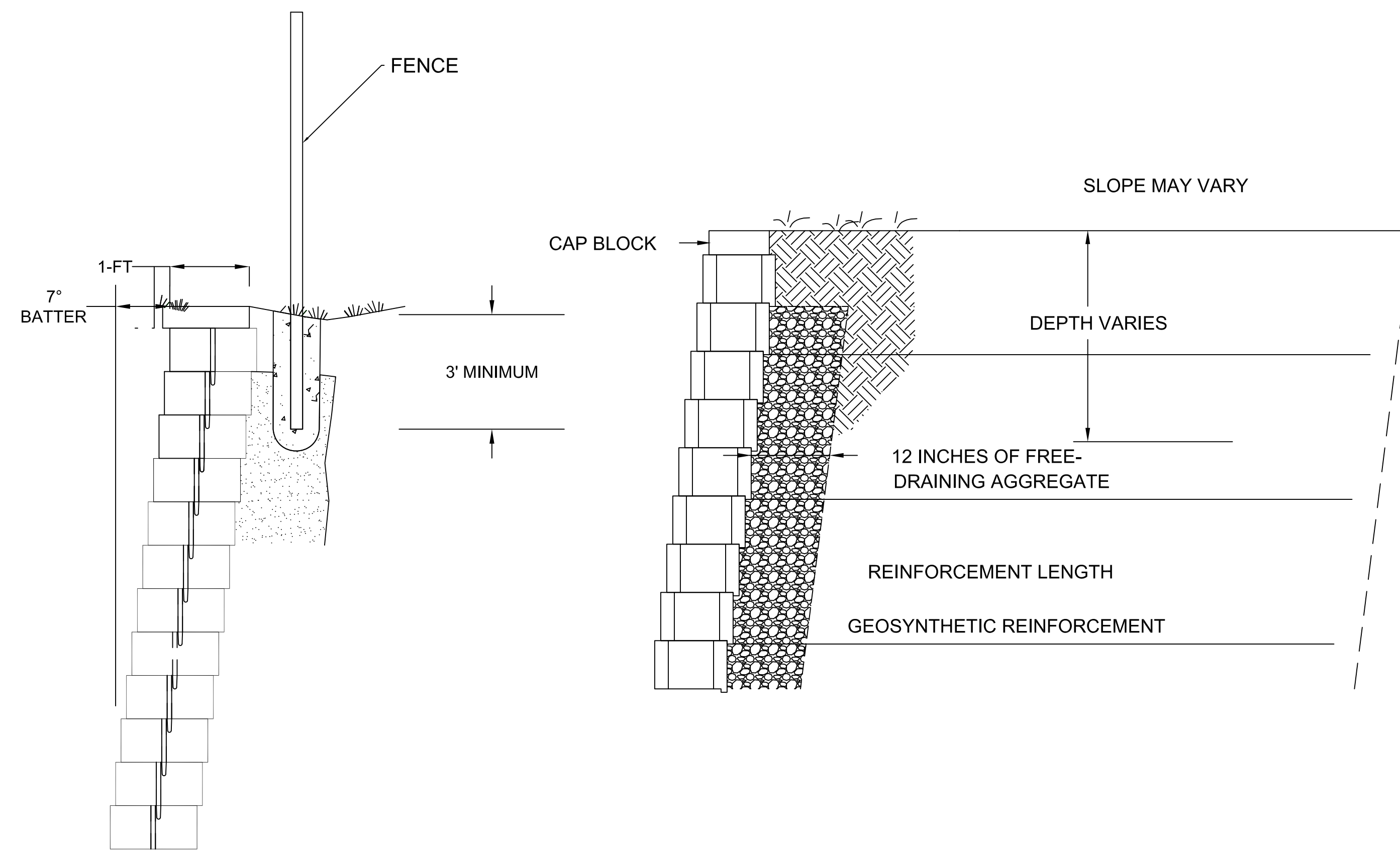
7 TYPICAL PIPE/UTILITY TRENCH UNDER PAVEMENT
C501C NTS



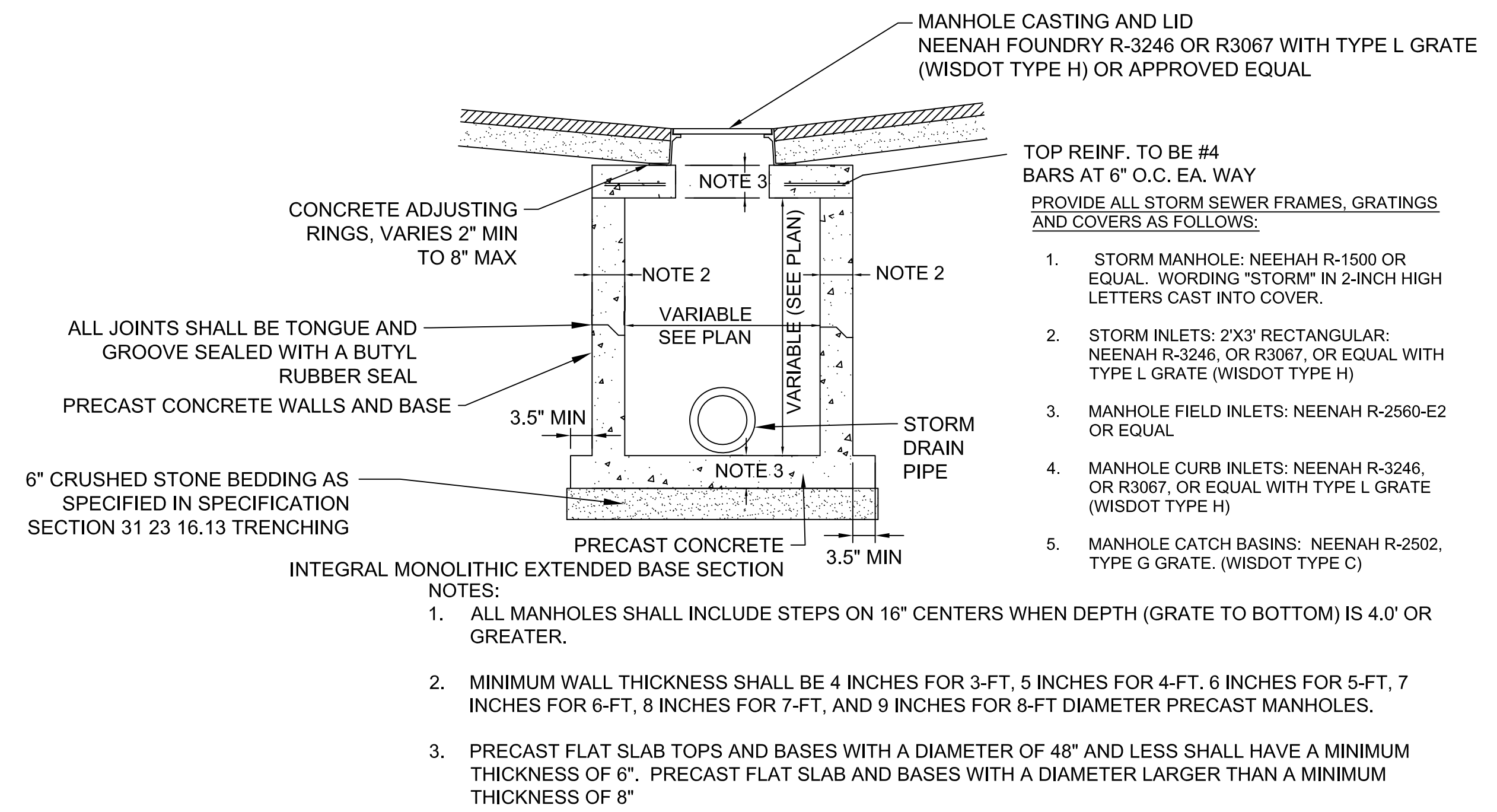
NOTES:

- ALL MANHOLES SHALL INCLUDE STEPS ON 16" CENTERS WHEN DEPTH (GRATE TO BOTTOM) IS 4.0' OR GREATER.
- MINIMUM WALL THICKNESS SHALL BE 4 INCHES FOR 3-FT, 5 INCHES FOR 4-FT, 6 INCHES FOR 5-FT, 7 INCHES FOR 6-FT, 8 INCHES FOR 7-FT, AND 9 INCHES FOR 8-FT DIAMETER PRECAST MANHOLES.
- PRECAST FLAT SLAB TOPS AND BASES WITH A DIAMETER OF 48" AND LESS SHALL HAVE A MINIMUM THICKNESS OF 6". PRECAST FLAT SLAB AND BASES WITH A DIAMETER LARGER THAN A MINIMUM THICKNESS OF 8"

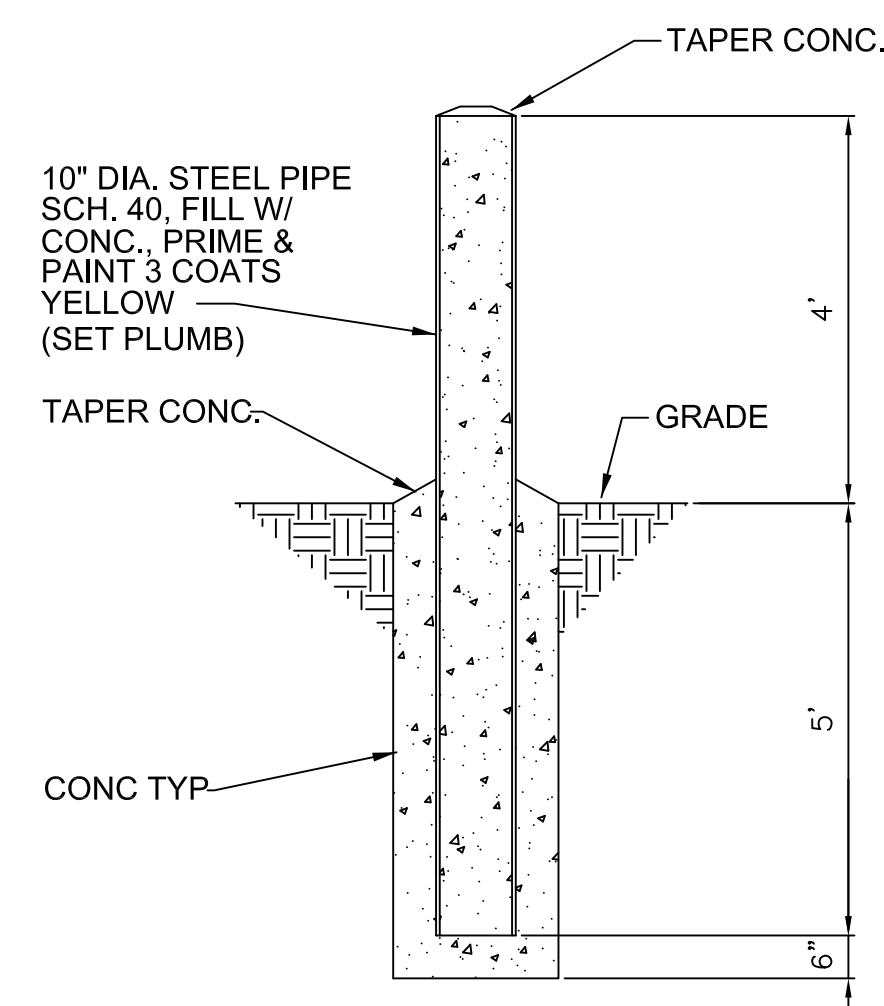
8 STORM MANHOLE/CATCH BASIN TYPICAL DETAIL
C501C NTS



