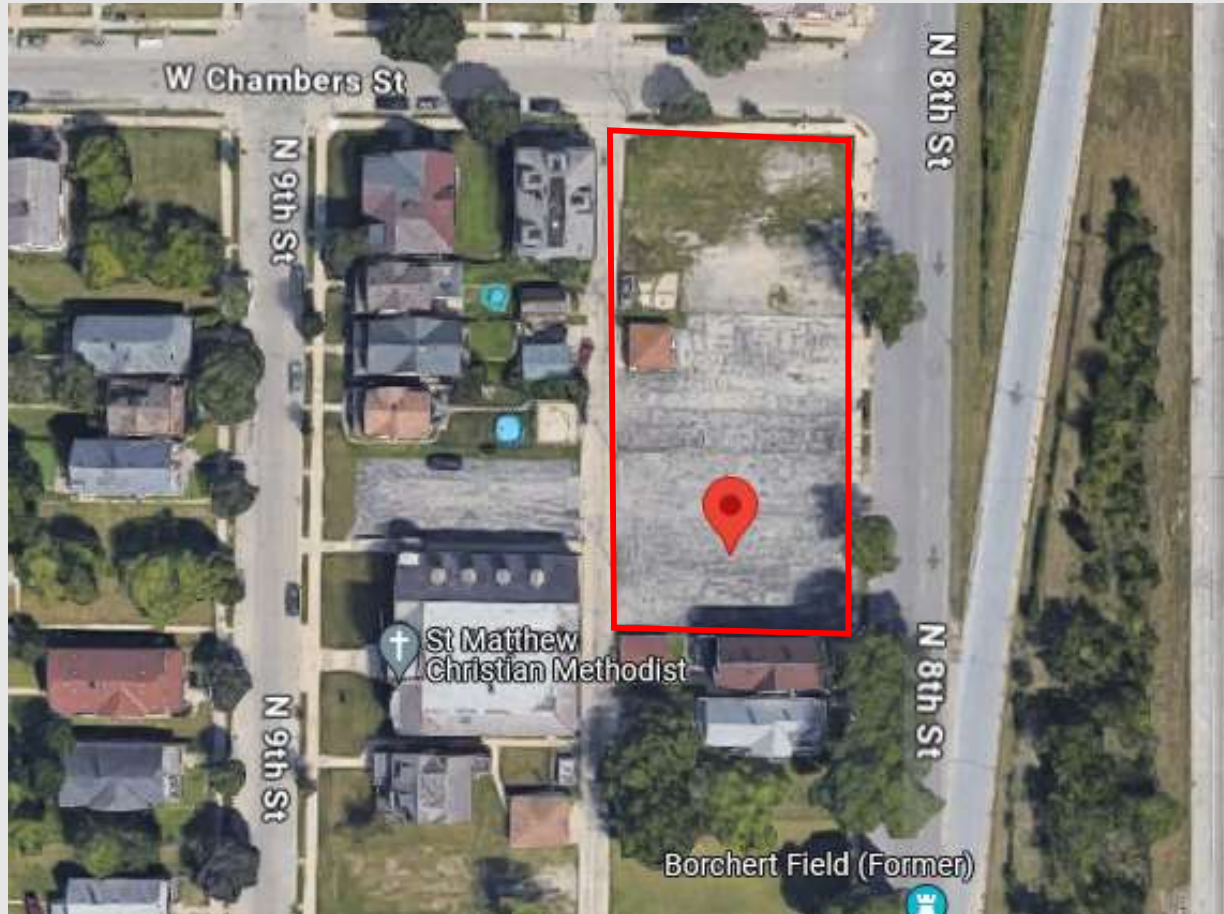
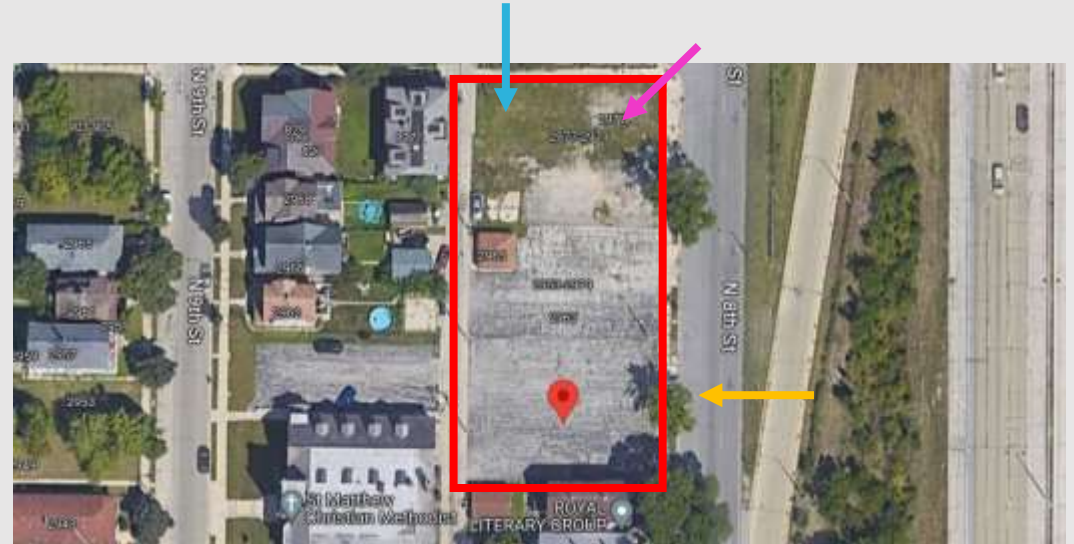


