



CITY OF MILWAUKEE
OFFICE OF THE CITY CLERK

Monday, May 23, 2016

COMMITTEE MEETING NOTICE

AD 14

CHILDERS, Adam C, Agent
Living Room of Morgandale LLC
823 N 2nd St #802

Milwaukee, WI 53203

You are requested to attend a hearing which is to be held in Room 301-B, Third Floor, City Hall on:

Tuesday, May 31, 2016 at 01:30 PM

Regarding: Your Class B Tavern License Application as agent for "Living Room of Morgandale LLC" for "Ducky's Living Room" at 3172 S 8th St.

There is a possibility that your application may be denied for one or more of the following reasons: The recommendation of the committee regarding the application shall be based on evidence presented at the hearing. Per MCO 85-2.7-4, probative evidence concerning whether or not a new license should be granted may be presented on the following subjects: whether or not the applicant meets the municipal requirements, the appropriateness of the location and premises where the licensed premises is to be located and whether use of the premises for the purposes or activities permitted by the license would tend to facilitate a public or private nuisance or create undesirable neighborhood problems such as disorderly patrons, unreasonably loud noise, litter, and excessive traffic and parking congestion. Probative evidence relating to these matters may be taken from the plan of operation submitted with the license application, if any, but shall not include the content of any music. Evidence regarding the fitness of the location of the premises to be maintained as the principal place of business, including but not limited to whether there is an overconcentration of businesses of the type for which the license is sought; whether the proposal is consistent with any pertinent neighborhood business or development plans, or the location's proximity to areas where children are typically present. The applicant's record in operating similarly licensed premises; and whether or not the applicant has been charged with or convicted of any felony, misdemeanor, municipal offense or other offense, the circumstances of which substantially relate to the activity to be permitted by the license being applied for or any other factor which reasonably relates to the public health, safety or welfare may also be considered. See attached police report or correspondence.

Notice for applicants with warrants or unpaid fines:

Proof of warrant satisfaction or payment of fines must be submitted at the hearing on the above date and time. Failure to comply with this requirement may result in a delay of the granting/denial of your application.

Failure to appear at this meeting may result in the denial of your license. Individual applicants must appear only in person or by an attorney. Corporate or Limited Liability applicants must appear only by the agent designated on the application or by an attorney. Partnership applicants must appear by a partner listed on the application or by an attorney. If you wish to do so and at your own expense, you may be accompanied by an attorney of your choosing to represent you at this hearing.

You will be given an opportunity to speak on behalf of the application and to respond and challenge any charges or reasons given for the denial. No petitions can be accepted by the committee, unless the people who signed the petition are present at the committee hearing and willing to testify. You may present witnesses under oath and you may also confront and cross-examine opposing witnesses under oath. If you have difficulty with the English language, you should bring an interpreter with you, at your expense, so that you can answer questions and participate in your hearing.

You may examine the application file at this office during regular business hours prior to the hearing date. Inquiries regarding this matter may be directed to the person whose signature appears below.

Limited parking for persons attending meetings in City Hall is available at reduced rates (5 hour limit) at the Milwaukee Center on the southwest corner of East Kilbourn and North Water Street. Parking tickets must be validated in the first floor information booth in City Hall.

PLEASE NOTE: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aids. For additional information or to request this service, contact the Council Services Division ADA Coordinator at (414) 286-2998, Fax - (414) 286-3456, TDD - (414) 286-2025.

JIM OWCZARSKI, CITY CLERK

BY: _____

Jason Schunk
License Division Manager

If you have questions regarding this notice, please contact the License Division at (414) 286-2238.

200 E. Wells Street, Room 105, City Hall, Milwaukee, WI 53202. www.milwaukee.gov/license
Phone: (414) 286-2238 Fax: (414) 286-3057 Email Address: License@milwaukee.gov

MILWAUKEE POLICE DEPARTMENT LICENSING

CRIMINAL RECORD/ORDINANCE VIOLATION/INCIDENTS SYNOPSIS

DATE: 01/27/2016
LICENSE TYPE: BTAVN
NEW:
RENEWAL:

No. 224709
Application Date: 01/26/2016

License Location: 3172 South 8th Street
Business Name: Living Room of Morgandale

Licensee/Applicant: Childers, Adam C.
(Last Name, First Name, MI)
Date of Birth: 03/18/1980

Home Address: 823 North 2nd Street #802
City: Milwaukee **State:** WI **Zip Code:** 53203
Home Phone: (414) 758-6059

This report is written by Police Officer Gilbert Gwinn, assigned to the License Investigation Unit, Days.

The Milwaukee Police Department's investigation regarding this application revealed the following:

1. On 08/18/2006 the applicant was charged in Outagamie County with Disorderly Conduct §947.01.

Charge: Disorderly Conduct
Finding: Guilty
Sentence: 2 years probation (withheld)
Date: 01/25/2007
Case: 2006CM001473

2. On 01/04/2007 the applicant was charged in Outagamie County with Bail Jumping §946.49(1)(a).

Charge: Bail Jumping
Finding: Guilty
Sentence: 2 years probation (withheld)
Date: 01/25/2007
Case: 2007CM000027

3. On 08/31/2015 the Wisconsin Department of Transportation revoked Corey Lockett's driver's license for 7 months for Operating While Intoxicated. Corey Lockett is listed on the application as 50% shareholder.

Date: February 9, 2016
Officer: Carlos Felix

City of Milwaukee Police Department
90-5-1.5 Crime Prevention Survey
Tavern Inspection

Name of Premise: Ducky's Living Room/ 8th Street Retreat
Address: 3172 S. 8th Street
Phone: NA

Owner: Adam Charles Childers (WI C436-0038-0098-07)
Owner address: 823 N. 2nd Street #802
City State Zip: Milwaukee, WI 53203
Owner Phone: 758-6059
Owner email: Achilders0@gmail.com

Licensee/Agent: Same
Home Address:
City State Zip:
Phone:
Email:

Preferred contact: Same

Location currently open: YES NO

Projected open date: April 1, 2016

Day's open: S M T W Th F SA ALL

Hours of Operation: Sun: 11:30A-2:00A 24 hours Y N
Mon: 5:30P-2:00A
Tue: 5:30P-2:00A
Wed: 5:30P-2:00A
Thu: 5:30P-2:00A
Fri: 5:30P-2:30A
Sat: 11:30A-2:30A

Premise Type: Tavern/Bar
 Restaurant
 Other:

Licenses currently held:

- Alcohol: Yes No Class: #:
Tobacco: Yes No #:
Food: Yes No #:
Occupancy: Yes No #:
Other: Yes No Type: #:
Other: Yes No Type: #:

Who is your alcohol distributor? N/A

Exterior Survey:

1. Is the area around the location clean? Yes No
2. What surrounds the location? (Check all the apply)
 - a. Park
 - b. School
 - c. Youth Center
 - d. Church
 - e. Tavern(s) If so, how many
 - f. Residential
 - g. Other businesses
 - h. Other:
3. Can you see from the outside of the location into the interior Yes No
4. Can you see the employees inside of the location from the outside Yes No
5. Are exterior windows free of signage Yes No
6. Is there a bus stop? Yes No
7. Is there a bus shelter? Yes No N/A
8. Street parking Yes No
9. Is there a parking lot Yes No
10. Is the parking lot clean? Yes No N/A
11. Is the parking lot well lit? Yes No N/A
12. Valet Parking Yes No
 - a. Will this lot have a guard? Yes No N/A
 - b. Will this lot have cameras? Yes No N/A
13. Are there areas where a person could conceal themselves Yes No
14. Is there exterior lighting? Yes No. Does it appears to be adequate Yes No
15. Exterior Payphone? Yes No
16. Are there No Loitering Signs posted? Yes No
17. Are there exterior security cameras Yes No How Many:
18. Are the address numbers prominently displayed and easy to see Yes No

Exterior Comments:

Camera Survey:

19. Does this location have security cameras? Yes No
20. Are they in working order? Yes No
21. What format are the cameras?
 - a. Color Yes No

- b. Digital Yes No
- c. VCR Yes No
- d. Recorded Yes No

- 22. How long is footage stored for later viewing: N/A
- 23. Are there exterior cameras Yes No How many:
- 24. Are there interior cameras Yes No How many:
- 25. Do all employees know how to retrieve recorded digital images/footage? Yes No
- 26. Cameras located in parking lot Yes No N/A How many

Camera Survey Comments:

Interior Survey:

- 27. What is the planned/posted capacity Unknown
- 28. What is the minimum number of employees that will be on premise Owner/ maybe 2-5
- 29. Is the storeowner willing to be a standing complainant regarding loitering? Yes No
 - a. If yes have them fill out the standing complaint form and give them two of the commercial signs Yes No
- 30. Is the interior of the location neat and clean? Yes No
- 31. Does an interior camera face the entrance/exit? Yes No
- 32. Are emergency and non-emergency numbers posted near the phone? Yes No
- 33. Does the owner know how to contact their police district directly? Yes No
 - a. Did you provide a district contact guide to the owner? Yes No

Interior Comments:

Security

- 34. How many security personnel are going to be employed: None N/A
- 35. How will they be deployed: Interior Exterior N/A
- 36. What days will they be deployed Mon Tue Wed Thu Fri Sat Sun ALL
- 37. Will the security be managed by business or contracted
- 38. Will they be armed Yes No N/A
- 39. What type of security measures will be used: N/A
 - Wanding/metal detector
 - ID Scanner
 - Dress Code
 - Cover Charge
 - Age restriction 21
 - Other
- 40. When at capacity, how will the overflow crowd be managed? Will place employee at door with hand counter.
- 41. Will a guard monitor the overflow crowd at all times? Yes No

Security Comments:

ADDITIONAL COMMENTS/RECOMMENDATIONS:

This property is a small corner bar, which is vacant at this time and in need of minor repairs. The building houses the bar in the lower Westside (front) and has two – three apartments. There are no cameras, but the new owner stated that he would like two place one on the exterior and a

second inside to capture the front door. At start off it will be the two owners working at the business and eventually two or five more employees. If there is any over crowding an employee will be placed at the door with a counter. At this time he feels that there is no need for security, dress code or additional restrictions.

MILWAUKEE POLICE DEPARTMENT
LICENSE INVESTIGATION UNIT

CRIMINAL RECORD/ORDINANCE VIOLATION/INCIDENTS
SYNOPSIS

DATE: 11/08/11

LICENSE TYPE: BTAVN

NEW:

RENEWAL: X

No. 138690

Application Date: 11/07/11

Expiration Date:

License Location: 3172 S 8th Street

Aldermanic District: 14

Business Name: Ducky's

Licensee/Applicant: Mc Kiernan, Gene M

(Last Name, First Name, MI)

Date of Birth: 03/26/41

Male:

Female:

Home Address: 1918 S 94th Street

City: West Allis

State: Wi

Zip Code: 53227

Home Phone: (414) 321-4922

This report is written by Police Officer Kristyn Kukowski, assigned to the License Investigation Unit, Days.

The Milwaukee Police Department's investigation regarding this application revealed the following:

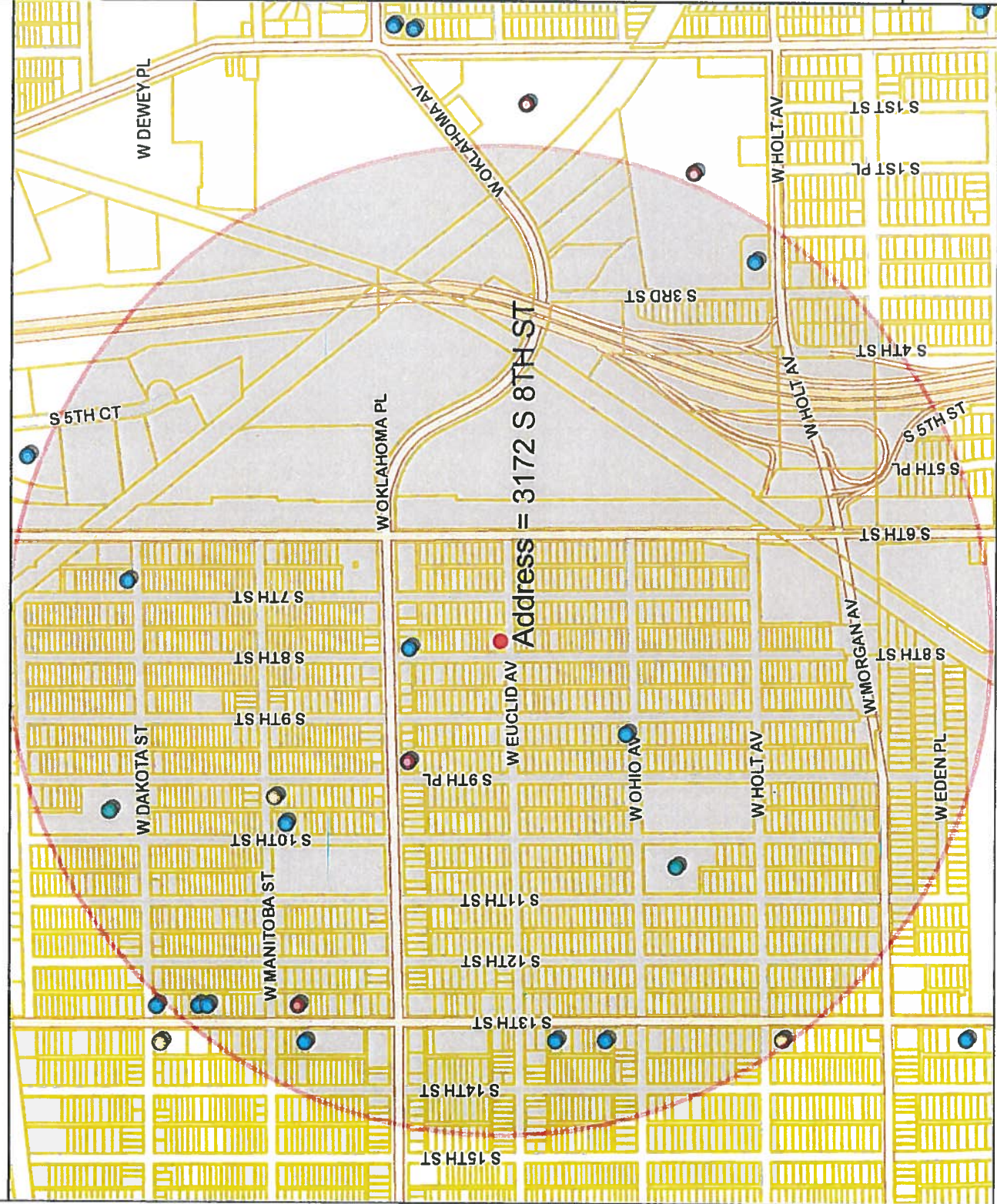
1. On 08/17/10 at 10:44 pm, Milwaukee police conducted a License Premise Check at 3172 S 8th Street. Officers entered the tavern and observed 2 subjects sitting at the bar with one of them smoking a cigarette. The officer was then approached by one of the subjects who identified himself as the owner, Gene McKiernan Jr. McKiernan Jr. was advised of the clean air act and that all smoking should be done outdoors. McKiernan Jr. denied that anyone was smoking. When asked who the license holder was McKiernan Jr stated it was his father Gene M McKiernan. The bartender, Denise Aitchison was advised as well of the clean air act. Officer tried to speak with the licensee by phone but no one answered. A voice message was left advising the licensee of the situation.