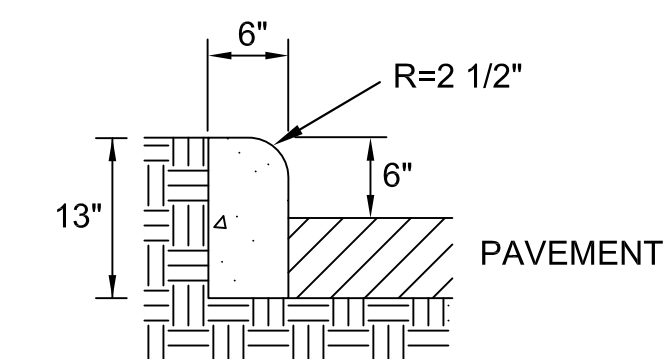
1 MODULAR BLOCK WALL DETAIL
C502C / NTS



2 STORM MANHOLE/CATCH BASIN TYPICAL DETAIL
C502C / NTS



3 BOLLARD DETAIL
C502C / NTS



NOTES:

- LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15' NOR LESS THAN 6' IN LENGTH. THE JOINTS SHALL BE A MINIMUM OF 3" IN DEPTH.
- EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT RADIUS POINTS ON CURVES OF RADIUS OF 200' OR LESS, AND AT ANGLE POINTS, OR AS DIRECTED BY THE ENGINEER. THE EXPANSION JOINT SHALL BE A ONE PIECE ASPHALTIC MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 1/2" THICK.
- IN ALL CASES, CONCRETE CURB SHALL BE PLACED ON THOROUGHLY COMPACTED CRUSHED AGGREGATE BASE COURSE (MIN. 2"). AN EXPANSION JOINT ONE (1) INCH IN WIDTH SHALL BE CONSTRUCTED BETWEEN VERTICAL CURB AND TYPE "G" CURB.

4 6" VERTICAL CONCRETE CURB
C502C / NTS

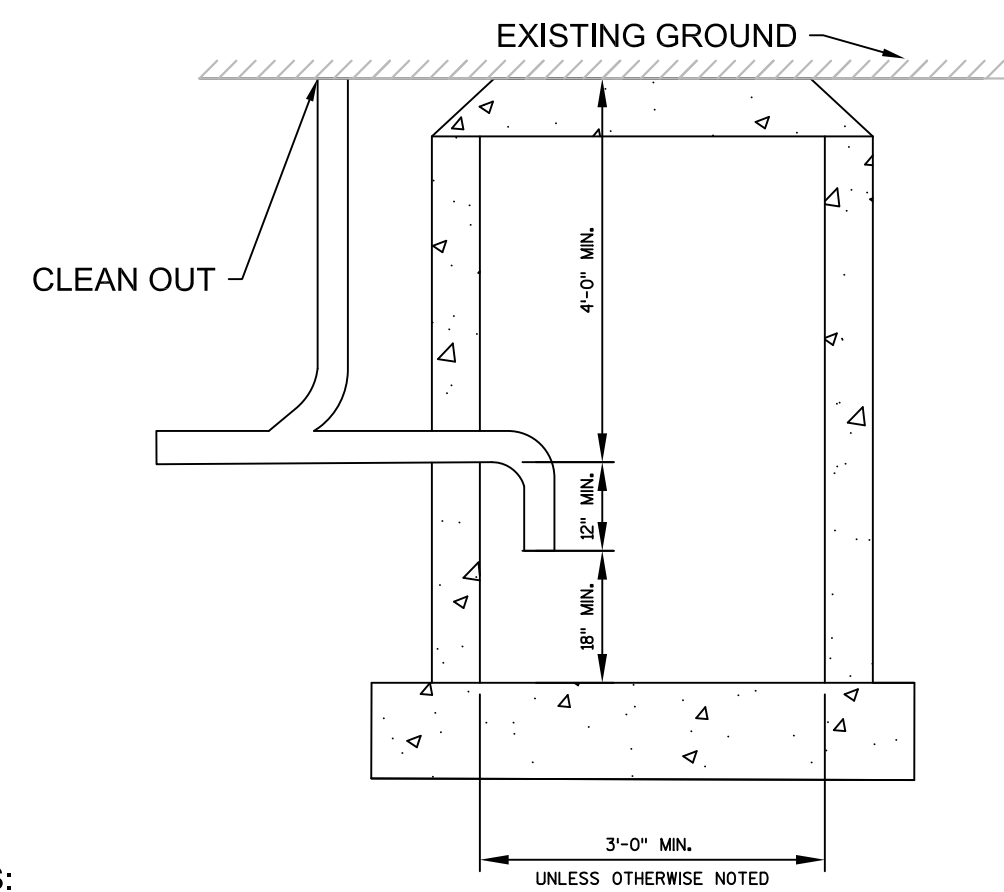
TITLE: BLOCK C CONSTRUCTION DETAILS
PROJECT TITLE: THE HILLS LUXURY COMMONS - BLOCK C
CLIENT: ROYAL CAPITAL GROUP, LLC
PROJECT LOCATION: EAST BROWN ST. AND NORTH PALMER ST. MILWAUKEE, WI

REVISIONS	DATE	DESCRIPTION
01	05/11/17	CITY ZONING SUBMITTAL

DRAWN BY JAF	DATE 05/11/2017
CHECKED BY CMB	DATE 05/11/2017

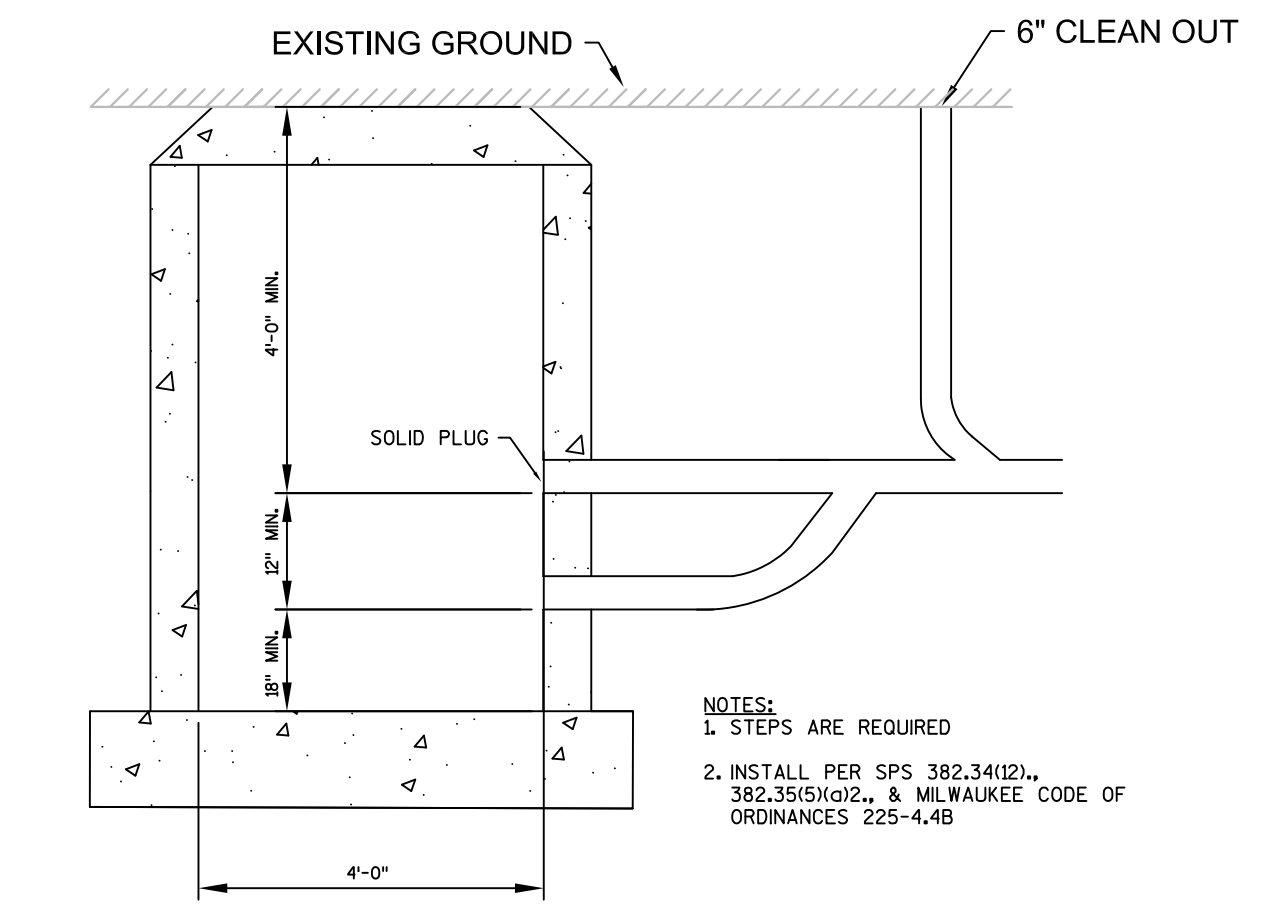
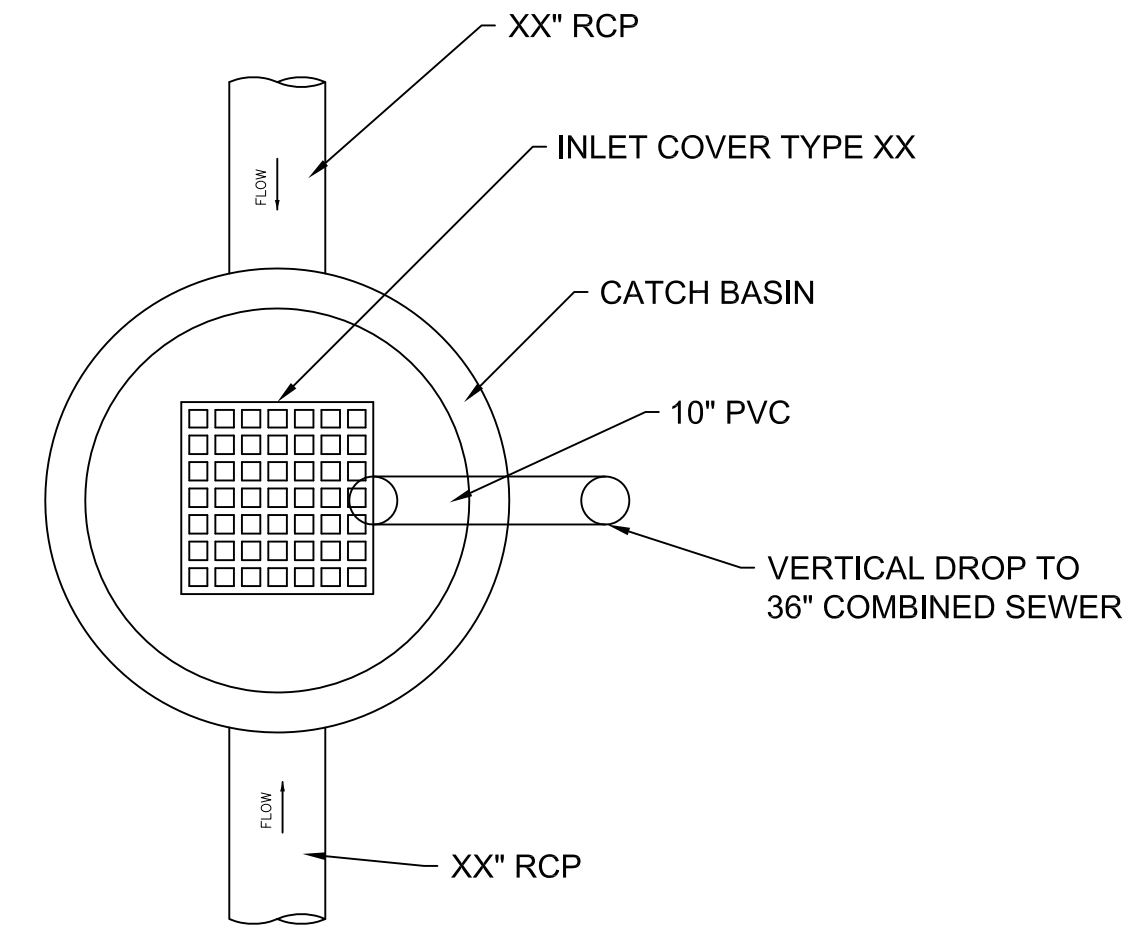
**CONSTRUCTION DETAILS
BLOCK C**