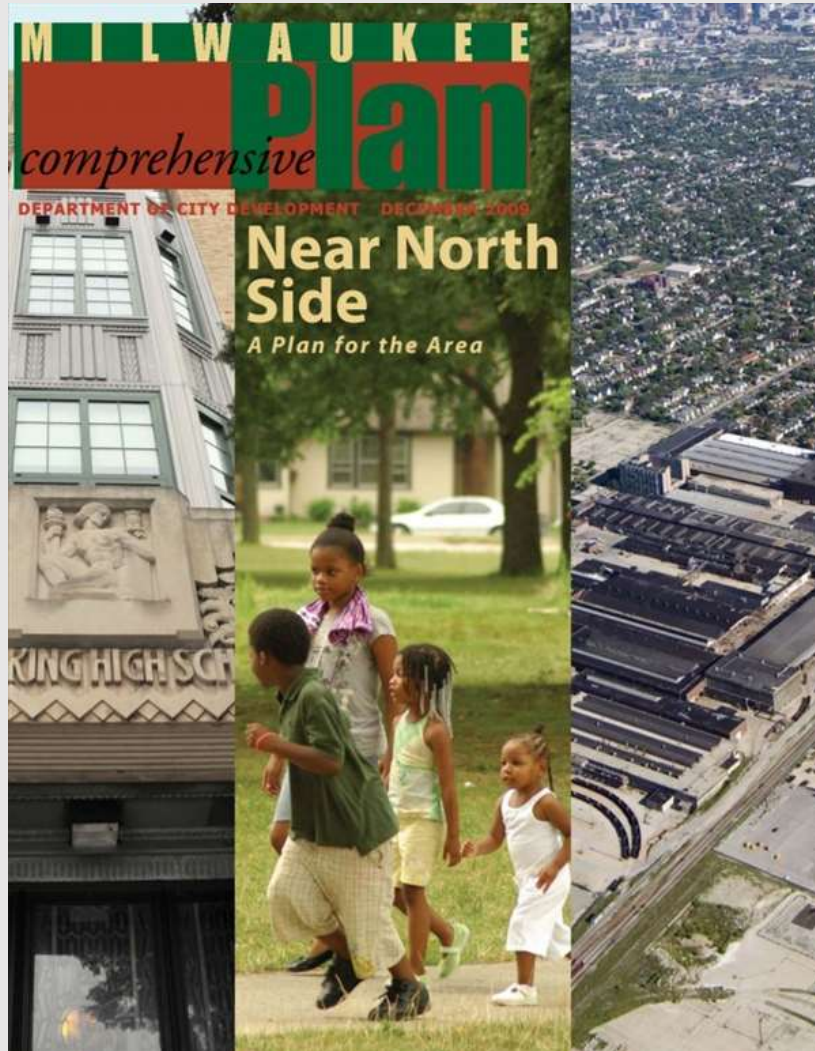
File No. 230880. A substitute ordinance relating to the change in zoning from Two-Family Residential, RT4, to a Detailed Planned Development to allow multi-family residential development at 2953-2979 North 8th Street, located on the south side of West Chambers Street, west of North 8th Street, in the 6th Aldermanic District.



File No. 230880. Context.



File No. 230880. Consistency with Comprehensive Plan.



Near North Side Area Plan

- Adopted in 2009.
- The plan recommends increasing the diversity of housing options to meet a variety of household incomes and needs and specifically calls out the need for housing for seniors.
- The proposed buildings are compatible with the neighborhood.
- The plan encourages building landscaped areas that can bring community members together in positive social interactions.
- **The proposed zoning change is consistent with the Near North Side Area Plan.**



ST MATTHEWS MULTI-FAMILY HOUSING

MILWAUKEE, WISCONSIN | NOVEMBER 17, 2023



VICINITY MAP - N.T.S.



ARCHITECTURAL SITE PLAN



ST. MATTHEW'S SENIOR HOUSING

VICINITY MAP & SITE PLAN

SCALE: 1" = 30'-0"

NOVEMBER 17, 2023

Engberg Anderson Project No. 223433.00



PROPOSED ST. MATTHEW'S SITE



VIEWS TOWARD DOWNTOWN FROM PROPOSED ST. MATTHEW'S SITE

ST. MATTHEW'S SENIOR HOUSING



SITE LOCATION & CONTEXT

SCALE: NTS

NOVEMBER 17, 2023

Engberg Anderson Project No. 223433.00



2047 N. 8TH ST



2353-2363 N. 8TH ST



2305 N. 8TH ST



2077 N. 8TH ST TOWARD 817 W CHAMBERS ST



802 W CHAMBERS ST



827 W CHAMBERS ST



3002 N 9TH ST



2004 N 9TH ST



ST. MATTHEW CME CHURCH, 2344 N. 9TH ST



ALLEY VIEW, REAR OF ST. MATTHEW CME CHURCH, 2344 N. 9TH ST



2038 N. 9TH ST



2902, 2006, & 2003 N. 9TH ST (R TO L)