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Previous premise

Alcohol Concentration for 3172 S 8th St

City of Milwaukee, Wisconsin



- Legend -

- City limits
- Parcels
- Freeways
- Exit ramps
- Entry ramps
- Ramps
- Major streets
- Streets
- Waterways
- Alcohol licenses
 - Class A intoxicating liquor
 - Class A fermented malt beverage
 - Class A liquor and malt
 - Class B fermented malt beverage
 - Class B tavern
 - Class C wine retailer

- Notes -

Alcohol establishments within a .5 mile radius centered on 3172 S 8th St on January 26, 2016



Department of Administration - ITMD



Map Scale: 1: 9,109

© City of Milwaukee, Wisconsin
 Map Milwaukee: Property Information
 Disclaimer 1/26/2016

Licensed Alcohol Beverage Establishments within a .5 Mile Radius Centered on 3172 S 81st St, January 26, 2016									
License Summary:	Legal entity	Trade name	Licensee	Address	License type name	Total capacity	Room capacity	Expiration date	Total
Class A Fermented Malt Beverage Retailer's License	C & R MARKET, LLC	C & R MARKET	LISA J YANKE, Agt	3001 S 9TH PL	Class A Fermented Malt Beverage Retailer's License	Null	Null	2/29/2016	2
Class A Malt & Class A Liquor License	J WAGADA, INC	BEST FOOD STORE	JAYANTILAL L WAGADA, Agt	3405 S 13TH ST	Class A Fermented Malt Beverage Retailer's License	Null	Null	12/20/2016	1
Class A Retailer's Intoxicating Liquor License	MONTE ENTERPRISES LLC	MONTERREY MARKET	ROBERTO MONTEMAJOR, Agt	3014 S 13TH ST	Class A Malt & Class A Liquor License	Null	Null	6/9/2016	1
Class B Fermented Malt Beverage Retailer's License	OKLAHOMA LIQUOR	OKLAHOMA LIQUOR	REINHARD P PUCHERT, SP	933 W OKLAHOMA AV	Class A Retailer's Intoxicating Liquor License	Null	Null	6/30/2016	1
Class B Tavern License	Blessed John Paul II Congregation	Blessed John Paul II Congregation	Diane S Miderski-Azzarello, Agt	3329 S 10th ST	Class B Fermented Malt Beverage Retailer's License	Null	Null	2/27/2016	2
	Blessed John Paul II Congregation	Blessed John Paul II Congregation	Diane S Miderski-Azzarello, Agt	966 W Dakota ST	Class B Fermented Malt Beverage Retailer's License	Null	Null	2/27/2016	10
	Apple Hospitality Group, LLC	Applebee's Neighborhood Grill & Bar	JASON K RASOQ, Agt	270 W Holt AV	Class B Tavern License	390	Null	9/26/2016	16
	BOB-E-LANES, INC	BOB-E-LANES	JAMES R RYDZEWSKI, Agt	2932 S 13TH ST	Class B Tavern License	51	Null	6/14/2016	
	BROWNS PLACE, LLC	BROWNS PLACE	JO ANN BROWN, Agt	2874 S 7TH ST	Class B Tavern License	25	Null	10/9/2016	
	BUCKSHOTS BAR LLC	BUCKSHOTS BAR	David Nunez Cruz, Agt	3219 S 13TH ST	Class B Tavern License	25	Null	9/20/2016	
	CHRISTIE'S PUB AND GRILL, INC	CHRISTIE'S PUB AND GRILL	JASON A SCHULTZ, Agt	3261 S 13TH ST	Class B Tavern License	65	Null	3/17/2016	
	CI'S SPORTS BAR	CI'S SPORTS BAR	JOHN E KASPRZYK, SP	3279 S 9TH ST	Class B Tavern License	51	Null	5/2/2016	
	EL TUCANAZO TAQUER Y MARISCOS CORP	EL TUCANAZO TAQUERIA Y MARISCOS	FRANCISCO J GONZALEZ, Agt	2940 S 13TH ST	Class B Tavern License	122	Null	7/6/2016	
	JIMAS LLC	THE LOST CAUSE	JAMES F MAAS, Agt	733 W OKLAHOMA AV	Class B Tavern License	76	Null	7/30/2016	
	JOBIN, INC	B & B TAP	PATRICIA L WESTPHAL, Agt	3021 S 13TH ST	Class B Tavern License	49	Null	6/23/2016	
	THE DOCTOR'S INN	THE DOCTOR'S INN	GENE M PEDERSEN, SP	3010 S 10TH ST	Class B Tavern License	80	Null	6/23/2016	



Monday, May 23, 2016

Licenses Committee Notice of Hearing

Michael S Wisniewski
1621 E IRVING PI

Milwaukee, WI 53202

Date: 5/31/2016
Time: 01:30 PM
Location: Room 301-B, Third Floor, City Hall

The Licenses Committee will consider the following license application:

Class B Tavern License Application
CHILDERS, Adam C, Agent
Ducky's Living Room at 3172 S 8th St

Please note this application may be recommended for denial based on fitness of the location due to concentration of alcohol beverage outlets in the area. If the application is denied for this reason, no other application for an alcohol beverage license for this location shall be recommended for approval by the Licenses Committee within three years of the date of denial unless the applicant has demonstrated a change of circumstances since the prior denial.

If you have any questions, please call (414) 286-2238.





Monday, May 23, 2016



Notice of Public Hearing

CHILDERS, Adam C, Agent
Ducky's Living Room at 3172 S 8th St
Class B Tavern License Application

Tuesday, May 31, 2016 at 1:30 PM

To whom it may concern:

The above application has been made by the above named applicant(s). This requires approval from the Licenses Committee and the Common Council of the City of Milwaukee. The hearing before the Licenses Committee will take place on 5/31/2016 at 1:30 PM, in Room 301-B, Third Floor, City Hall. If you wish, you may provide testimony at the hearing regarding the request; see below for further information. You are not required to attend the hearing. Once the Licenses Committee makes its recommendation, this recommendation is forwarded to the full Common Council for approval at its next regularly scheduled hearing. Please review the information below and if you have further questions regarding this process, please contact the License Division at (414) 286-2238.

Important details for those wishing to provide information for the Licenses Committee to consider when making its recommendation:

1. The license application is scheduled to be heard at the above time. Due to other hearings running longer than scheduled, you may have to wait some time to provide your testimony.
2. You must appear in person and testify as to matters that you have personally experienced or seen. (You cannot provide testimony for your neighbor, parent or anyone else; this is considered hearsay and cannot be considered by the committee.)
3. No letters or petitions can be accepted by the committee (unless the person who wrote the letter or the persons who signed the petition are present at the committee hearing and willing to testify).
4. Persons opposed to the license application are given the opportunity to testify first; supporters may testify after the opponents have finished.
5. When you are called to testify, you will be sworn in and asked to give your name, and address. (If your first and/or last names are uncommon please spell them.)
6. You may then provide testimony.
 - a. Include only information relating to the above license application.
 - b. Include only information you have personally witnessed or seen.
 - c. Provide concise and relevant information detailing how this business has affected or may affect the peaceful enjoyment of your neighborhood.
 - d. If by the time you have the opportunity to testify, the information you wish to share has already been provided to the committee, you may state that you agree with the previous testimony. Redundant or repetitive testimony will not assist the committee in making its recommendation.
7. After giving your testimony, the members of the Licenses Committee and the licensee may ask questions regarding the testimony you have given or other factors relating to the license application.
8. Business Competition is not a valid basis for denial or non-renewal of a license.
Please Note: If you have submitted an objection to the above application your objection cannot be considered by the committee unless you personally testify at the hearing.