C502C



NOTES:
1. INSTALL PER SPS 382.34(12), 382.35(5)(a)2., & MILWAUKEE CODE OF ORDINANCES 225-4.4B

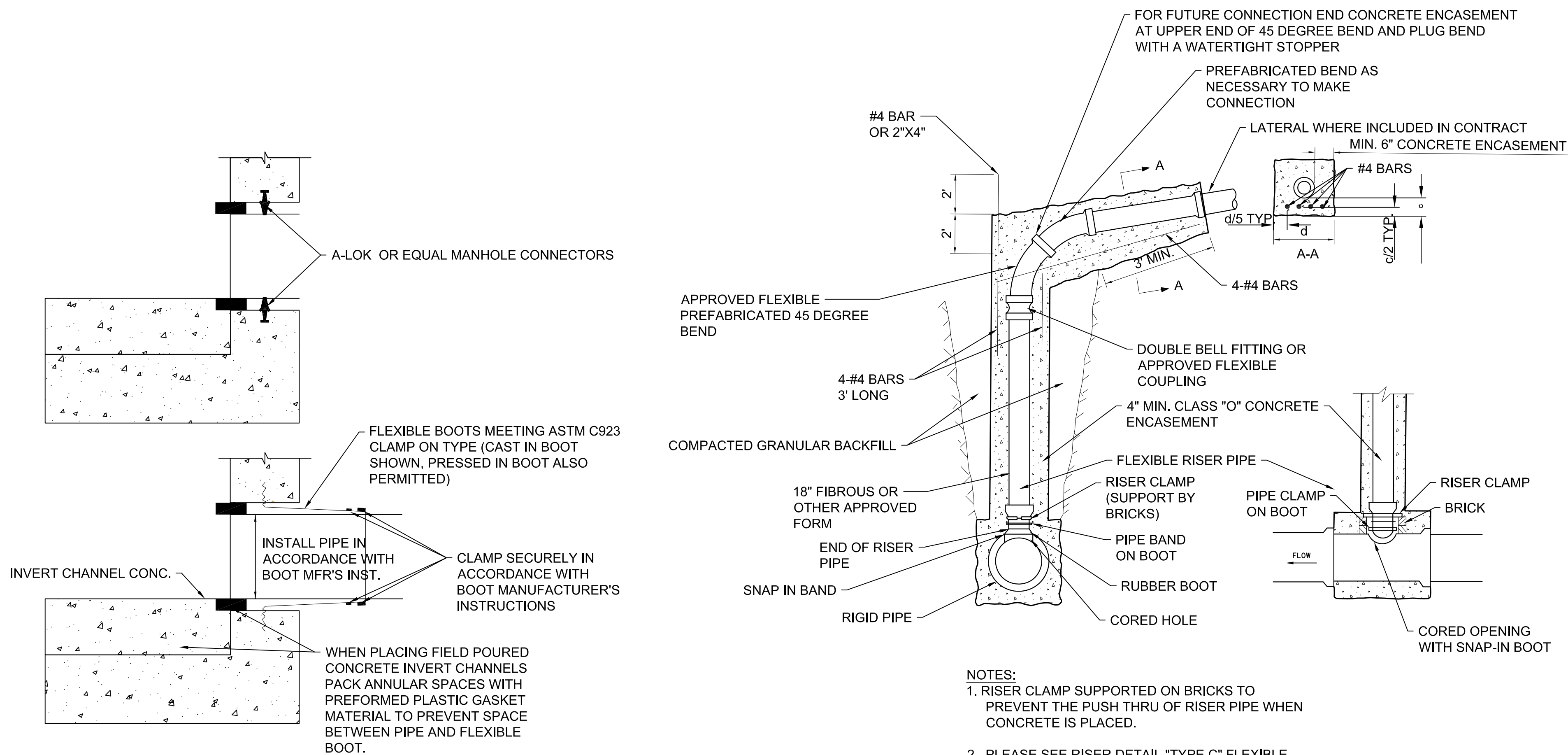
TRAPPED CATCH BASIN WITH EXTERIOR DROP CONNECTION (PLAN VIEW)



INSTALL PER SPS 382.34(12), 382.35(5)(a)2., & MILWAUKEE CODE OF ORDINANCES 225-4.4B

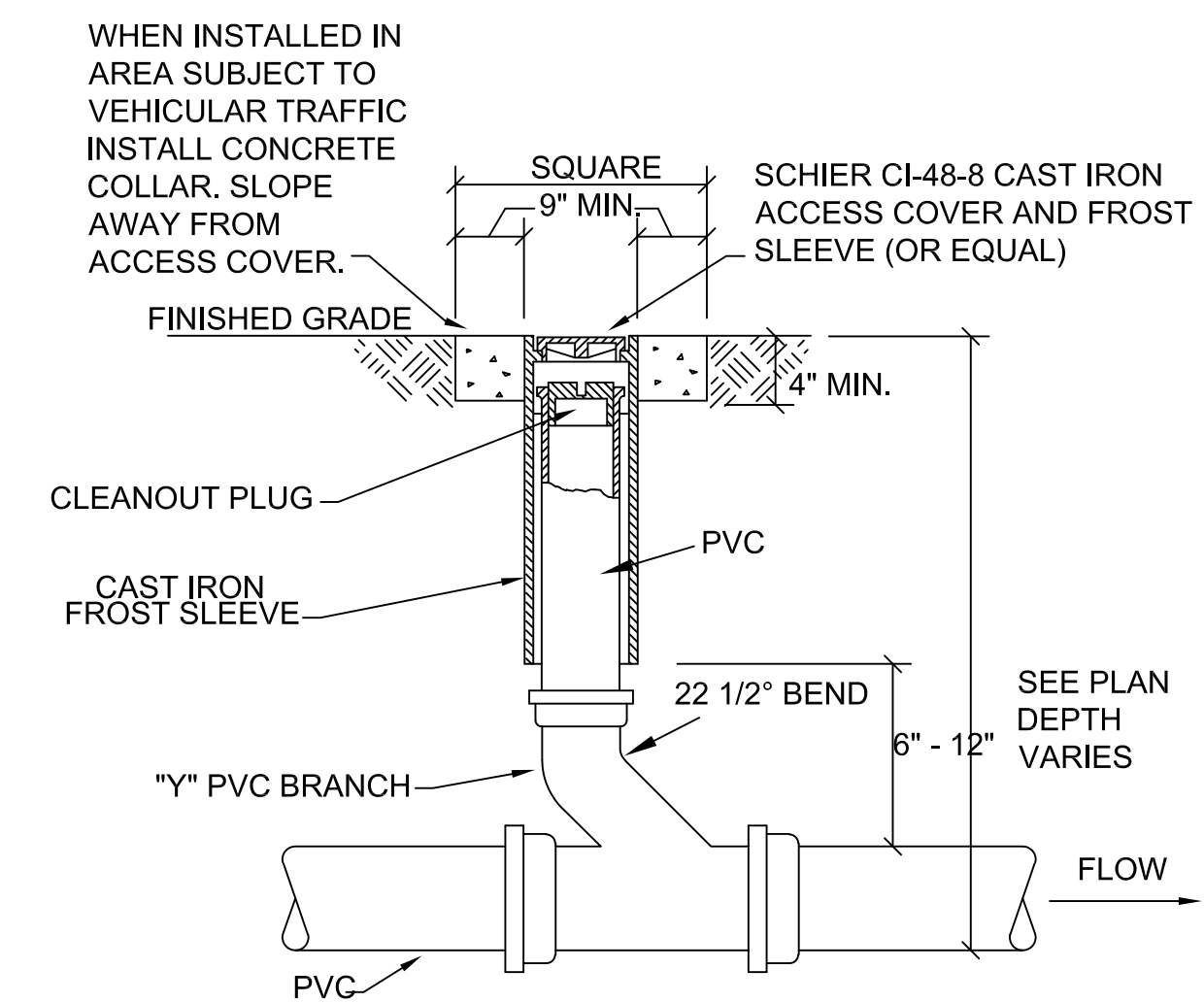
COMBINED CATCH BASIN OR EXTERIOR SAND INTERCEPTOR FOR 12\"/>

1 COMBINED CATCH BASIN OR EXTERIOR SAND INTERCEPTOR
C503C NTS



NOTES:
1. RISER CLAMP SUPPORTED ON BRICKS TO PREVENT THE PUSH THRU OF RISER PIPE WHEN CONCRETE IS PLACED.
2. PLEASE SEE RISER DETAIL "TYPE C" FLEXIBLE RISER TO RIGID MAIN (ALTERNATIVE B) FOR MORE DETAILS.
3. CONCRETE ENCASUREMENT OF SEWERS 24\"/>

3 DROP CONNECTION
C503C NTS



NOTE:
CONCRETE COLLAR NOT REQUIRED IF CLEANOUT IS INSTALLED IN CONCRETE PAVEMENT, SIDEWALK OR LANDSCAPE AREA.