ST. MATTHEW'S SENIOR HOUSING



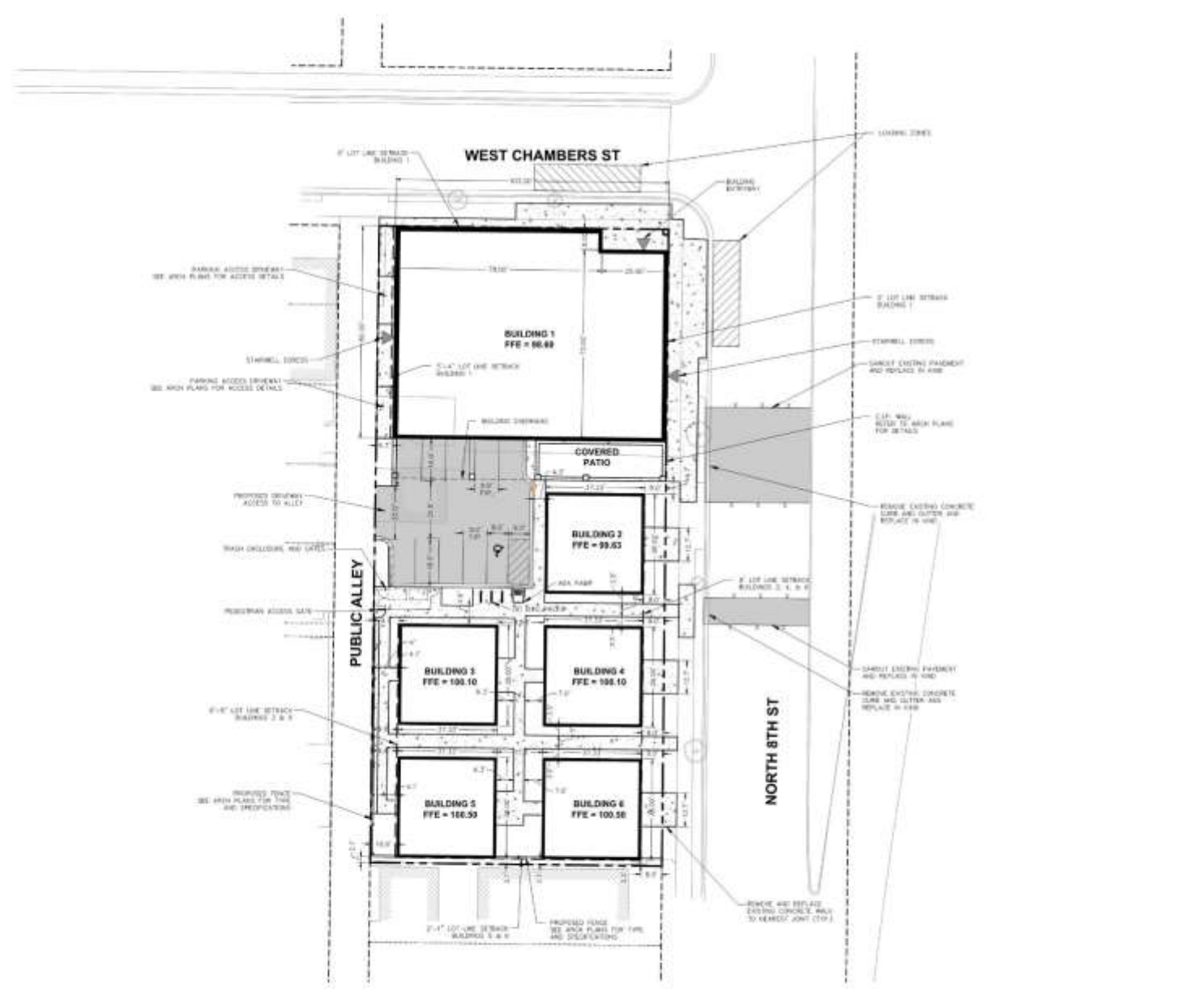
SITE PHOTOS

SCALE: 1" = 40'-0"

NOVEMBER 17, 2023

Engberg Anderson Project No. 223433.00

SD-SPH



LEGEND

[Symbol]	PROPERTY LINE
[Symbol]	HOVEY-DE-WAY
[Symbol]	EASEMENT LINE
[Symbol]	BUILDING OUTLINE
[Symbol]	BUILDING OVERLAP
[Symbol]	BUILDING SETBACK LINE
[Symbol]	PAVEMENT SETBACK LINE
[Symbol]	EDGE OF PAVEMENT
[Symbol]	1/4\"/>

BUILDING NUMBER	N. CHAMBERS ST	S. CHAMBERS ST	PUBLIC ALLEY	SOUTH LOT LINE
1	0	0	0	0
2	0	0	0	0
3	0	0	0	0
4	0	0	0	0
5	0	0	0	0
6	0	0	0	0



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MILWAUKEE REGIONAL OFFICE
100 WEST WISCONSIN STREET, SUITE 400
MILWAUKEE, WISCONSIN 53102
P: 202.313.2898

CLIENT:
CUPID DEVELOPMENT, LLC.

PROJECT ADDRESS:
**3255-3277 NORTH 8TH STREET
MILWAUKEE, WI 53206**

PROJECT:
ST. MATTHEW'S SENIOR HOUSING

PROJECT LOCATION:
**3255-3277 NORTH 8TH STREET
MILWAUKEE, WI 53206**

PLAN REVISIONS:

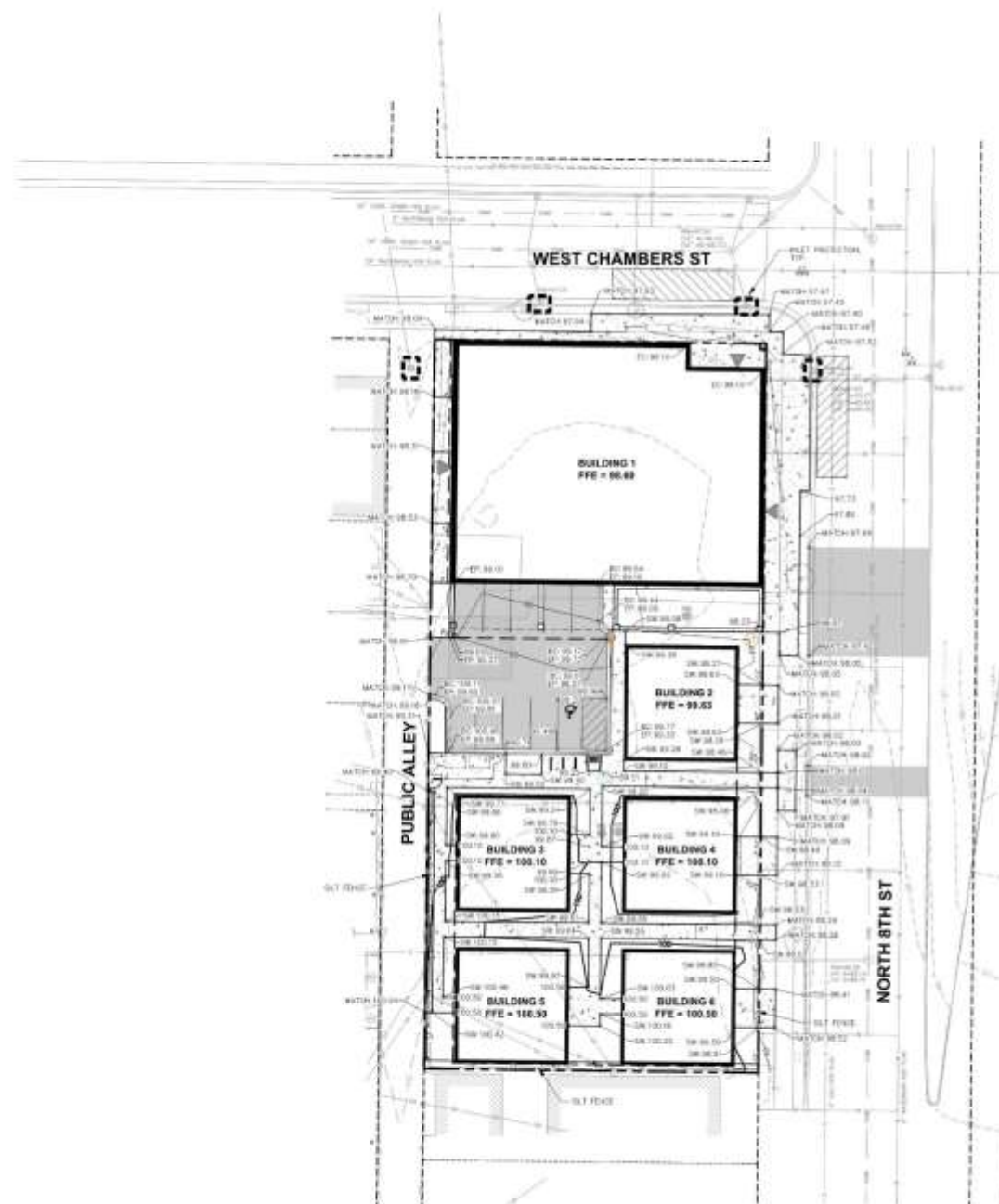
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1	10/21/2024	ISSUE FOR PERMIT
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Designed By: **CR**
Reviewed By: **JM**
Approved By: **JM**