OCCUPANT	MAIL ADDRESS	CITY AND ZIP CODE
CURRENT OCCUPANT	709 W EUCLID AVE	MILWAUKEE, WI 53215-4713
CURRENT OCCUPANT	3160A S 7TH ST	MILWAUKEE, WI 53215-4704
CURRENT OCCUPANT	3136 S 8TH ST	MILWAUKEE, WI 53215-4708
CURRENT OCCUPANT	3160 S 9TH ST	MILWAUKEE, WI 53215-4723
CURRENT OCCUPANT	3154A S 9TH ST	MILWAUKEE, WI 53215-4723
CURRENT OCCUPANT	3209 S 7TH ST	MILWAUKEE, WI 53215-4705
CURRENT OCCUPANT	3211 S 7TH ST	MILWAUKEE, WI 53215-4705
CURRENT OCCUPANT	708 W EUCLID AVE	MILWAUKEE, WI 53215-4714
CURRENT OCCUPANT	3173 S 7TH ST	MILWAUKEE, WI 53215-4703
CURRENT OCCUPANT	3203 S 8TH ST	MILWAUKEE, WI 53215-4709
CURRENT OCCUPANT	3206 S 8TH ST	MILWAUKEE, WI 53215-4710
CURRENT OCCUPANT	3224 S 8TH ST	MILWAUKEE, WI 53215-4710
CURRENT OCCUPANT	3148 S 8TH ST	MILWAUKEE, WI 53215-4708
CURRENT OCCUPANT	3152 S 8TH ST	MILWAUKEE, WI 53215-4708
CURRENT OCCUPANT	3169 S 7TH ST	MILWAUKEE, WI 53215-4703
CURRENT OCCUPANT	3208 S 9TH ST	MILWAUKEE, WI 53215-4725
CURRENT OCCUPANT	3223 S 7TH ST	MILWAUKEE, WI 53215-4705
CURRENT OCCUPANT	3207 S 8TH ST	MILWAUKEE, WI 53215-4709
CURRENT OCCUPANT	628 E EUCLID AVE	MILWAUKEE, WI 53207-2712
CURRENT OCCUPANT	3165 S 8TH ST	MILWAUKEE, WI 53215-4707
CURRENT OCCUPANT	3165A S 8TH ST	MILWAUKEE, WI 53215-4707
CURRENT OCCUPANT	3173A S 8TH ST	MILWAUKEE, WI 53215-4707
CURRENT OCCUPANT	3227 S 8TH ST	MILWAUKEE, WI 53215-4709
CURRENT OCCUPANT	3150A S 9TH ST	MILWAUKEE, WI 53215-4723
CURRENT OCCUPANT	3155A S 7TH ST	MILWAUKEE, WI 53215-4703
CURRENT OCCUPANT	3151 S 7TH ST	MILWAUKEE, WI 53215-4703
CURRENT OCCUPANT	3154 S 7TH ST	MILWAUKEE, WI 53215-4704
CURRENT OCCUPANT	3170 S 7TH ST	MILWAUKEE, WI 53215-4704
CURRENT OCCUPANT	3173 S 8TH ST	MILWAUKEE, WI 53215-4707
CURRENT OCCUPANT	3135 S 7TH ST	MILWAUKEE, WI 53215-4703
CURRENT OCCUPANT	3222 S 8TH ST	MILWAUKEE, WI 53215-4710
CURRENT OCCUPANT	3227A S 8TH ST	MILWAUKEE, WI 53215-4709
CURRENT OCCUPANT	3135A S 8TH ST	MILWAUKEE, WI 53215-4707
CURRENT OCCUPANT	3150 S 9TH ST	MILWAUKEE, WI 53215-4723
CURRENT OCCUPANT	3168A S 9TH ST	MILWAUKEE, WI 53215-4723
CURRENT OCCUPANT	625 W EUCLID AVE	MILWAUKEE, WI 53215-4711
CURRENT OCCUPANT	3215 S 8TH ST	MILWAUKEE, WI 53215-4709
CURRENT OCCUPANT	3214 S 8TH ST	MILWAUKEE, WI 53215-4710
CURRENT OCCUPANT	3221 S 8TH ST	MILWAUKEE, WI 53215-4709
CURRENT OCCUPANT	3140 S 8TH ST	MILWAUKEE, WI 53215-4708
CURRENT OCCUPANT	3162 S 8TH ST	MILWAUKEE, WI 53215-4708
CURRENT OCCUPANT	3160 S 7TH ST	MILWAUKEE, WI 53215-4704
CURRENT OCCUPANT	3211A S 7TH ST	MILWAUKEE, WI 53215-4705
CURRENT OCCUPANT	3169A S 7TH ST	MILWAUKEE, WI 53215-4703
CURRENT OCCUPANT	3157 S 8TH ST	MILWAUKEE, WI 53215-4707
CURRENT OCCUPANT	3202 S 8TH ST	MILWAUKEE, WI 53215-4710
CURRENT OCCUPANT	3156 S 8TH ST	MILWAUKEE, WI 53215-4708
CURRENT OCCUPANT	3161 S 8TH ST	MILWAUKEE, WI 53215-4707
CURRENT OCCUPANT	3210 S 8TH ST	MILWAUKEE, WI 53215-4710
CURRENT OCCUPANT	3166 S 7TH ST	MILWAUKEE, WI 53215-4704
CURRENT OCCUPANT	3164 S 8TH ST	MILWAUKEE, WI 53215-4708
CURRENT OCCUPANT	3141 S 8TH ST	MILWAUKEE, WI 53215-4707
CURRENT OCCUPANT	3210 S 7TH ST	MILWAUKEE, WI 53215-4706
CURRENT OCCUPANT	3174 S 9TH ST	MILWAUKEE, WI 53215-4723
CURRENT OCCUPANT	3206A S 8TH ST	MILWAUKEE, WI 53215-4710

CURRENT OCCUPANT	3214A S 8TH ST	MILWAUKEE, WI 53215-4710
CURRENT OCCUPANT	3154 S 9TH ST	MILWAUKEE, WI 53215-4723
CURRENT OCCUPANT	3168 S 9TH ST	MILWAUKEE, WI 53215-4723
CURRENT OCCUPANT	3147 S 8TH ST	MILWAUKEE, WI 53215-4707
CURRENT OCCUPANT	3200 S 9TH ST	MILWAUKEE, WI 53215-4725
CURRENT OCCUPANT	3139 S 7TH ST	MILWAUKEE, WI 53215-4703
CURRENT OCCUPANT	3145 S 7TH ST	MILWAUKEE, WI 53215-4703
CURRENT OCCUPANT	3150 S 7TH ST	MILWAUKEE, WI 53215-4704
CURRENT OCCUPANT	3206 S 7TH ST	MILWAUKEE, WI 53215-4706
CURRENT OCCUPANT	3151A S 8TH ST	MILWAUKEE, WI 53215-4707
CURRENT OCCUPANT	728 W EUCLID AVE	MILWAUKEE, WI 53215-4714
CURRENT OCCUPANT	3202 S 7TH ST	MILWAUKEE, WI 53215-4706
CURRENT OCCUPANT	3209A S 7TH ST	MILWAUKEE, WI 53215-4705
CURRENT OCCUPANT	3151 S 8TH ST	MILWAUKEE, WI 53215-4707
CURRENT OCCUPANT	3219 S 7TH ST	MILWAUKEE, WI 53215-4705
CURRENT OCCUPANT	3135 S 8TH ST	MILWAUKEE, WI 53215-4707
CURRENT OCCUPANT	3203 S 7TH ST	MILWAUKEE, WI 53215-4705
CURRENT OCCUPANT	3155 S 7TH ST	MILWAUKEE, WI 53215-4703
CURRENT OCCUPANT	728A W EUCLID AVE	MILWAUKEE, WI 53215-4714

Total Records: 75

Radius: 250.0 feet and Center of Circle: 3172 S 8th ST



BUSINESS LICENSE PLAN OF OPERATION

ccl-busplan 12/11/15

Office of the City Clerk License Division
200 E. Wells St. Room 105, Milwaukee, WI 53202
(414) 286-2238 www.milwaukee.gov/license e-mail address: license@milwaukee.gov

1. Type of Business

- Applying for: Extended Hours Establishment Filling Station
 Self Service Laundry Rooming House Hotel/Motel Massage Establishment
 Other (supplemental application for specific license also required)

Provide a detailed description of the type of business you plan on operating:

Class B Tavern and Food Dealer

Do you have any experience operating this type of business? No Yes If yes, explain: **20+ years combined bar employee exp.**

2. Business Operations

- a. Proposed Opening Date: March 15, 2016
- b. Is this premise under construction? No Yes If yes, list estimated completion date: _____
- c. Is this a franchise? No Yes
- d. Is this premises currently licensed? No Yes If yes, list type of license: _____
- e. Is the current licensee operating? No Yes If no, list date closed: _____
- f. Do you have future plans for other businesses, licenses or permits at this location? No Yes
If yes, explain: Food Dealer License; Cigarette and Tobacco License; Sidewalk Dining Facility Permit
- g. Have you previously held an Extended Hours License in Milwaukee? No Yes
If yes, list address(es): _____
- h. Are other businesses operating in the same building? No Yes If yes, describe: _____

3. Litter & Noise

- a. How are grounds kept clean? Sweep Pressure Wash Pick Up Litter Other: _____
- b. How often will grounds be cleaned? Daily Weekly As Needed Monthly Other: _____
- c. Grounds cleaned by: Licensee Building Owner Employees Hired Maintenance Other: _____
- d. How are noise issues prevented and/or addressed? Security Manager approaches customer(s) Call Police
 Signs Posted Other: _____
- e. Will a sound amplification system be used? No Yes If yes, describe: Standard stereo and speaker system

4. Smoking & Sanitation

- a. Are there designated outdoor smoking areas? No Yes If yes, describe: On Euclid Avenue away from entrance
- b. Number of Garbage Cans: Inside: (3) Locations: Behind bar, adjacent to restroom, adjacent to entry/exit
Outside: (1) Locations: 6 yard bin at rear of property
- c. Is a crowd control barrier used? No Yes If yes, describe: _____
- d. How many restrooms are on the premises? (2)
- e. Name of solid waste contractor: Advanced Disposal Waste Management Other: _____