4 SANITARY CLEANOUT
C503C NTS

2 MANHOLE PIPE CONNECTION DETAIL
C503C NTS

TITLE: BLOCK C CONSTRUCTION DETAILS

PROJECT TITLE: THE HILLS LUXURY COMMONS - BLOCK C

CLIENT: ROYAL CAPITAL GROUP, LLC

PROJECT LOCATION: EAST BROWN ST. AND NORTH PALMER ST. MILWAUKEE, WI

REVISIONS	DATE	DESCRIPTION
01	05/11/17	CITY ZONING SUBMITTAL

DRAWN BY JAF	DATE 05/11/2017
CHECKED BY CMB	DATE 05/11/2017

**CONSTRUCTION DETAILS
BLOCK C**

C503C



Seed Compositions:

Cedar Creek Premium Blue Tag (Ph: 888-313-6807):	
10% Mid Atlantic Kentucky Bluegrass	10% Atlantis Kentucky Bluegrass
20% Merit Kentucky Bluegrass	10% Dragon Kentucky Bluegrass
20% Boreal Red Fescue	10% Palmer III Fine Perennial Ryegrass
20% Pennant Fine Perennial Ryegrass	

Seed at rate of 3# per 1000 SF

- Contractor responsible for contacting Diggers Hotline (811 or 800-242-8511) to have site marked prior to excavation or planting.
- Contractor to verify all plant quantities shown on Plant & Material List and landscape planting symbols and report any discrepancies to Landscape Architect or General Contractor.
- All plantings shall comply with standards as described in American Standard of Nursery Stock - Z60.1 ANSI (latest version). Landscape Architect reserves the right to inspect, and potentially reject any plants that are inferior, compromised, undersized, diseased, improperly transported, installed incorrectly or damaged. No sub-standard "B Grade" or "Park Grade" plant material shall be accepted. Plant material shall originate from nursery(ies) with a similar climate as the planting site.
- Any potential plant substitutions must be approved by Landscape Architect or Owner. All plants must be installed as per sizes indicated on Plant & Material Schedule, unless approved by Landscape Architect. Any changes to sizes shown on plan must be submitted in writing to the Landscape Architect prior to installation.
- Topsoil in Parking Lot Islands (if applicable): All parking lot islands to be backfilled with topsoil to a minimum depth of 18" to insure long-term plant health. Topsoil should be placed within 3" of finish grade by General Contractor / Excavation Contractor during rough grading operations/activity. The landscape contractor shall be responsible for the fine grading of all disturbed areas, planting bed areas, and lawn areas. Crown all parking lot islands a minimum of 6" to provide proper drainage, unless otherwise specified.
- Tree Planting: Plant all trees slightly higher than finished grade at the root flare. Remove excess soil from the top of the root ball, if needed. Remove and discard non-biodegradable ball wrapping and support wire. Removed biodegradable burlap and wire cage (if present) from the top 1/3 of the rootball and carefully bend remaining wire down to the bottom of the hole. Once the tree has been placed into the hole and will no longer be moved, score the remaining 2/3 of the burlap and remove the twine. Provide one slow release fertilizer packets (per 1" caliper) for each tree planted.
- Tree Planting: Backfill tree planting holes 80% existing soils removed from excavation and 20% Soil Amendments (see Note 11). Avoid air pockets and do not tamp soil down. Discard any gravel, rocks, heavy clay, or concrete pieces. When hole is 3/4 full, trees shall be watered thoroughly, and water left to soak in before proceeding to fill the remainder of the hole. Water again to full soak in the new planting. Each tree shall receive a 3" deep, 4-5' diameter (see planting details or planting plan) shredded hardwood bark mulch ring / saucer around all trees. Do not build up any mulch onto the trunk of any tree. Trees that are installed incorrectly will be replaced at the time and expense of the Landscape Contractor.
- Shrub Planting: All shrubs to be planted in groupings as indicated on the Landscape Plan. Install with the planting of shrubs a 50/50 mix of Soil Amendments with blended, pulverized topsoil. Install topsoil into all plant beds as needed to achieve proper grade and displace undesirable soils (see planting detail). Remove all excessive gravel, clay and stones from plant beds prior to planting. When hole(s) are 2/3 full, shrubs shall be watered thoroughly, and water left to soak in before proceeding. Provide slow-release fertilizer packets at the rater of 1 per 24" height/diameter of shrub at planting.
- Mulching: All tree rings to receive a 3" deep layer of high quality shredded hardwood bark mulch (not pigment dyed or enviro-mulch). All shrub planting and perennial planting bed areas (groupings) shall receive a 2-3" layer of shredded hardwood bark mulch, and groundcover areas a 1-2" layer of the same mulch. Do not mulch annual flower beds (if applicable). Do not allow mulch to contact plant stems and tree trunks.

10. Edging: All planting beds shall be edged with a 4" deep spade edge using a flat landscape spade or a mechanical edger. Bedlines are to be cut crisp, smooth as per plan. A clean definition between landscape beds and lawn is required. Pack mulch against lawn edge to hold in place.

11. Plant bed preparation/Soil Amendment composition: All perennial, groundcover and annual areas (if applicable) are required to receive a blend of organic soil (Soil Amendments) amendments prior to installation. Roto-till the following materials at the following ratio, into existing soil beds or installed topsoil beds to a depth of approximately 8"-10". Containerized and balled & burlapped plant material should be back-filled with amended soil:

Per 100 SF of bed area (Soil Amendment composition):
 3/4 CY Peat Moss or Mushroom Compost
 3/4 CY blended/pulverized Topsoil
 1/4 CY composted manure

In roto-tilled beds only, also include in above mixture:
 2 lbs Starter Fertilizer

12. Installation preparation for all seeded areas: remove/kill off any existing unwanted vegetation prior to seeding. Prepare the topsoil (if adequate or provide as in item #6 above) and seed bed by removing all surface stones 1" or larger. Apply a starter fertilizer (20-10-5, or approved comparable) and specified seed uniformly at the specified rate, and provide mulch covering suitable to germinate and establish turf. Provide seed and fertilizer specifications to Landscape Architect and Owner prior to installation. Erosion control measures are to be used in swales and on slopes in excess of 1:3 and where applicable (see Civil Engineering Drawings). Methods of installation may vary at the discretion of the Landscape Contractor on his/her responsibility to establish and guarantee a smooth, uniform, quality turf. A minimum of 2" of blended, prepared and non-compacted topsoil is required for all lawn areas. If straw mulch is used as a mulch covering, a tackifier may be necessary to avoid wind dispersal of mulch covering. Marsh hay containing reed canary grass is NOT acceptable as a mulch covering.

An acceptable quality seed installation is defined as having:
 No bare spots larger than one (1) square foot
 No more than 10% of the total area with bare areas larger than one (1) square foot
 A uniform coverage through all turf areas

13. Warranty and Replacements: All plantings are to be watered thoroughly at the time of planting, through construction and upon completion of project as required. Trees, Evergreens, and Shrubs (deciduous and evergreen) shall be guaranteed (100% replacement) for a minimum of one (1) year from the date of project completion. Perennials, groundcovers, and ornamental grasses shall be guaranteed for a minimum of one (1) growing season. Perennials, groundcovers, and ornamental grasses planted after September 15th shall be guaranteed through May 31st of the following year. Only one replacement per plant will be required during the warranty period, except for losses or replacements due to failure to comply with specified requirements. Watering and general ongoing maintenance instructions are to be supplied by the Landscape Contractor to the Owner upon completion of the project.

14. The Landscape Contractor is responsible for the watering and maintenance of all landscape areas for a period of 45 days after the substantial completion of the landscape installation. This shall include all trees, shrubs, evergreens, perennials, ornamental grasses, turf grass, no-mow grass, and native prairie seed mix / stormwater seed mix. Work also includes weeding, edging, mulching (only if required), fertilizing, trimming, sweeping up grass clippings, pruning and deadheading.

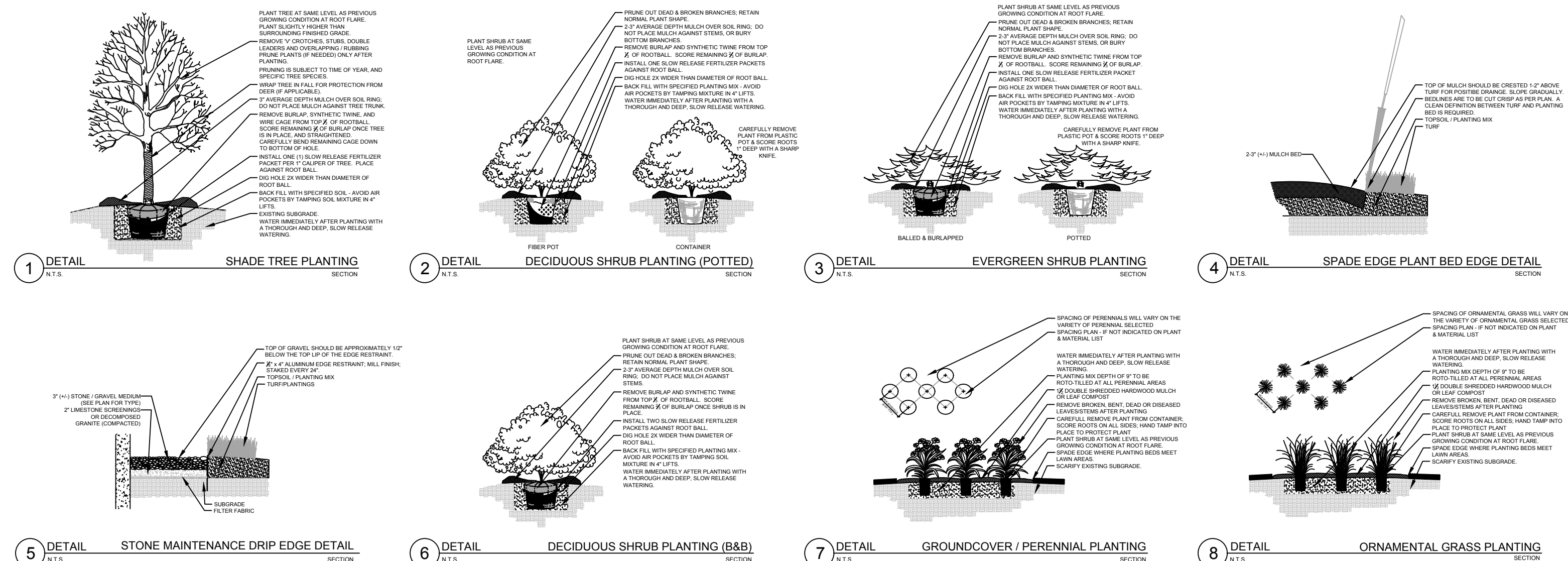
15. Project Completion: Landscape Contractor is responsible to conduct a final review of the project, upon completion, with the Landscape Architect, Client or Owner / Client Representative, and the General Contractor to answer questions, provide written care instructions for new plantings and turf, and insure that all specifications have been met.