SITE PLAN

SHEET NUMBER:
C3.0
302 PROJECT 303 24-0001

1:\projects\110020000\110020000.dwg - 11/15/2011 10:00:00 AM - 11/15/2011 10:00:00 AM - 11/15/2011 10:00:00 AM - 11/15/2011 10:00:00 AM



- LEGEND**
- PROPERTY LINE
 - RIGHT-OF-WAY
 - EASEMENT LINE
 - BUILDING OUTLINE
 - BUILDING OVERLAP
 - TOP OF FINISH
 - STANDING CURB AND GUTTER
 - READY CURB AND GUTTER
 - ROADWAY CURB AND GUTTER
 - 6" CONCRETE FINISH CURB
 - SPHALT PAVEMENT
 - HEAVY DUTY ASPHALT PAVEMENT
 - CONCRETE PAVEMENT
 - HEAVY DUTY CONCRETE PAVEMENT
 - PROPPOSE 1 FOOT CONTOUR
 - PROPPOSE 3 FOOT CONTOUR
 - EXISTING 1 FOOT CONTOUR
 - EXISTING 3 FOOT CONTOUR
 - DRAINAGE DIRECTION
 - GRADE BREAK
 - SEPARATED MANHOLES AREA
 - RETAINING WALL
 - COLLECTOR WALL
 - RAILER
 - TREX
 - ULT FENCE
 - NO-STEP
 - DISTRIBUTION DRAINAGE
 - FRESH MATING
 - SNOW REMOVAL MATING
 - ROOF DRAINAGE
 - RF - TOP OF PAVEMENT
 - FC - FINISH GRADE
 - TC - TOP OF CURB/GUTTER
 - BC - BENCH OR CURB
 - MATCH - MATCH EXISTING GRADE
 - ME - MEAN POINT
 - CB - CORNER
 - BIRTH CHAIR
 - WULT PROVISION



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MILWAUKEE REGIONAL OFFICE
 1401 WEST WISCONSIN AVENUE, SUITE 200
 MILWAUKEE, WISCONSIN 53233
 P. 262.513.0880

CLIENT:
CUPID DEVELOPMENT, LLC.

PROJECT ADDRESS:
**5425 WEST MELVINA STREET
 MILWAUKEE, WI 53216**

PROJECT:
**ST. MATTHEW'S
 SENIOR HOUSING**

PROPERTY LOCATION:
**2865-2877 NORTH 8TH STREET
 MILWAUKEE, WI 53206**

PLAN REVISIONS:

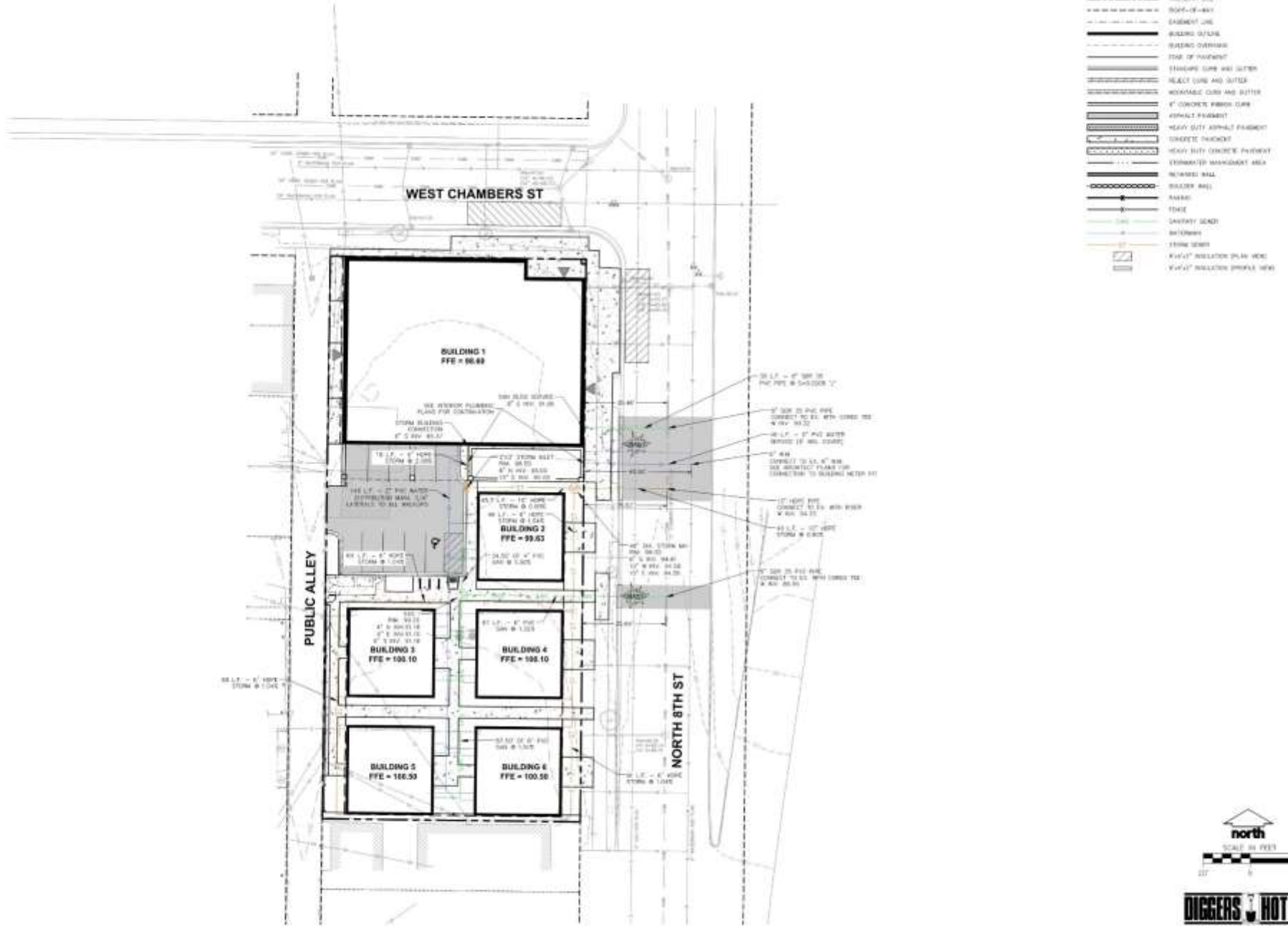
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Designed By: **CB**
 Reviewed By: **AM**
 Approved By: **CB**