5. Security

- a. Are there onsite parking spaces? No Yes If yes, how many? _____
Describe parking security plan: _____
- b. Is there a loading zone? No Yes If yes, describe loading area security plan _____
- c. Will you have security personnel on premise? No Yes If yes, how many? _____
What are their responsibilities? _____
Is security equipment used? No Yes If yes, describe _____
List their licensing, certification, or training credentials _____
Will there be security cameras? No Yes If yes, where? Upper corners, mounted to wall
Will searches/identification verification be conducted upon entry? No Yes If yes, describe _____

6. Percentage of Sales (must total 100%)

Alcohol _____ 100 %	Food _____ %	Secondhand Merchandise _____ %	Precious Metals & Gems _____ %
Entertainment _____ %	Cigarettes _____ %		
Pawnbroker Activity _____ %	Salvaged Materials _____ % (such as scrap metal)	Personal Services (such as tattoo, body piercing, salon, tailor, tanning, etc.) _____ %	Other _____ % Describe: _____

7. Businesses/Licenses on the Premises (check all that apply):

Type 1

- Full Service Restaurant Cafe/Coffee Shop Deli or Fast Food Restaurant Private/Fraternal/Veterans Club
- Night Club Tavern Cocktail Lounge Teen Club
- Banquet Hall Sports Facility Bowling Alley
- Hotel/Motel: Number of Floors: _____ Rooming House: Number of Floors: _____
Number of Rooms: _____ Number of Rooms: _____

Type 2

- Liquor Store Corner Store Supermarket Convenience Store
- Gas Station Amusement/Phonograph Distributor Recycling, Salvage or Towing
- Used Car Dealer Personal Service Establishment
(such as tattoo business, hair salon, tailor, etc.) Recording Studio

What other licenses/permits will you hold at this location? (check all that apply)

- Occupancy Permit Cigarette & Tobacco Gas Station Extended Hours Class "B" Tavern Weights & Measures
- Secondhand Dealer Precious Metal & Gem Other: Food Dealer; Sidewalk Dining Facility

8. Legal Capacity (only if a Type 1 premises in #7 above)

Capacity _____ (Call the Milwaukee Development Center at 414-286-8211 if you have questions.)

9. Premises Description

d. Identify all area(s) of the premises that will be used in operating this business (include areas used only for storage):

1st Floor 2nd Floor Basement Storage Patio Beer Garden Sidewalk Café Deck Rooftop

Other: Describe: _____

e. Describe Location: Major Thoroughfare Secondary Street Other: _____

f. Nearest Major Cross Street: Euclid Avenue

g. Describe Building: Free Standing Building Strip Mall Other: Mixed use residential with storefront

h. Describe Premises Structure: Single Story Multi-Story - # of Stories (2) Other: _____

i. Describe Surrounding Area: Commercial Residential Industrial Other: _____

j. Building Owner Name: Michael S. Wisniewski Phone Number: (414) 428-4857

Business Owner Address: 1621 E. Irving Place, Milwaukee, WI 53202

10. Hours of Operation & Customers

Will customers be entering the premises? No Yes

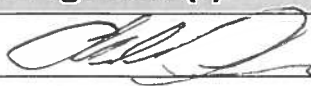
Day of the Week	Proposed Hours of Operation:		Estimated Number of Customers expected each day	Potential Age Range of Customers	Class B Tavern Applicant Only: Age Restriction (If none, write 'None')
	Open Time (include a.m. or p.m.)	Close Time (include a.m. or p.m.)			
Sunday	11:30am	2:00am	25-90	21-99	21+ Only
Monday	5:30pm	2:00am	20-50	21-99	21+ Only
Tuesday	5:30pm	2:00am	20-50	21-99	21+ Only
Wednesday	5:30pm	2:00am	20-50	21-99	21+ Only
Thursday	5:30pm	2:00am	20-50	21-99	21+ Only
Friday	3:00pm	2:30am	25-75	21-99	21+ Only
Saturday	11:30am	2:30am	25-90	21-99	21+ Only

Extended Hours Establishment License is required for any convenience store, filling station, personal service establishment (such as tattoo, body piercing, salon, tailor, tanning, etc.), recording studio or restaurant which is open between the hours of 12 a.m. and 5 a.m.

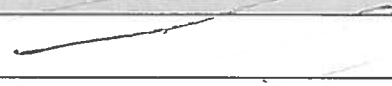
Entertainment Indoor Closing Hours : If alcohol beverage establishment, same as alcohol license hours.
If non-alcohol establishment 1:00 am Sunday to Thursday; 1:30 am Friday and Saturday.

Entertainment Outdoor Closing Hours : 10:00 pm Sunday – Thursday; 12:00 am Friday and Saturday,
unless otherwise approved by Common Council in licensee's plan of operation.

11. Signature(s)



Sole Proprietor, Partner, Agent, or 20% or more Shareholder



Signature of additional partner or 20% or more Shareholder

See Application Information for a list of all required application forms.



ALCOHOL BEVERAGE & PUBLIC ENTERTAINMENT PREMISES SUPPLEMENTAL PLAN OF OPERATION

Office of the City Clerk License Division

200 E. Wells St. Room 105, Milwaukee, WI 53202

(414) 286-2238 e-mail address: license@milwaukee.gov www.milwaukee.gov/license

Legal Entity Name: Living Room of Morgandale LLC

Premise Address: 3172 S. 8th Street, Milwaukee, WI 53215

Proximity of Premises to Church, School, Daycare Center or Hospital

Is there at least 300 feet between the building and any church, school, daycare center or hospital? Yes No

"Service Bar Only" Designation

If applying for Class B or C license, are you applying for "Service Bar Only"? No Yes

Service Bar Only means customers cannot sit at the bar. Alcohol is served to patrons seated at tables. No stools, chairs or other articles of furniture shall be placed at the service bar for patrons to sit upon.

Business Information

a) Are you taking out this application for anyone that may not be eligible for a license? No Yes

If yes, list name and address: _____

b) Will the agent, a partner or the individual licensee be conducting the day-to-day operations of the business? No Yes

If no, list the name and address of the person(s) who will: _____

Class B Applicants: If the agent, a partner or the individual licensee will not be conducting the day-to-day operations of the business, the person(s) listed above must obtain a Class B Managers license.

c) Does anyone else have money invested or any other interest in this business? No Yes

If yes, explain: _____

d) Have you made an agreement with anyone to repay any loan or any other payments based upon income from the business?

No Yes If yes, list name and address: _____

Proof of Ownership, Lease, or Offer to Purchase (new & transfer applicants only)

Submit proof of ownership, lease, or offer to purchase the building with this application.

A lease or offer to purchase must:

- Be in the same legal entity name as that apply for the license
- Reflect the same address as the premises address on this application
- Reflect current dates and
- Be signed by the lessor/seller and lessee/buyer

Property Information (new & transfer applicants only)

a) Do you own or lease the building? Own Lease

b) Who owns the fixtures (for example, coolers, etc.)? Landlord, Michael S. Wisniewski

c) Are you purchasing the stock and/or fixtures? No Yes If yes, amount paid \$ _____

d) Total amount paid for business \$ 0

e) Total amount paid for goodwill of the business \$ 0

Goodwill comprises the reputation and customer relationships of an existing business. If the price you pay for the business exceeds the fair market value of all of the rest of the assets of the business, the excess may be considered goodwill.

f) Have you made arrangements with the seller for payment of personal property taxes? No Yes

See Application Information for a list of all required application forms.

Lease Information (new & transfer applicants who are leasing the premises only)

- a) Date lease begins 10 days after approval Ends 12 months after begin date
- b) Monthly rental \$ 600.00
- c) Do you have an option to renew the lease? No Yes
- d) Does your lease allow for assignment to another party without the consent of the owner? No Yes
- e) For what length of time have you been guaranteed occupancy (number of years)? 1 year
- f) In addition to paying the monthly rental, will you have to pay anything additional to the owner of the building to guarantee performance of the lease? No Yes If yes, explain _____
- g) Does the present owner or occupancy object to the granting of your license? No Yes
If yes, explain _____

Change of Agent Applicants Only

Have there been any changes to the floor plan since the last application was submitted? No Yes
 If no, a new floor plan is not required. If yes, submit a new floor plan and explain the change(s): _____

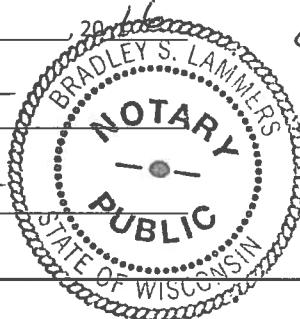
Notarized Signatures of Applicants

SUBSCRIBED AND SWORN TO BEFORE ME

This 25th day of JANUARY, 2016

Roby A. Lunn

 (Clerk/Notary Public)



[Signature]

 Sole Proprietor, Partner, 20% or more Shareholder, or Agent – only if there are no 20% or more shareholders

My Commission Expires 09/16/2017

*Notary Seal must be affixed.
STATE of WI, County of DANE

[Signature]

 Additional partner or 20% or more shareholder

Note: All information contained in this application is subject to approval by the Common Council.
 Deviating from approved plan of operation will subject licensee to citations, and/or suspension or non-renewal of the license.
 Contact the License Division for information on how to request changes.