LANDSCAPE GENERAL NOTES

PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED	BOTANICAL NAME	COMMON NAME	CAULIPER	SIZE	ROOT	SPECIFICATION / NOTES
Proposed Landscape Construction Preparation								
	1			Remove Existing Crabapple Tree along E. Brown Street		3"		
Proposed Landscape Materials								
SHADE TREES (DECIDUOUS)								
ADM	1	Acer 'freemantli 'Autumn Blaze'		Autumn Blaze Maple	2.5'	B&B		Straight central leader, full and even crown. Prune only after planting
PPH	1	Celtis occidentalis 'Prairie Pride'		Prairie Pride Hackberry	2.5'	B&B		Straight central leader, full and even crown. Prune only after planting
SHL	2	Gleditsia triacanthos 'Skyline'		Skyline Honeylocust	2.5'	B&B		Straight central leader, full and even crown. Prune only after planting
ORNAMENTAL TREES (DECIDUOUS)								
RJFC	1	Malus x 'Jewelcole'		Red Jewel Flowering Crabapple	7-8' H	B&B		Well balanced multi-stemmed tree with minimum four canes, and full appearance
RJFC-s	2	Malus x 'Jewelcole'		Red Jewel Flowering Crabapple	2.0'	B&B		Straight central leader, full and even crown. Prune only after planting
JTL	2	Syringa reticulata 'Ivory Silk'		Ivory Silk Japanese Tree Lilac	2.5'	B&B		Straight central leader, full and even crown. Prune only after planting
EVERGREEN TREES								
HCJ	20	Juniperus chinensis 'Hetzi Columnaris'		Hetzi Columnar Juniper (upright)	5'	B&B		Evenly shaped tree with branching to the ground
EVERGREEN SHRUBS								
GVB	127	Buxus 'Green Velvet'		Green Velvet Boxwood	18' HT	Cont.		Full rounded well branched shrub
KCPJ	6	Juniperus chinensis 'Xallay'		Kallay Compact Pfitzer Juniper	#5	Cont.		Full rounded well branched shrub
TIY	17	Taxus xmedia 'Tautoni'		Taunton Intermediate Yew	24"	B&B		Full rounded well branched shrub
DECIDUOUS SHRUBS								
DF	26	Fothergilla gardenii		Dwarf Fothergilla	24"	B&B		Full, well rounded plant with moist rootball and healthy appearance
IH	23	Hydrangea arborescens 'Abetwo'		Incredible Hydrangea	#5	Cont.		Full, well rooted plant, evenly shaped
ESH	12	Hydrangea macrophylla 'Endless Summer'		Endless Summer Hydrangea	#5	Cont.		Full, well rooted plant, evenly shaped
UH	1	Hydrangea paniculata 'Unique'		Unique Hydrangea	#5	Cont.		Full, well rooted plant, evenly shaped
FDHR	16	Rosa rugosa 'Fra Dagmar Hartup'		Fra Dagmar Hartup Rugosa Rose	18"	Cont.		Full, well rooted plant, evenly shaped
PPSR	28	Rosa rugosa 'Pink Pavement'		Pink Pavement Series Rose	18"	Cont.		Full, well rooted plant, evenly shaped
MKL	2	Syringa patula 'Miss Kim'		Miss Kim Dwarf Lilac	24"	Cont.		Full, well rooted plant, evenly shaped
MV	3	Viburnum lantana 'Mohican'		Mohican Viburnum	42"	B&B		Full, well rounded plant with moist rootball and healthy appearance
ORNAMENTAL GRASSES								
KFRG	115	Calamagrostis acutiflora 'Karl Foerster'		Karl Foerster Feather Reed Grass	#1	Cont.		Full, well rooted plant
HMSG	48	Panicum virgatum 'Heavy Metal'		Heavy Metal Switch Grass	#1	Cont.		Full, well rooted plant
PDS	47	Sporobolus heterolepis		Prairie Dropseed	#1	Cont.		Full, well rooted plant
HERBACEOUS PERENNIALS								
HRD	21	Hemerocallis 'Happy Returns'		Happy Returns Daylily	#1	Cont.		Full, well rooted plant, evenly shaped
RRD	35	Hemerocallis 'Rosy Returns'		Rosy Returns Daylily	#1	Cont.		Full, well rooted plant, evenly shaped
MDL	29	Hemerocallis 'Catherine Woodbury'		Catherine Woodbury Daylily (Soft Pink)	#1	Cont.		Full, well rooted plant, evenly shaped
MDL	28	Hemerocallis 'Hyperion'		Hyperion Daylily (Lemon Yellow)	#1	Cont.		Full, well rooted plant, evenly shaped
MDL	28	Hemerocallis 'Summer Wine'		Summer Wine Daylily (Maroon)	#1	Cont.		Full, well rooted plant, evenly shaped
PPCB	14	Heuchera micrantha 'Palace Purple'		Palace Purple Coralbells	#1	Cont.		Full, well rooted plant, evenly shaped
FH	16	Hosta fortunei 'France'		France Hosta	#1	Cont.		Full, well rooted plant, evenly shaped
KCC	38	Nepeta faassenii 'Kit Cat'		Dwarf Catmint	#1	Pot		Full, well rooted plant, evenly shaped
WLC	10	Nepeta faassenii 'Walker's Low'		Walker's Low Catmint	#1	Pot		Full, well rooted plant, evenly shaped
GROUNDCOVERS & VINES								
GCP	596	Pachysandra terminalis 'Green Carpet'		Green Carpet Pachysandra	3"	Pot		Full, well rooted plant
LAWN	825	Lawn Establishment Area / Grading Area				SY		Cedar Creek Premium Blue Tag Seed Mix (Ph: 888-313-6807)
	7400	Erosion Matting for sloped seeded areas		see plan for area delineation		SF		EroTex D575 Erosion Control Blanket (or approved equal)
Hardscape Materials								
	4	Wall Mounted Eco Screen (Trellis Panels)		see architectural plans for specification & details		EA		see architectural plans for specification & details
	1.5	Heritage River Gravel		Area: 100 SF along southwest lot line		TN		2-3" depth
	50	Aluminum Edge Restraint (gravel areas)		Permaloc ProSlide 3/16"x5.5" Black Duraflex Finish		LF		
	200	Landscape Fabric		SF		SF		
	95	Shredded Hardwood Mulch (3" depth)		Area: 10,325 SF		CY		Bark Mulch; apply Preemerge after installation of mulch
	63	Soil Amendments (2" depth)		Area: 10,325 SF		CY		
	23	Pulverized Topsoil (Lawn Area)		Area: 7,400 SF		CY		
	63	Pulverized Topsoil (2" over bed areas)		Area: 10,325 SF		CY		

*Landscape counts & quantities are provided as a service to the Landscape Contractor; Landscape Contractor is responsible for verifying these counts and quantities in order to provide a complete landscape installation as outlined on this Landscape Master Plan. In the event that a discrepancy occurs between this schedule and the Landscape Master Plan, the Landscape Master Plan including the graphics and notations depicted thereon shall govern.

PLANT & MATERIAL SCHEDULE



PLANTING & HARDSCAPE DETAILS

KSingh Engineers
 Scientists
 Consultants

3636 North 124th Street
 Wauwatosa, WI 53222
 262-821-1171

CONSULTANT

HELLER & ASSOCIATES, LLC
 LANDSCAPE ARCHITECTURE

One Redwood Court
 Racine, Wisconsin 53402
 ph 262.639.9733
 fx 262.639.9737
 email@hellerheller.com

CONSULTANT

CONSULTANT

TITLE: LANDSCAPE DETAILS, NOTES, & SCHEDULES
 PROJECT TITLE: THE HILLS LUXURY COMMONS BLOCK C
 CLIENT: ROYAL CAPITAL GROUP, LLC
 PROJECT LOCATION: E. BROWN ST., MILWAUKEE, WI

REVISIONS	DATE	DESCRIPTION

DRAWN BY: WDH/PCA DATE: 06/15/2017
 CHECKED BY: APS DATE: 06/15/2017

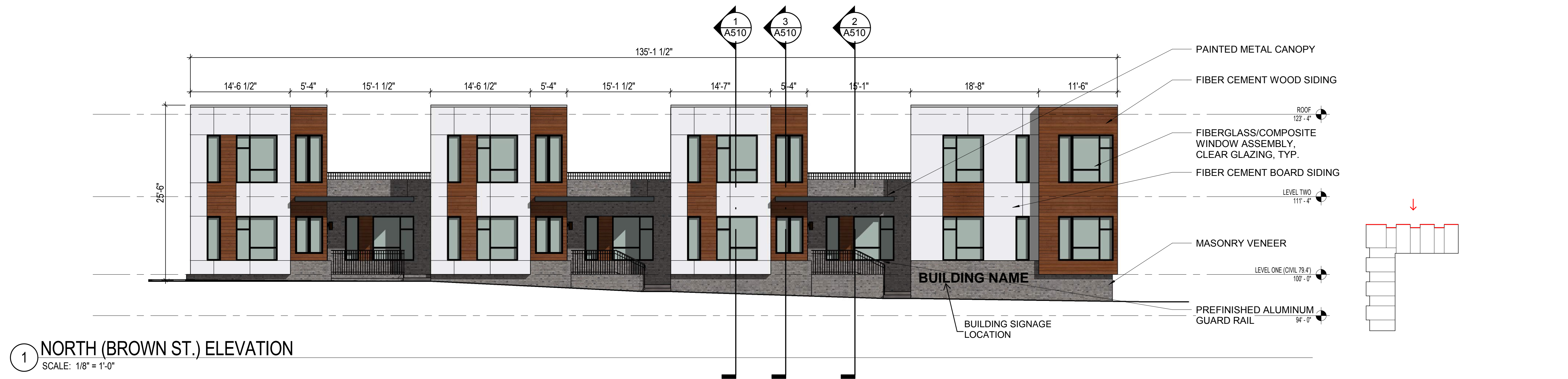
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**THE HILLS LUXURY
COMMONS- BLOCK C**