SITE GRADING PLAN

SHEET NUMBER:
C4.0

2011 PROJECT NO. 110020000 21-4487



LEGEND

- - - - -	PROPERTY LINE
- - - - -	SEWER/STORM MAIN
- - - - -	SEWER LINE
- - - - -	STORM OVERFLOW
- - - - -	TOP OF PAVERMENT
- - - - -	STANDOFF LINE AND DETER
- - - - -	HEAVY DUTY AND DETER
- - - - -	WEARABLE CURB AND DETER
- - - - -	4" CONCRETE FINISH CURB
- - - - -	2" WOOD GUMMET
- - - - -	HEAVY DUTY ASPHALT FINISH
- - - - -	CONCRETE FINISH
- - - - -	HEAVY DUTY CONCRETE FINISH
- - - - -	CONCRETE MANSARD AREA
- - - - -	RETAINED WALL
- - - - -	RAMP
- - - - -	TISSUE
- - - - -	CONCRETE SLOPE
- - - - -	RETAINMENT
- - - - -	STEEL SLOPE
- - - - -	RAVINE INSULATION (PLAN VIEW)
- - - - -	RAVINE INSULATION (PROFILE VIEW)



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MILWAUKEE REGIONAL OFFICE
 300 W. WISCONSIN STREET, SUITE 200
 MILWAUKEE, WISCONSIN 53101
 P: 202.313.9888

CLIENT
CUPID DEVELOPMENT, LLC

PROJECT ADDRESS
 2625 WEST MELVINA STREET
 MILWAUKEE, WI 53216

PROJECT
ST. MATTHEW'S SENIOR HOUSING

PROJECT LOCATION
 2265-2377 NORTH 8TH STREET
 MILWAUKEE, WI 53206

PLAN REVISIONS:

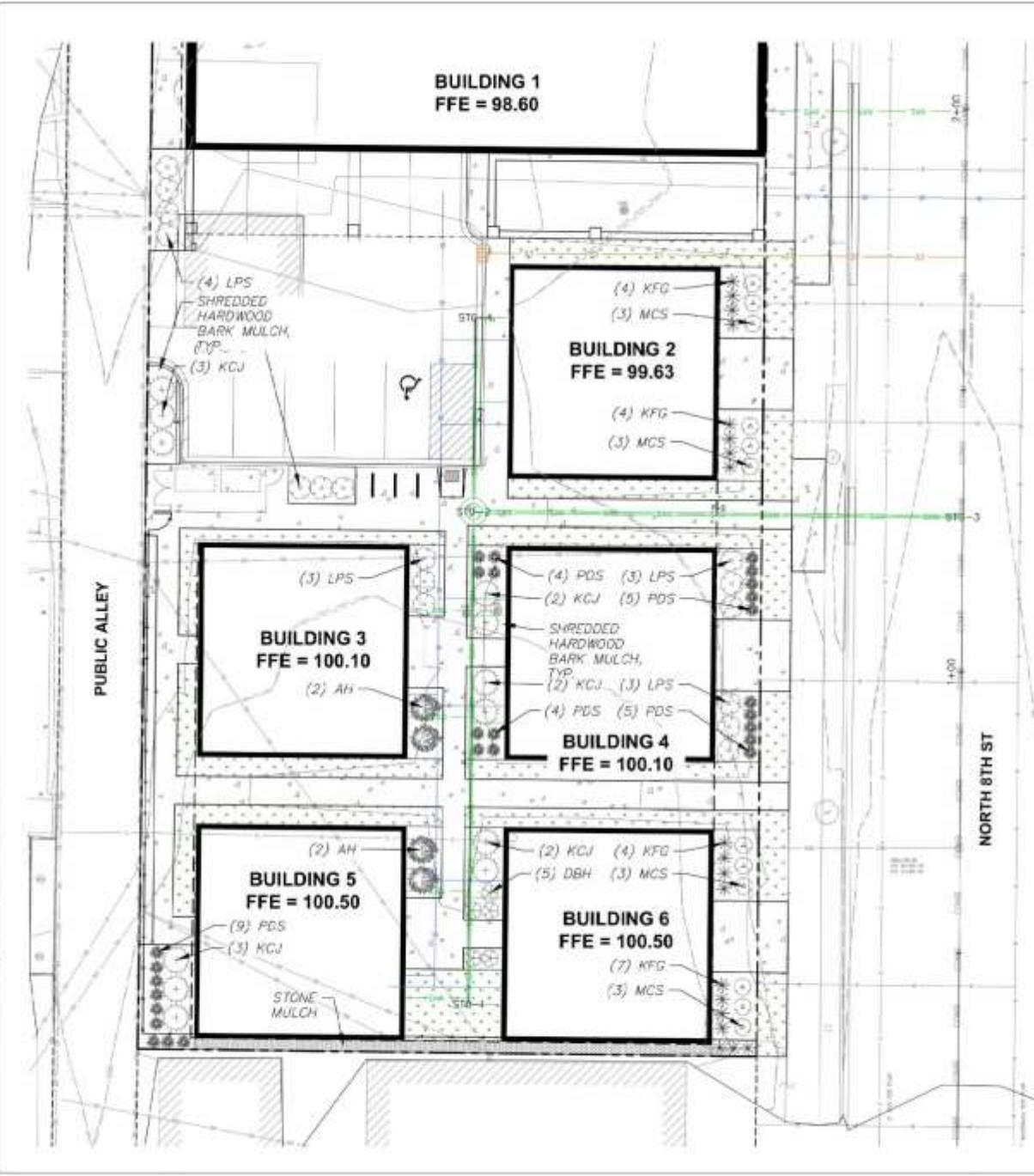
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Designed By: JSD
 Reviewed By: JSD
 Drawn By: JSD