New and transfer of premise applicants must submit the following:

- Proof of ownership, lease or offer to purchase the building
- Detailed floor plan
- If a restaurant, copy of the menu

LIVING ROOM OF MORGANDALE LLC - ADAM CHILDERS, AGENT

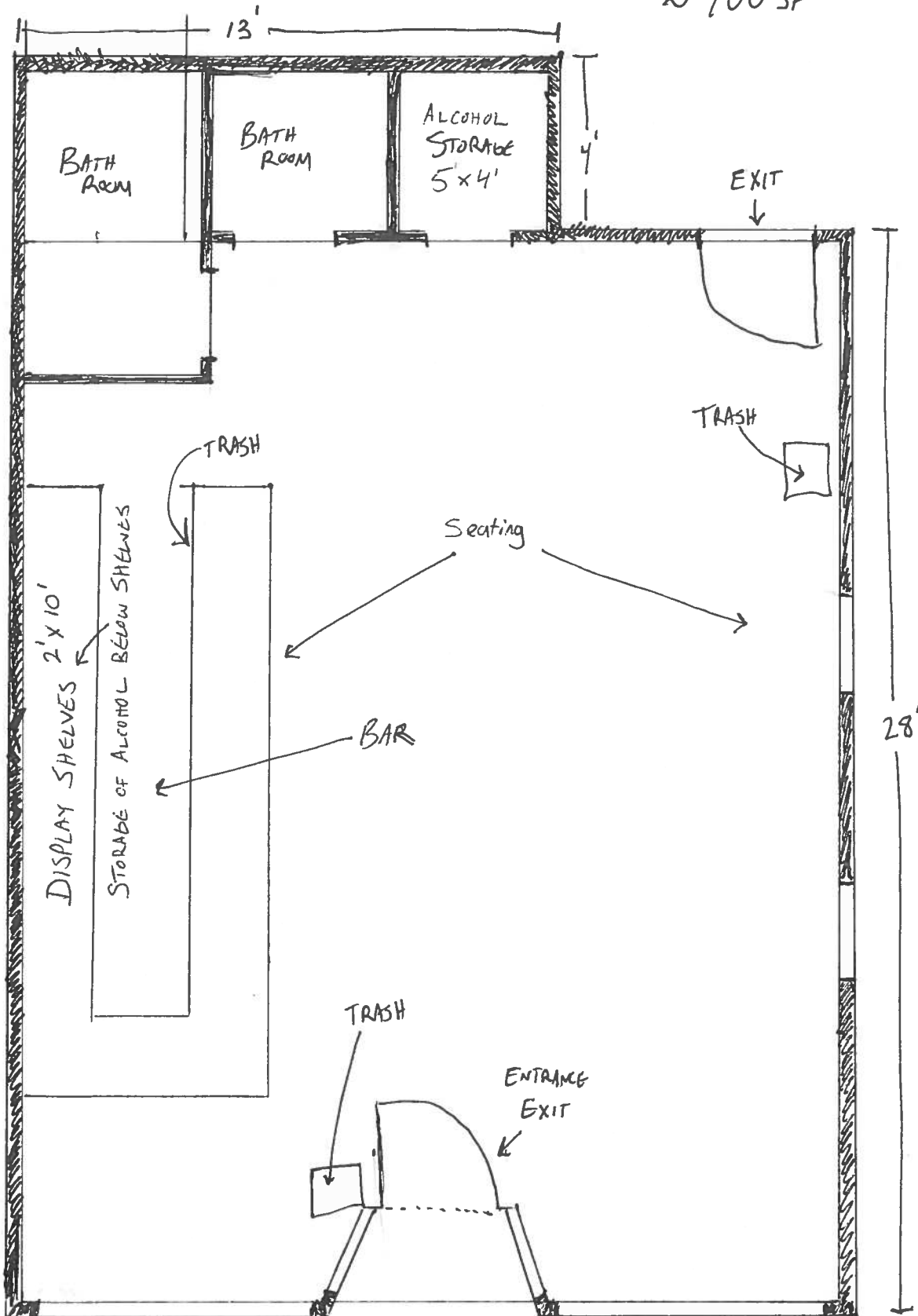
01/25/2016

DUCKY'S LIVING ROOM

3172 S. 8TH STREET

← NORTH

≈ 700 SF



W. EUCLID AVENUE

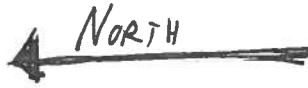
22'
SOUTH 8TH STREET

LIVING ROOM OF MORBANDALE LLC - ADAM CHILDERS, AGENT

1/25/2016

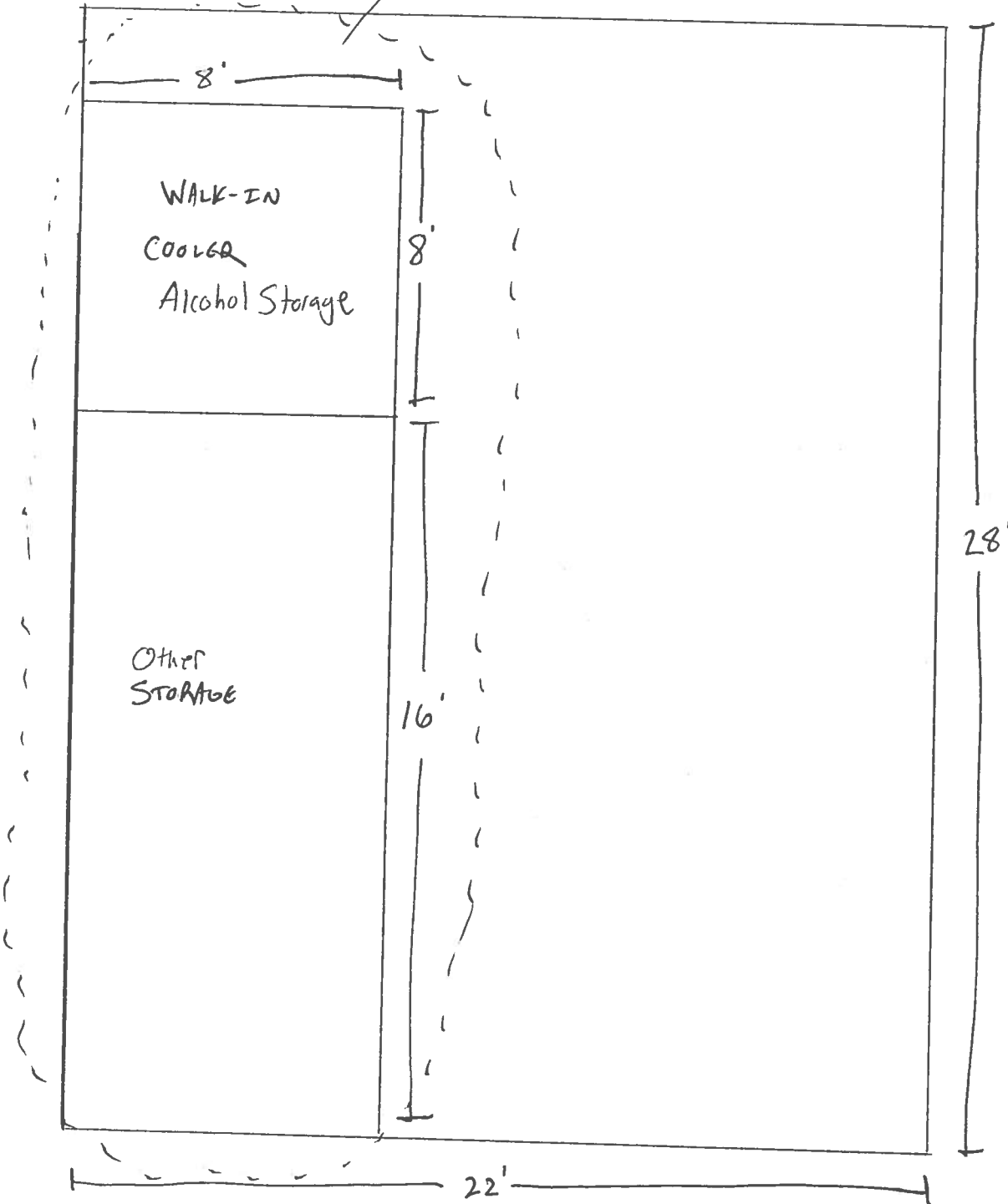
DUCKY'S LIVING ROOM

3172 S. 8TH STREET



≈ 200 SF

BASEMENT STORAGE





CITY OF MILWAUKEE
OFFICE OF THE CITY CLERK

Monday, May 23, 2016

COMMITTEE MEETING NOTICE

AD 14

THOMAS J HOLMES, II

1841 W Kneeland St

Milwaukee, WI 53205

You are requested to attend a hearing which is to be held in Room 301-B, Third Floor, City Hall on:

Tuesday, May 31, 2016 at 01:30 PM

Regarding: Your Class B Tavern, Food Dealer, and Public Entertainment Premises License Applications Requesting Comedy Acts, Karaoke, Instrumental Music, and Poetry Readings for "Monterrey" at 551 W Becher St.

There is a possibility that your application may be denied for one or more of the following reasons: The recommendation of the committee regarding the application shall be based on evidence presented at the hearing. Per MCO 85-2.7-4, probative evidence concerning whether or not a new license should be granted may be presented on the following subjects: whether or not the applicant meets the municipal requirements, the appropriateness of the location and premises where the licensed premises is to be located and whether use of the premises for the purposes or activities permitted by the license would tend to facilitate a public or private nuisance or create undesirable neighborhood problems such as disorderly patrons, unreasonably loud noise, litter, and excessive traffic and parking congestion. Probative evidence relating to these matters may be taken from the plan of operation submitted with the license application, if any, but shall not include the content of any music. Evidence regarding the fitness of the location of the premises to be maintained as the principal place of business, including but not limited to whether there is an overconcentration of businesses of the type for which the license is sought; whether the proposal is consistent with any pertinent neighborhood business or development plans, or the location's proximity to areas where children are typically present. The applicant's record in operating similarly licensed premises; and whether or not the applicant has been charged with or convicted of any felony, misdemeanor, municipal offense or other offense, the circumstances of which substantially relate to the activity to be permitted by the license being applied for or any other factor which reasonably relates to the public health, safety or welfare may also be considered. See attached police report or correspondence. Possible denial because: This proposed location is in an area that has previously been found by the Common Council to be over concentrated with alcohol outlets. Attached is the concentration of alcohol beverage outlets in the area map existing at the time of the determination of the over concentration based on an address of 551 W. Becher Street. The Licenses Committee will consider concentration of alcohol beverage outlets as one question regarding the suitability of this location to be licensed as an alcohol beverage establishment. You may present evidence supporting your application. One issue that evidence should address is whether the licensure of this location is appropriate in light of the concentration of alcohol beverage outlets.

Notice for applicants with warrants or unpaid fines:

Proof of warrant satisfaction or payment of fines must be submitted at the hearing on the above date and time. Failure to comply with this requirement may result in a delay of the granting/denial of your application.

Failure to appear at this meeting may result in the denial of your license. Individual applicants must appear only in person or by an attorney. Corporate or Limited Liability applicants must appear only by the agent designated on the application or by an attorney. Partnership applicants must appear by a partner listed on the application or by an attorney. If you wish to do so and at your own expense, you may be accompanied by an attorney of your choosing to represent you at this hearing.

You will be given an opportunity to speak on behalf of the application and to respond and challenge any charges or reasons given for the denial. No petitions can be accepted by the committee, unless the people who signed the petition are present at the committee hearing and willing to testify. You may present witnesses under oath and you may also confront and cross-examine opposing witnesses under oath. If you have difficulty with the English language, you should bring an interpreter with you, at your expense, so that you can answer questions and participate in your hearing.

You may examine the application file at this office during regular business hours prior to the hearing date. Inquiries regarding this matter may be directed to the person whose signature appears below.

Limited parking for persons attending meetings in City Hall is available at reduced rates (5 hour limit) at the Milwaukee Center on the southwest corner of East Kilbourn and North Water Street. Parking tickets must be validated in the first floor information booth in City Hall.

PLEASE NOTE: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aids. For additional information or to request this service, contact the Council Services Division ADA Coordinator at (414) 286-2998, Fax - (414) 286-3456, TDD - (414) 286-2025.

JIM OWCZARSKI, CITY CLERK

BY: _____

Jason Schunk

License Division Manager

If you have questions regarding this notice, please contact the License Division at (414) 286-2238.

200 E. Wells Street, Room 105, City Hall, Milwaukee, WI 53202. www.milwaukee.gov/license
Phone: (414) 286-2238 Fax: (414) 286-3057 Email Address: License@milwaukee.gov

Koberstein, Jonathan

REDACTED RECORD

From:
Sent: Saturday, November 21, 2015 11:42 AM
To: Koberstein, Jonathan
Subject: 551 W. Becher Street Class B Tavern application

I firmly object to the issuance of above Class B Tavern License, based on overconcentration.

This neighborhood is already overloaded with liquor outlets and issuing another liquor license will just escalate the already extremely high crime levels in this neighborhood where robberies, breakins, domestic violence, and gunshots are all too common. Not to mention the public urination and defecation, which I have seen first hand.

You will note in the files that many liquor licenses have been applied for in this cluster of buildings over the years, and none of the liquor licenses have been awarded due to strong neighborhood objection based on overconcentration; the latest license denial for 551 W. Becher was on Jan 22, 2014 based on overconcentration.

Please DENY THIS LICENSE APPLICATION BASED ON OVERCONCENTRATION.

Sincerely,

Koberstein, Jonathan

REDACTED RECORD

From:
Sent: Saturday, November 21, 2015 11:24 AM
To: Koberstein, Jonathan
Subject: 551 W. Becher Street - proposed Class B Tavern License

I have received notification of this Liquor License application.

I firmly object to issuance of this class B Tavern License as our neighborhood is already overloaded with liquor outlets.

Our neighborhood is primarily rental properties where there are problematic transient type renters with little if any landlord involvement so crime levels are already high and more liquor would just make it worse.

It should also be noted that there is no parking on Becher Street or 5th Place and the small lot in front of the projected tavern is already full every day so where would patrons park???

please do NOT approve this license application based on overconcentration.

Thank you.

MILWAUKEE POLICE DEPARTMENT LICENSING

CRIMINAL RECORD/ORDINANCE VIOLATION/INCIDENTS SYNOPSIS

DATE: 11/18/2015
LICENSE TYPE: BTAVN
NEW:
RENEWAL:

No. 221676
Application Date: 11/16/2015

License Location: 551 West Becher Street
Business Name: Monterrey

Licensee/Applicant: Holmes, Thomas J.
(Last Name, First Name, MI)

Date of Birth: 05/18/1984

Home Address: 1841 West Kneeland Street
City: Milwaukee **State:** WI **Zip Code:** 53205
Home Phone: 414-687-5057

This report is written by Police Officer Gilbert Gwinn, assigned to the License Investigation Unit, Days.