E. BROWN ST. AND N. HUBBARD ST.
MILWAUKEE, WI

Royal Capital Group, LLC.
710 E. Plankinton Ave, Suite 300
Milwaukee, WI 53203

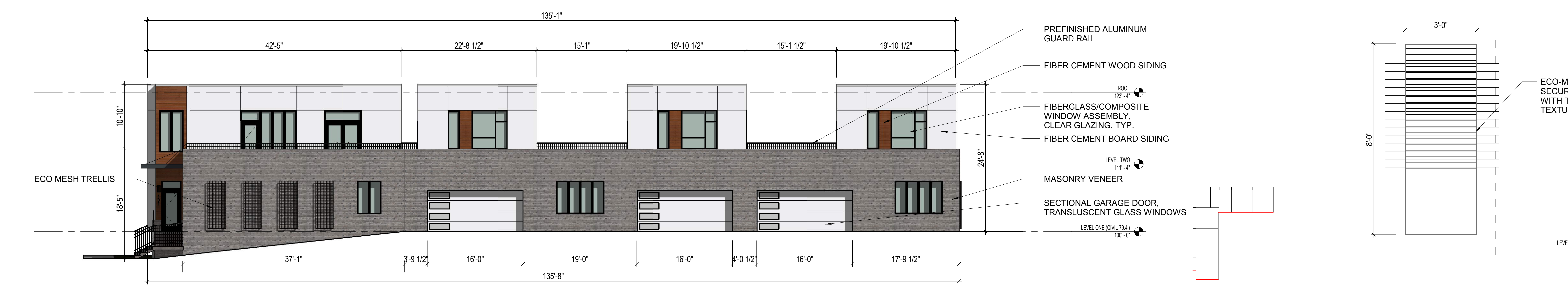
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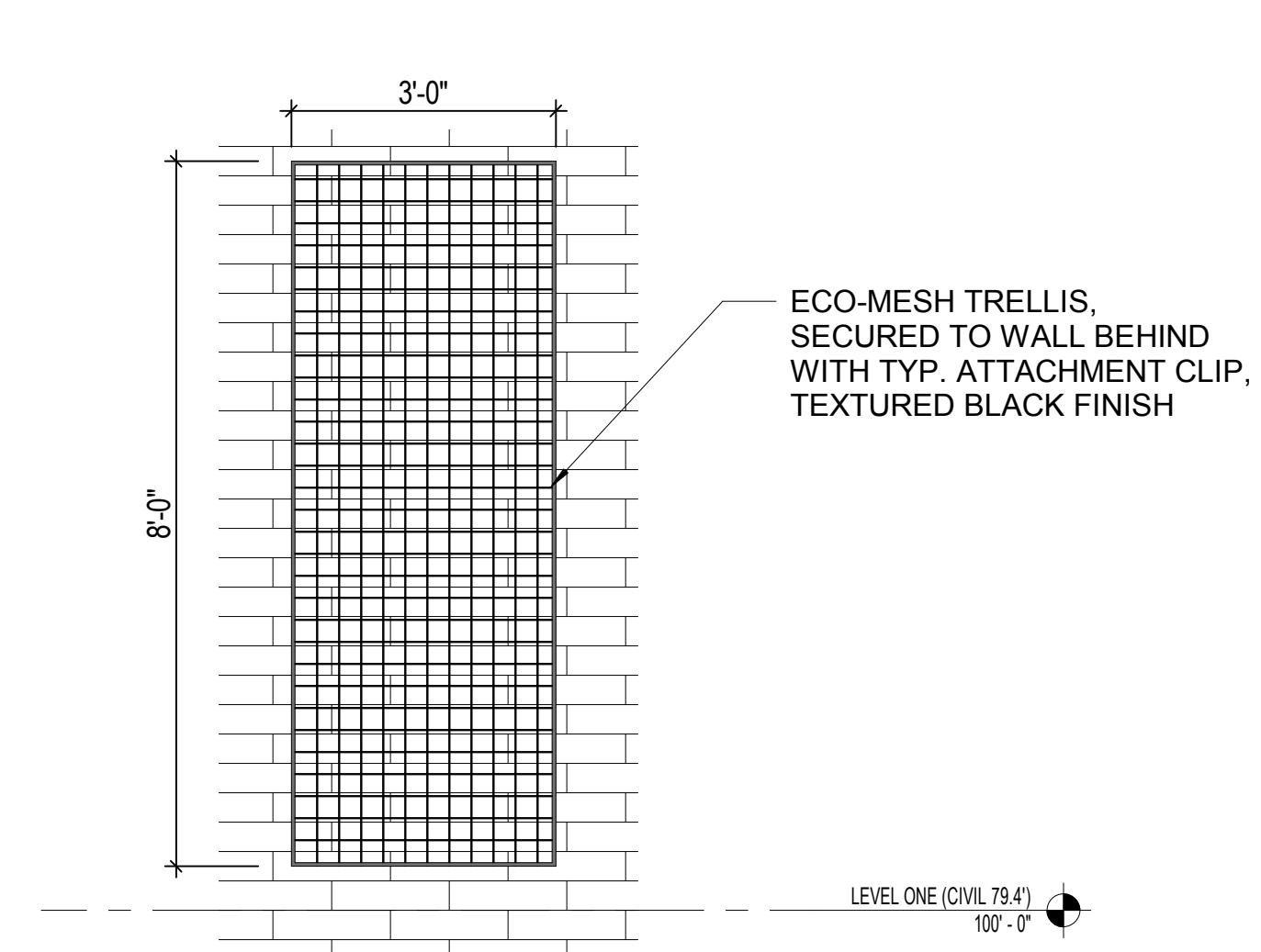
1 NORTH (BROWN ST.) ELEVATION
SCALE: 1/8" = 1'-0"



2 WEST (HUBBARD ST.) ELEVATION
SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



4 TRELLIS ELEVATION
SCALE: 1/2" = 1'-0"

ISSUED FOR:
REVIEW SET 06/16/17

REVISION FOR:
NO. DESCRIPTION DATE

**REVIEW SET - NOT FOR
CONSTRUCTION**

DRAWN BY Author
CHECKED BY Checker

ELEVATIONS

**THE HILLS LUXURY
COMMONS- BLOCK C**

E. BROWN ST. AND N. HUBBARD ST.
MILWAUKEE, WI

Royal Capital Group, LLC.
710 E. Plankinton Ave, Suite 300
Milwaukee, WI 53203

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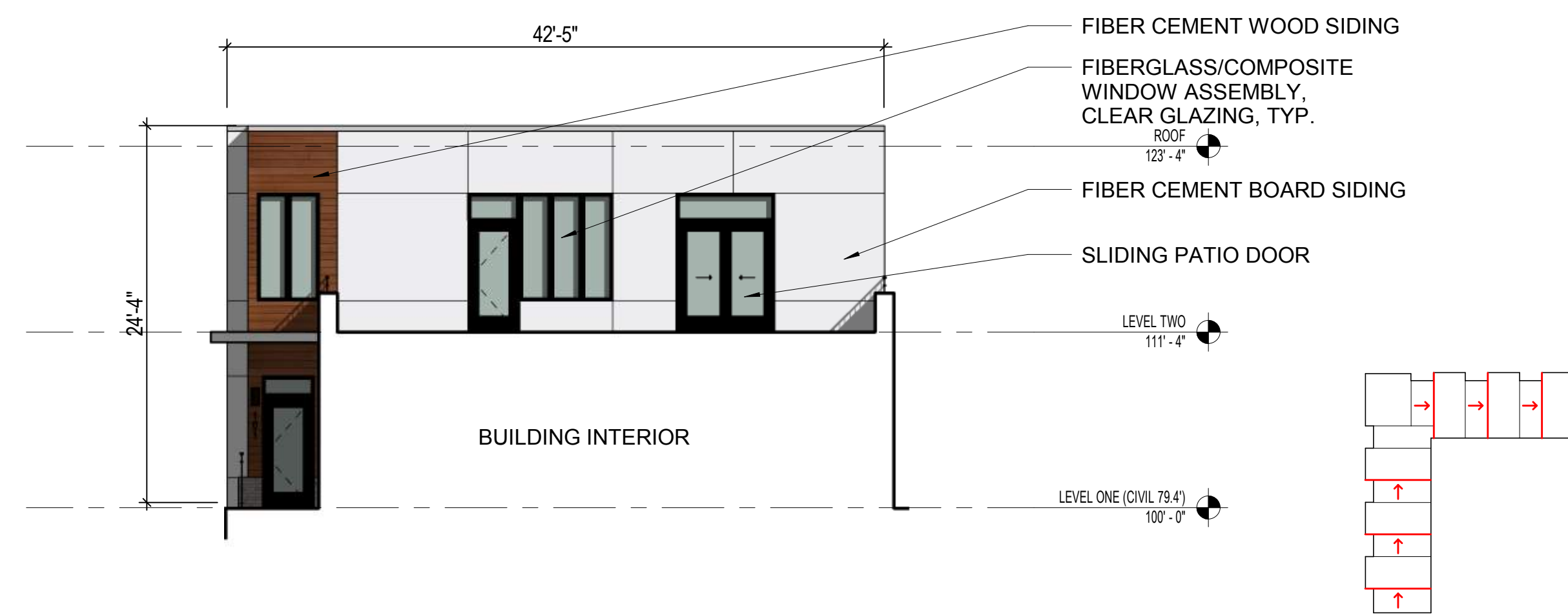
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ELEVATIONS