SITE UTILITY PLAN

SHEET NUMBER
C5.0





GENERAL NOTES

1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTED AND LEGEND.
2. ALL WORK IN THE ZONE SHALL BE IN ACCORDANCE WITH THE MUNICIPAL STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
3. JOB SHALL BE HELD HAZARDOUS AND DOES NOT WARRANT ANY GUARANTEES BY THE EMPLOYER EXCEPT FROM THE APPROVED CONSTRUCTION PLANS THAT MAY OCCUR IN DISCRETIONARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
4. DRAWINGS FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED BY THE TITLE BLOCK.
5. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL THE PLANTING AND INSTALLATION WITH GENERAL CONTRACTOR.
6. REFER TO LANDSCAPE DETAILS AND NOTES SHEET FOR ADDITIONAL DETAILS, ACCESS AND PREPARATION INFORMATION INCLUDING MATERIALS, SUBSTRATE AND DETAILING RELATED TO LANDSCAPE PLAN.
7. CONTRACTOR SHALL REVIEW SITE CONDITIONS FOR UTILITY CONFLICTS, DRAINAGE, SOILS, UNDERGROUND ROCK, AND PLANT PLACEMENT CONFLICTS PRIOR TO PLANT INSTALLATION. REPORT ANY CONDITIONS THAT MAY HAVE ADVERSE IMPACT ON PLANTING OPERATIONS TO LANDSCAPE ARCHITECT.
8. DO NOT DAMAGE PLANTING OPERATIONS UNITS. ALL NECESSARY SITE IMPROVEMENTS, PREPARATION INSTALLATION OF APPLICABLE, AND FINISH GRADING ARE COMPLETE.

LANDSCAPE REQUIREMENTS

LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY
- EASEMENT LINE
- BUILDING OUTLINE
- BUILDING OVERHANG
- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- SELECT CURB AND GUTTER
- MONUMENTAL CURB AND GUTTER
- 8" CONCRETE FINISH CURB
- ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- STORMWATER MANAGEMENT AREA
- RETAINING WALL
- BALUSTRADE WALL
- RAILING
- FENCE
- BARBERRY FENCE
- WATERWAY
- STORM SEWER
- EMPAK' INSULATION (PLAN VIEW)
- EMPAK' INSULATION (PROFILE VIEW)
- PERFORATED 1/2" DRAINAGE SCREEN
- PERFORATED 1/2" DRAINAGE SCREEN
- STONE MULCH
- ALUMINUM EDGING

PLANT SCHEDULE

SYMBOL	PLANT	QUANTITY	LOCATION	DATE	BY	CHK
⊙	Bushes - Various / Dwarf Blue Hydrangea	10	Building 1	10/20/20	JSD	JSD
⊙	Shrub - Various / Dwarf Blue Hydrangea	10	Building 2	10/20/20	JSD	JSD
⊙	Shrub - Various / Dwarf Blue Hydrangea	10	Building 3	10/20/20	JSD	JSD
⊙	Shrub - Various / Dwarf Blue Hydrangea	10	Building 4	10/20/20	JSD	JSD
⊙	Shrub - Various / Dwarf Blue Hydrangea	10	Building 5	10/20/20	JSD	JSD
⊙	Shrub - Various / Dwarf Blue Hydrangea	10	Building 6	10/20/20	JSD	JSD



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MILWAUKEE, WISCONSIN 53233
P. 262.533.8686

CLIENT ADDRESS
605 WEST MELVINA STREET
MILWAUKEE, WI 53219

PROJECT
ST. MATTHEW'S SENIOR HOUSING

PROJECT ADDRESS
2805-2817 NORTH 8TH STREET
MILWAUKEE, WI 53205

PLAN REVISIONS

#	Date	Description
1	10/20/20	ISSUE FOR PERMITTING
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DESIGNED BY: JSD
REVIEWED BY: JSD
APPROVED BY: JSD

SITE LANDSCAPE PLAN

SHEET NUMBER
L1.0

JSD PROJECT NO. 24-1001



ST MATTHEWS DEVELOPMENT DATA											
UNIT TOTALS (UNIT MIX 48% 1-BD / 32% 2-BD / 20% 3-BD)											
BLDG 01	1BR	2BR	3BR	SUBTOTAL		BLDG 02	1BR	2BR	3BR	SUBTOTAL	TOTAL
1ST FL	0	0	0	0		BLDG 02	0	0	2	2	2
2ND FL	6	4	0	10		BLDG 03	0	0	2	2	2
3RD FL	6	4	0	10		BLDG 04	0	0	2	2	2
4TH FL	6	4	0	10		BLDG 05	0	0	2	2	2
5TH FL	6	4	0	10		BLDG 06	0	0	2	2	2
SUBTOTAL	24	16	0			SUBTOTAL	0	0	10	-	10
TOTAL				40		TOTAL				10	50
PARKING TOTALS (UNIT TO STALL RATIO 1:0.72)											
BLDG 1			26	<i>in bldg 01 enclosed</i>							
BLDG 2,3,4,5 & 6			10	<i>on site surface lot</i>							
TOTAL			36								
PROJECT GROSS SQUARE FOOTAGES											
BLDG 01	GSF / FLOOR				BLDG 02	GSF / FLOOR			SUBTOTALS		
BASEMENT	9,525				BLDG 02	1,270/1,270			2,540		
1ST FL	8,725				BLDG 03	1,270/1,270			2,540		
2ND FL	10,000				BLDG 04	1,270/1,270			2,540		
3RD FL	10,000				BLDG 05	1,270/1,270			2,540		
4TH FL	10,000				BLDG 06	1,270/1,270			2,540		
5TH FL	10,000										
TOTAL	58,250 GSF					12,700 GSF			70,950 GSF		



ST. MATTHEW'S SENIOR HOUSING

BASEMENT-FOUNDATION PLAN AND DEVELOPMENT MATRIX
 SCALE: 1/16" = 1'-0"
 NOVEMBER 17, 2023
 Engberg Anderson Project No. 223433.00



ST. MATTHEW'S SENIOR HOUSING

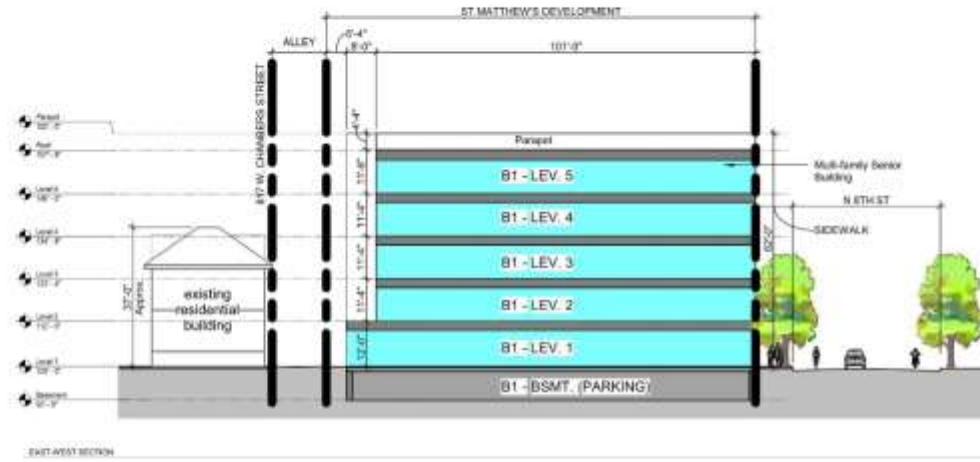


FLOOR PLANS

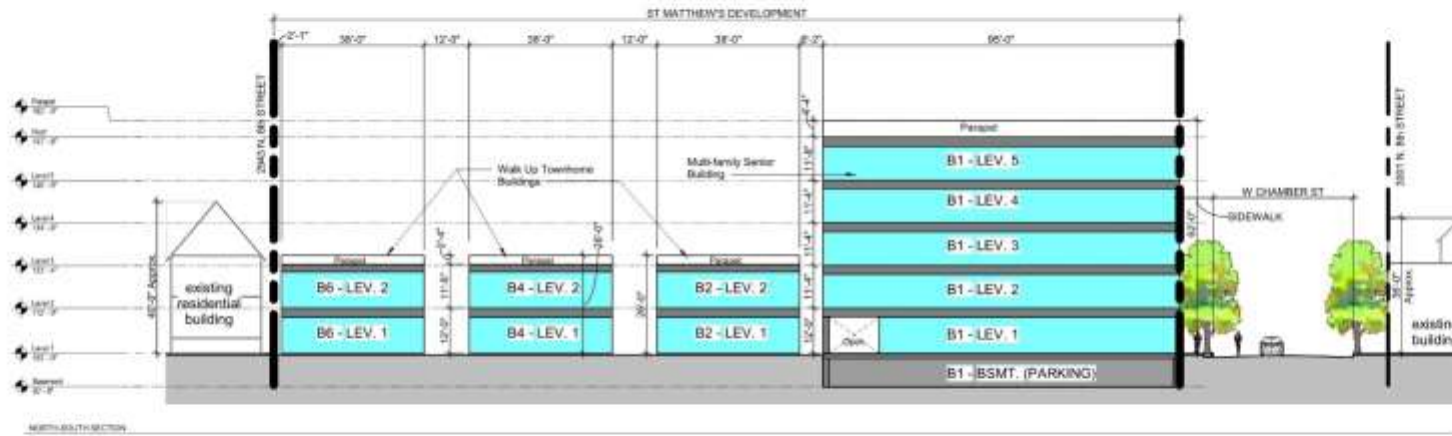
SCALE: 1/16" = 1'-0"

NOVEMBER 17, 2023

Engberg Anderson Project No. 223433.00



EAST-WEST SECTION



NORTH-SOUTH SECTION

ST. MATTHEW'S SENIOR HOUSING



SITE SECTIONS

SCALE: 1/16" = 1'-0"

NOVEMBER 17, 2023

Engberg Anderson Project No. 223433.00

MATERIAL DESIGNATIONS	
MASONRY CLADDING	MC
CEMENT BOARD (LAPPED, CORBELSTONE COLOR)	CB-1
CEMENT BOARD (PANEL, CORBELSTONE COLOR)	CB-2
WOOD LOOK CLADDING	WE
ACCENT PAINT OR GRAPHIC	AP
STOREFRONT	SP

- GENERAL NOTES - EXTERIOR**
1. ALL WINDOWS AND GLAZING DOORS TO BE PREFINISHED BLACK FRAMEGLAZ WITH LOW-E COATING
 2. OVERTHING DOORS TO BE INSULATED - BLACK FINISH
 3. BALCONIES TO BE PREFINISHED ALUMINUM WITH BLACK FINISH & ALUMINUM DECKING WITH FANDED BRICK FINISH
 4. SIGNAGE TO BE 3" HIGH BRACKET IN BLACK METAL FINISH AT BUILDING NAME & 12" HIGH BRACKET WITH BRACKET METAL FINISH AT ADDRESS NUMBERS





CB-1 & CB-2 SMOOTH CEMENT BOARD PANEL

<https://www.jameshardie.com>



WC - WOOD LOOK CEMENT LAP BOARD

<https://woodtone.com/product/rusticseries/rusticseries-lap>



MC - MASONRY CLADDING - FULL BED

<https://www.yankeehillbrick.com>



DARK IRON SPOT VELOUR



SF - STOREFRONT SYSTEM - BLACK FINISH

<https://www.kawneer.us>



4' HIGH ALL-ALUMINUM FENCE

<https://alumi-guard.com/backyard-collection>



6' HIGH WOOD LOOK VINYL FENCE

<https://bufftech.com>



Brookline CertaGrain® Texture



ALL-ALUMINUM HUNG BALCONY - BLACK W/ FAWN BROWN DECKING

<https://www.webuildiron.com>



FIBERGLASS/VINYL - BLACK WINDOWS

<https://www.pella.com>



MATERIAL DESIGNATIONS	
MASONRY CLADDING	MC
CEMENT BOARD (LAPPED, COBBLESTONE COLOR)	CB-1
CEMENT BOARD (PANEL, COBBLESTONE COLOR)	CB-2
WOOD LOOK CLADDING	WC
ACCENT PAINT OR GRAPHIC	AP
STOREFRONT	SF

- GENERAL NOTES - EXTERIOR**
1. ALL WINDOWS AND SLIDING DOORS TO BE FINISHED BLACK FRAMELESS WITH LOW-E COATING
 2. COLORED DOORS TO BE REGULATED BLACK FINISH
 3. BALCONIES TO BE PREFABRICATED ALUMINUM WITH BLACK FINISH & ALUMINUM GLASS WITH FASHION BRUSH FINISH
 4. SIGNAGE TO BE 3/4" HIGH BACKLIT IN BLACK METAL FINISH AT ELEVATION NAME & 12" HIGH BACKLIT IN POLISHED METAL FINISH AT ADDRESS NUMBERING



ST. MATTHEW'S SENIOR HOUSING

EAST ELEVATION SENIOR LIVING
 SCALE: 3/16" = 1'-0"
 NOVEMBER 17, 2023
 Engberg Anderson Project No. 223433.00