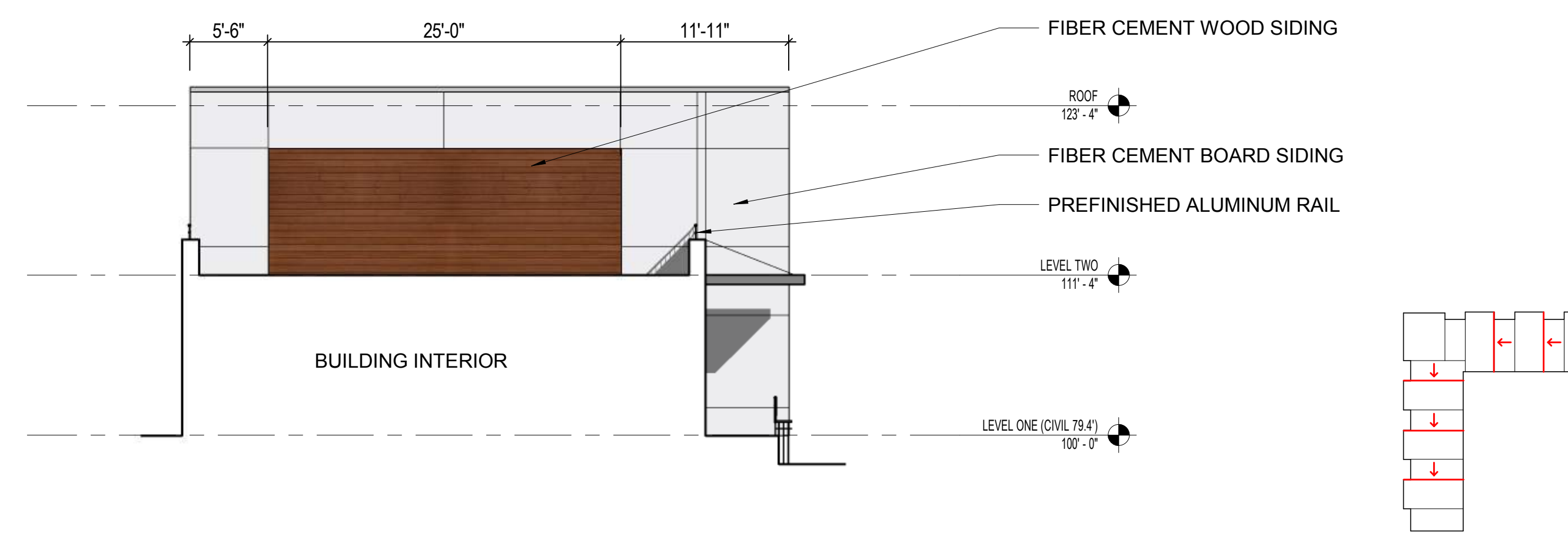
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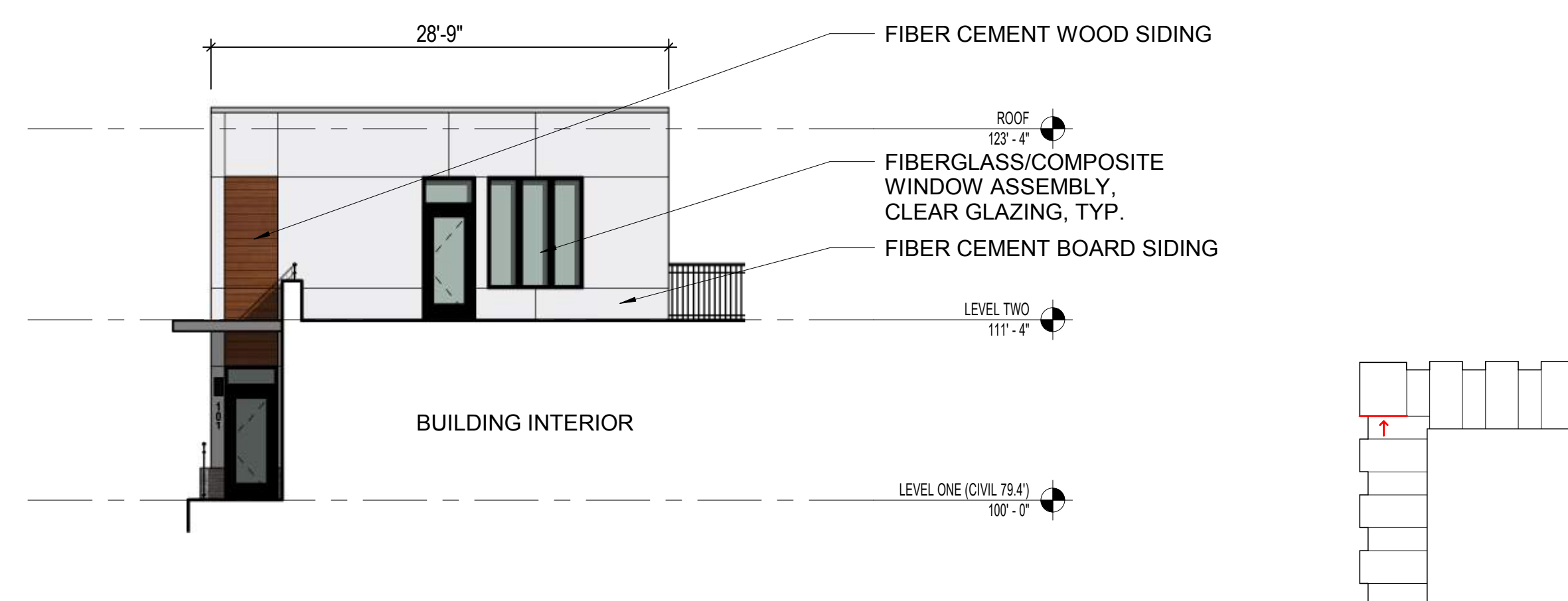
1 EAST (KILLIAN PL.) ELEVATION
SCALE: 1/8" = 1'-0"



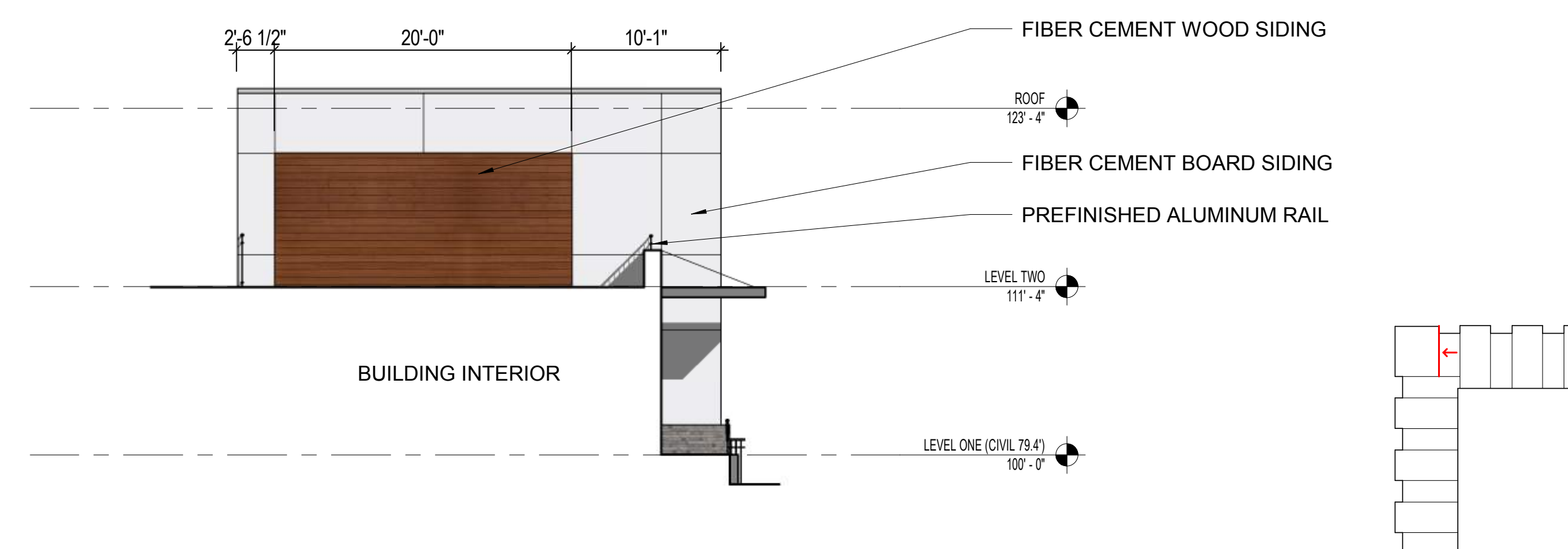
2 TYPICAL UNIT INSIDE ELEVATION
SCALE: 1/8" = 1'-0"



4 ROOF TERRACE INSIDE ELEVATION
SCALE: 1/8" = 1'-0"



3 CORNER UNIT INSIDE ELEVATION
SCALE: 1/8" = 1'-0"



5 ROOF TERRACE AT CORNER
SCALE: 1/8" = 1'-0"

**THE HILLS LUXURY
COMMONS- BLOCK C**

E. BROWN ST. AND N. HUBBARD ST.
MILWAUKEE, WI

Royal Capital Group, LLC.
710 E. Plankinton Ave, Suite 300
Milwaukee, WI 53203

PROJECT NUMBER 172715.02

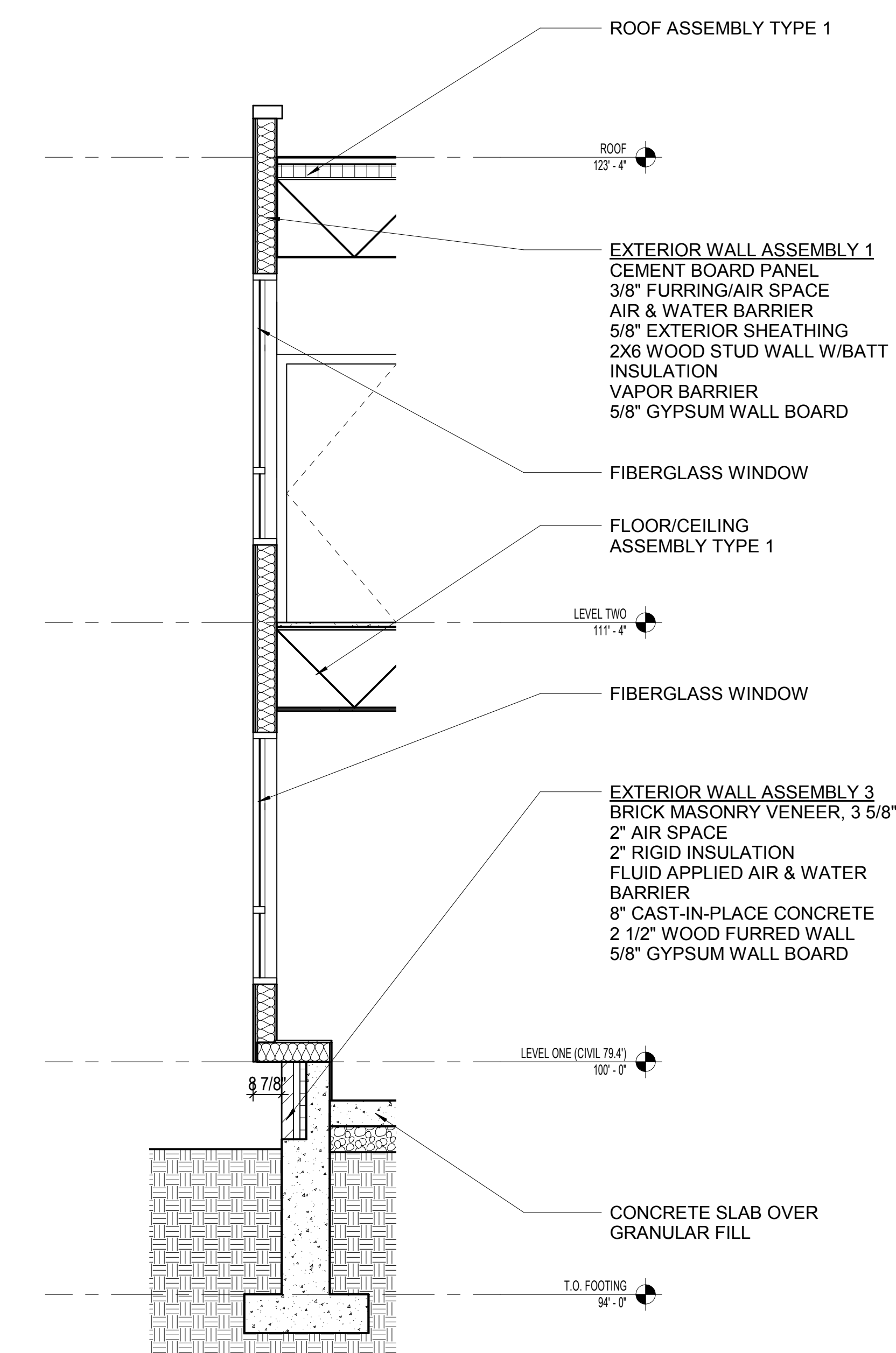
ISSUED FOR:
REVIEW SET 06/16/17

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NO. DESCRIPTION DATE

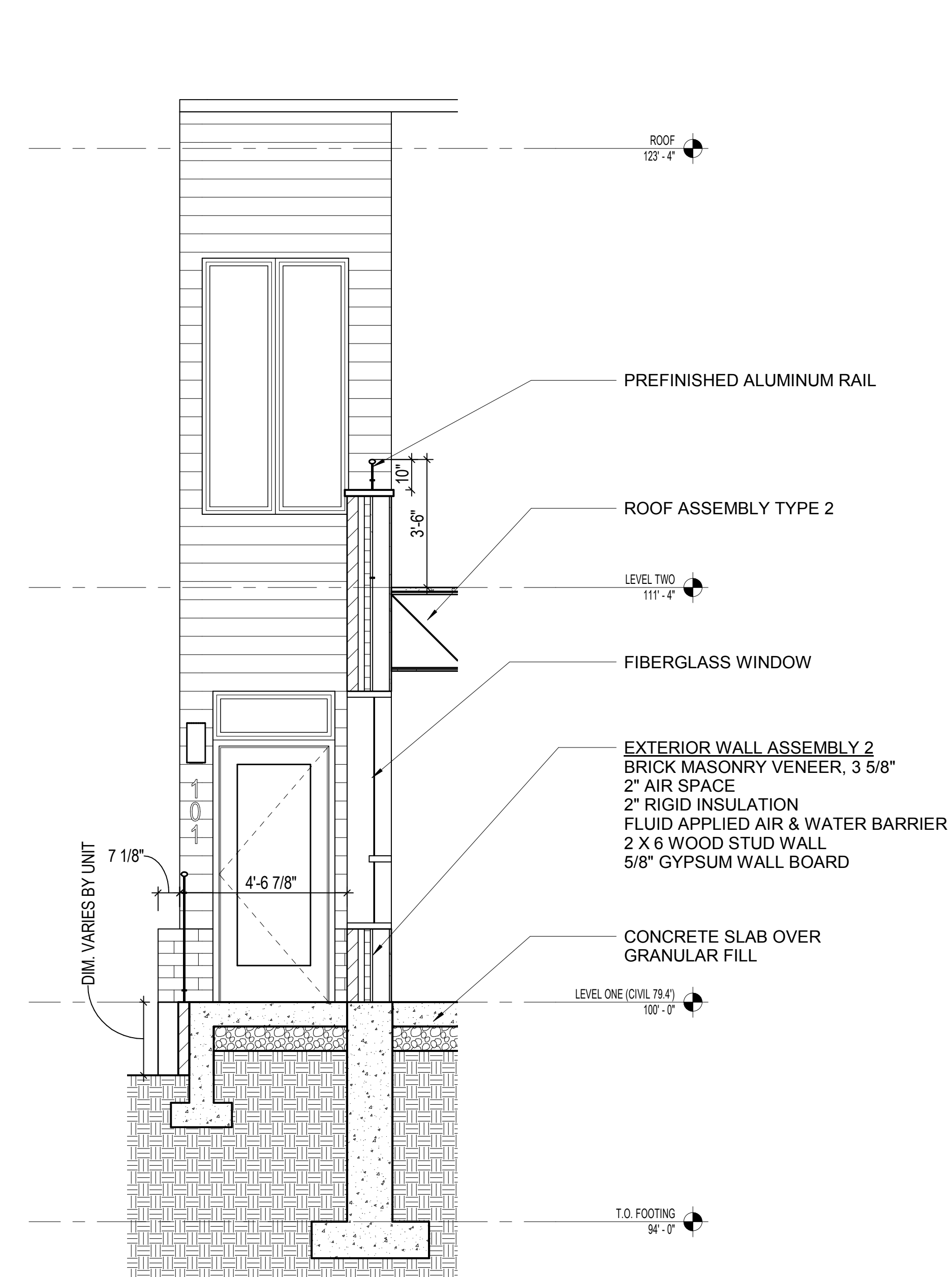
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CONSTRUCTION**

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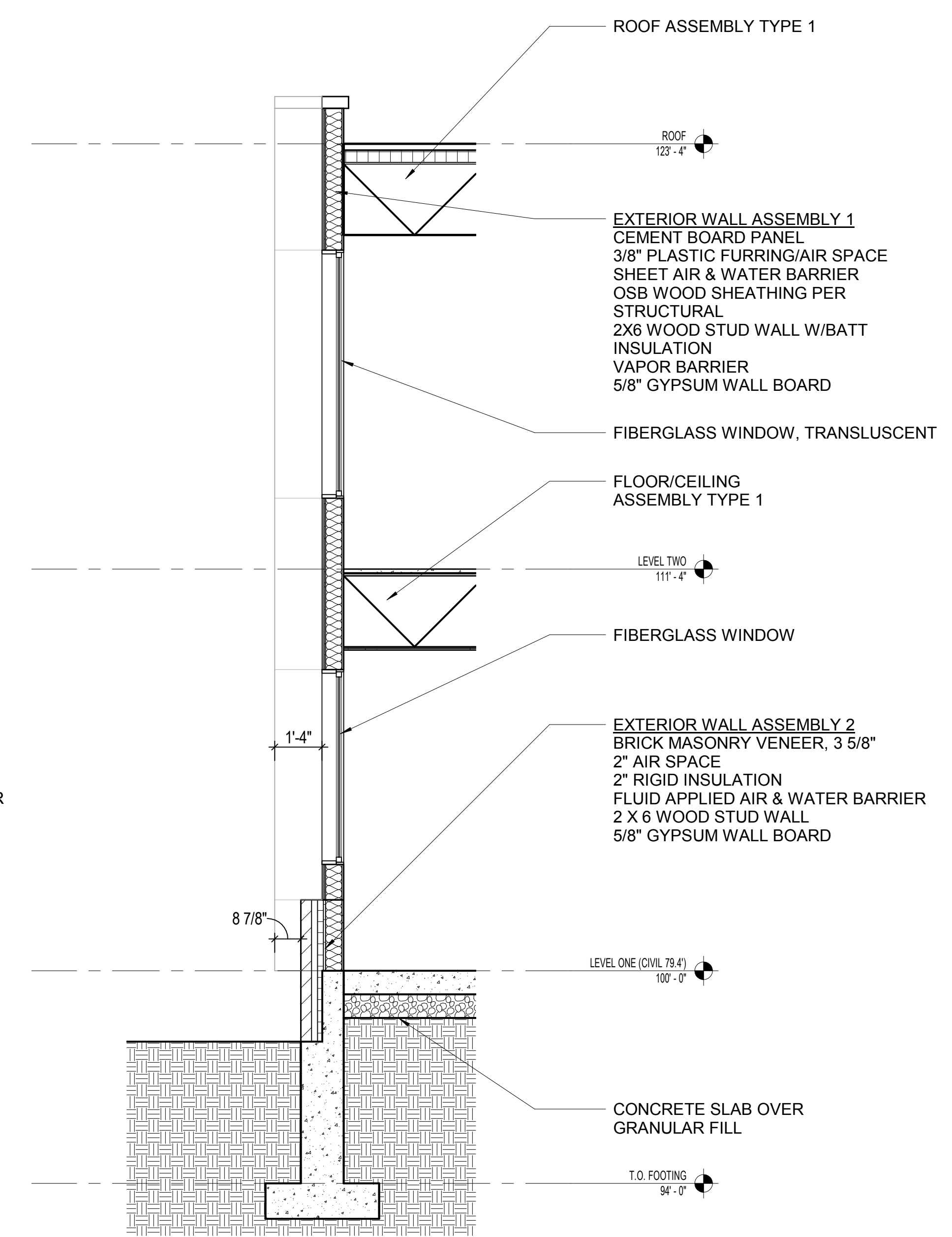
WALL SECTIONS



1 WALL SECTION AT BAY PROJECTION
SCALE: 3/8" = 1'-0"



2 WALL SECTION AT 1-STORY MASONRY WALL
SCALE: 3/8" = 1'-0"



3 WALL SECTION AT WOOD SIDING
SCALE: 3/8" = 1'-0"



THE HILLS LUXURY COMMONS- BLOCK C

PERSPECTIVE VIEW ALONG E. BROWN ST.
SCALE:

Engberg Anderson Project No. 172715.02



MILWAUKEE | MADISON | TUSCON | CHICAGO