MATERIAL DESIGNATIONS	
MASONRY CLADDING	MC
CEMENT BOARD (LAPPED, COBBLESTONE COLOR)	CB-1
CEMENT BOARD (PANEL, COBBLESTONE COLOR)	CB-2
WOOD LOOK CLADDING	WC
ACCENT PAINT OR GRAPHIC	AP
STOREFRONT	SF

GENERAL NOTES - EXTERIOR	
1. ALL WINDOWS AND SLIDING DOORS TO BE PREFINISHED BLACK FINISH WITH LOW E COATING	
2. OVERHEAD DOORS TO BE ANULATED - BLACK FINISH	
3. BALCONIES TO BE PREFABRICATED ALUMINUM WITH GLASS RAILS & ALUMINUM BRACKETS WITH PAPER BRUSH FINISH	
4. WINDOW TO BE 1/2" HIGH BACKLIT IN BLACK METAL FINISH AT BUILDING NAME & 1/2" HIGH BACKLIT IN BRUSHED METAL FINISH AT ADDRESS PLACEMENT	



ST. MATTHEW'S SENIOR HOUSING

WEST ELEVATION SENIOR LIVING

SCALE: 3/16" = 1'-0"

NOVEMBER 17, 2023

Engberg Anderson Project No. 223433.00

MATERIAL DESIGNATIONS	
MASONRY CLADDING	MC
CEMENT BOARD (LAPPED, COBBLESTONE COLOR)	CB-1
CEMENT BOARD (PANEL, COBBLESTONE COLOR)	CB-2
WOOD LOOK CLADDING	WC
ACCENT PAINT OR GRAPHIC	AP
STOREFRONT	SF

GENERAL NOTES - EXTERIOR	
1	ALL WINDOWS AND SLIDING DOORS TO BE PREFINISHED BLACK. FINISHES WITH LOW-E COATING.
2	OVERHEAD DOORS TO BE INSULATED - BLACK FINISH.
3	BALCONIES TO BE PREFINISHED ALUMINUM WITH BLACK FINISH & ALUMINUM DECK WITH PINK BROWN FINISH.
4	GUARDRAIL TO BE 12" HIGH - RACET 5" BLACK SS TRL. FINISH AT BUILDING. MAKE & 12" HIGH SHIELD BY BUSHING METAL FINISH AT ADDRESS.



ST. MATTHEW'S SENIOR HOUSING

NORTH ELEVATION SENIOR LIVING

SCALE: 3/16" = 1'-0"

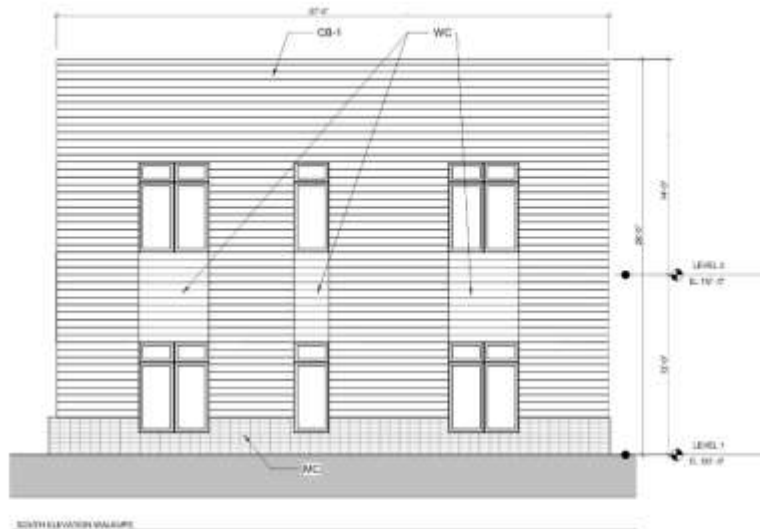
NOVEMBER 17, 2023

Engberg Anderson Project No. 223433.00



MATERIAL DESIGNATIONS	
MASONRY CLADDING	MC
CEMENT BOARD (LAPPED, COBBLESTONE COLOR)	CB-1
CEMENT BOARD (PANEL, COBBLESTONE COLOR)	CB-2
WOOD LOOK CLADDING	WC
ACCENT PAINT OR GRAPHIC	AP
STOREFRONT	SF

- GENERAL NOTES - EXTERIOR**
1. ALL WINDOWS AND SLIDING DOORS TO BE PREFINISHED BLACK FINISH GLASS WITH LOW-E COATING.
 2. SHIMHEAD DOORS TO BE INSULATED - BLACK FINISH.
 3. BALCONIES TO BE PREFABRICATED ALUMINUM WITH BLACK FINISH & ALUMINUM GRILLES WITH PAINT FINISH.
 4. SIGNAGE TO BE 1/2" HIGH BACKLIT IN BLACK METAL FINISH AT BUILDING MAIN & 12" HIGH BACKLIT IN BRUSHING METAL FINISH AT ADDRESS MARKING.



MATERIAL DESIGNATIONS	
MASONRY CLADDING	MC
CEMENT BOARD (LAPPED, COBBLESTONE COLOR)	CB-1
CEMENT BOARD (PANEL, COBBLESTONE COLOR)	CB-2
WOOD LOOK CLADDING	WC
ACCENT PAINT OR GRAPHIC	AP
STOREFRONT	SP

GENERAL NOTES - EXTERIOR	
1. ALL WINDOWS AND SLIDING DOORS TO BE FINISHED BLACK FRAMELESS WITH LOW-E GLASSING	
2. OVERHEAD DOORS TO BE INSULATED - BLACK FINISH	
3. BALCONIES TO BE PREFABRICATED ALUMINUM WITH BLACK FINISH & ALUMINUM FLOOR WITH TANK-BRUSHED FINISH	
4. SIGNAGE TO BE 3/4" HIGH BACKLIT IN BLACK METAL FINISH AT BUILDING WALL & 1" HIGH BACKLIT IN BRUSHED METAL FINISH AT ACCESS NUMBERING	



ST. MATTHEW'S SENIOR HOUSING



BUILDING PERSPECTIVE

SCALE:

NOVEMBER 17, 2023

Engberg Anderson Project No. 223433.00

SD-09



ST. MATTHEW'S SENIOR HOUSING



BUILDING PERSPECTIVE

SCALE:

NOVEMBER 17, 2023

Engberg Anderson Project No. 223433.00

SD-10