The Milwaukee Police Department's investigation regarding this application revealed the following:

1. On 07/29/11 at 3:02 am, applicant received a citation for Excessive Noise Prohibited at 720 N Milwaukee Street.

Charge: Excessive Noise Prohibited
Finding: Guilty
Sentence: Fined \$200.00
Date: 09/30/11
Case: 11096837

Date:12/02/15
Officer: Efrain Cornejo

City of Milwaukee Police Department
90-5-1.5 Crime Prevention Survey
Tavern Inspection

Name of Premise: Monterrey
Address: 551 W Becher St
Phone: Pending

Owner: Thomas Holmes II
Owner address: 1841 W Kneeland St
City State Zip: Milwaukee, WI 53205
Owner Phone: (414) 687-5057
Owner email: lux2712@gmail.com

Licensee/Agent: Thomas Holmes II
Home Address: 1841 W Kneeland St
City State Zip: Milwaukee, WI 53205
Phone: (414) 687-5057
Email: lux2712@gmail.com

Preferred contact: Thomas Holmes II

Location currently open: YES NO

Projected open date: February 2016

Day's open: S M T W Th F SA ALL

Hours of Operation: Sun: 8AM-2AM
Mon: 8AM-2AM
Tue: 8AM-2AM
Wed: 8AM-2AM
Thu: 8AM-2AM
Fri: 8AM-2:30AM
Sat: 8AM-2:30AM
24 hours Y N

Premise Type: Tavern/Bar
 Restaurant
 Other:

Licenses currently held:

- Alcohol: Yes No Class: #:
Tobacco: Yes No #:
Food: Yes No #:
Other: Yes No Type: #:
Other: Yes No Type: #:

Exterior Survey:

1. Is the area around the location clean? Yes No
2. What surrounds the location? (Check all the apply)
 - a. Park
 - b. School
 - c. Youth Center
 - d. Church
 - e. Tavern(s) If so, how many 3
 - f. Residential
 - g. Other businesses
 - h. Other:
3. Can you see from the outside of the location into the interior Yes No
4. Can you see the employees inside of the location from the outside Yes No
5. Are exterior windows free of signage Yes No
6. Street parking Yes No
7. Is there a parking lot Yes No
8. Is the parking lot clean? Yes No
9. Is the parking lot well lit? Yes No
10. Valet Parking Yes No
 - a. Will this lot have a guard? Yes No
 - b. Will this lot have cameras? Yes No
11. Are there areas where a person could conceal themselves Yes No
12. Is there exterior lighting? Yes No. Does it appears to be adequate Yes No
13. Exterior Payphone? Yes No
14. Are there No Loitering Signs posted? Yes No
15. Are there exterior security cameras Yes No How Many: 2
16. Are the address numbers prominently displayed and easy to see Yes No

Camera Survey:

17. Does this location have security cameras? Yes No
18. Are they in working order? Yes No
19. What format are the cameras?
 - a. Color Yes No
 - b. Digital Yes No
 - c. VCR Yes No
 - d. Recorded Yes No
20. How long is footage stored for later viewing: 30 days
21. Are there exterior cameras Yes No How many: 2
22. Are there interior cameras Yes No How many: 4

23. Do all employees know how to retrieve recorded digital images/footage? Yes No
 24. Cameras located in parking lot Yes No How many?

Interior Survey:

25. What is the planned/posted capacity planned 60
 26. What is the minimum number of employees that will be on premise 6
 27. Is the storeowner willing to be a standing complainant regarding loitering? Yes No
 a. If yes have them fill out the standing complaint form and give them two of the commercial signs Yes No
 28. Is the interior of the location neat and clean? Yes No
 29. Does an interior camera face the entrance/exit? Yes No
 30. Are emergency and non-emergency numbers posted near the phone? Yes No
 31. Does the owner know how to contact their police district directly? Yes No
 a. Did you provide a district contact guide to the owner? Yes No

Security

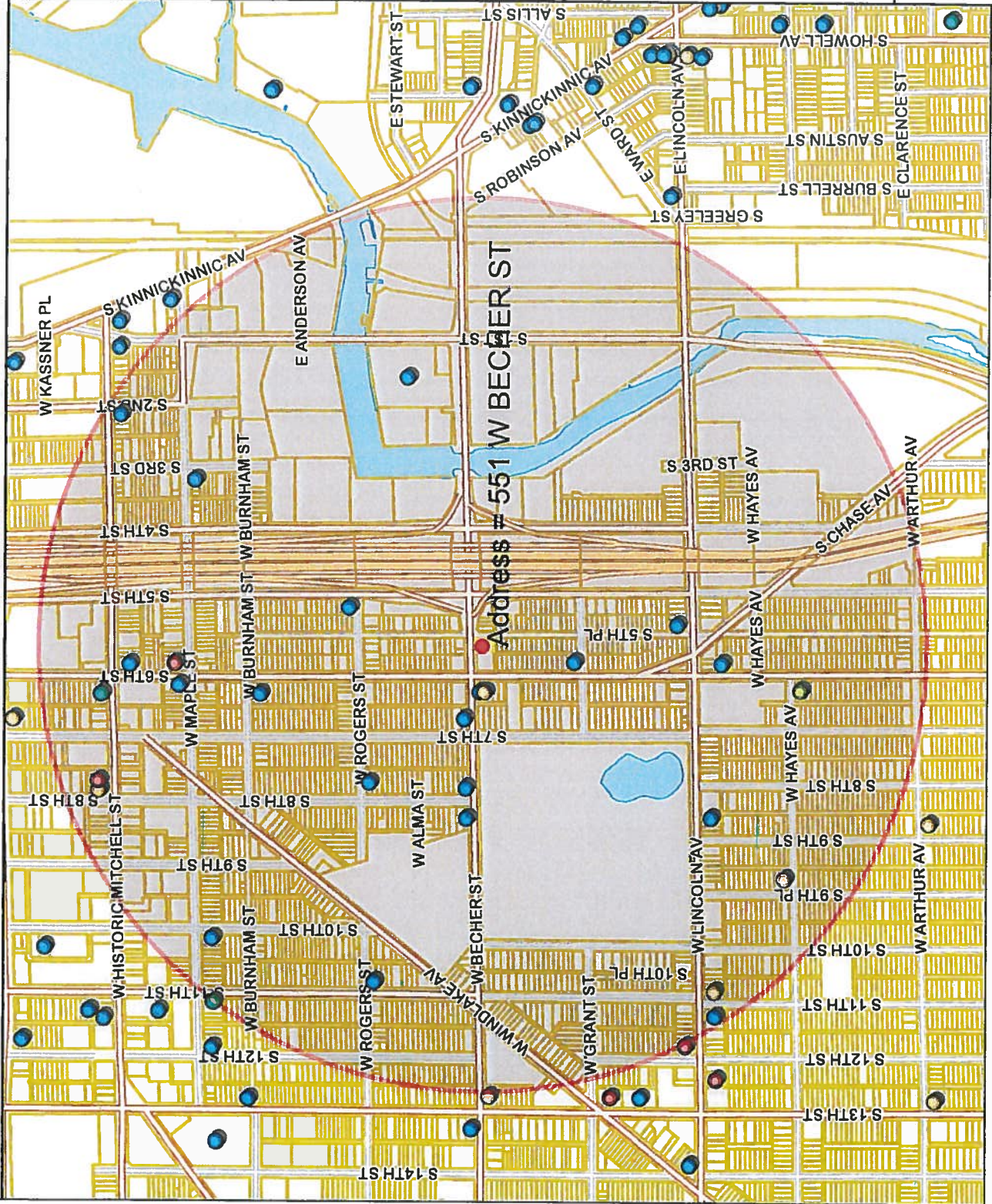
32. How many security personnel are going to be employed: 0
 33. How will they be deployed: Interior Exterior
 34. What days will they be deployed Mon Tue Wed Thu Fri Sat Sun
 35. Will the security be managed by business or contracted
 36. Will they be armed Yes No
 37. What type of security measures will be used:
 Wanding/metal detector
 ID Scanner
 Dress Code
 Cover Charge
 Age restriction
 Other
 38. When at capacity, how will the overflow crowd be managed? Applicant stated he would have an employee manage the crowd and have customers wait outside until customers leave.
 39. Will a guard monitor the overflow crowd at all times? Yes No

ADDITIONAL COMMENTS/RECOMMENDATIONS:

Applicant stated he plans on opening a upscale American/Mexican restaurant. He stated he would be serving food until at least 1:30 AM. Applicant stated he also plans on renting the business for weddings and as a banquet hall. Applicant did apply for a PEP but did not check the Disc Jockey(DJ) box. Applicant stated he would be adding DJ to his PEP. I advised applicant to place a cigarette butt dispenser outside and to monitor the noise level.

Alcohol License Concentration for 551 W Becher St

City of Milwaukee, Wisconsin



- Legend -

- City limits
- Parcels
- Freeways
- Exit ramps
- Entry ramps
- Ramps
- Major streets
- Streets
- Waterways
- Alcohol licenses
 - Class A intoxicating liquor
 - Class A fermented malt beverage
 - Class A liquor and malt
 - Class B fermented malt beverage
 - Class B tavern
 - Class C wine retailer

- Notes -

Licensed Alcohol Establishments Within a .5 Mile Radius Centered on 551 W Becher St on 11/20/2015

City of Milwaukee
Department of Administration - ITMD

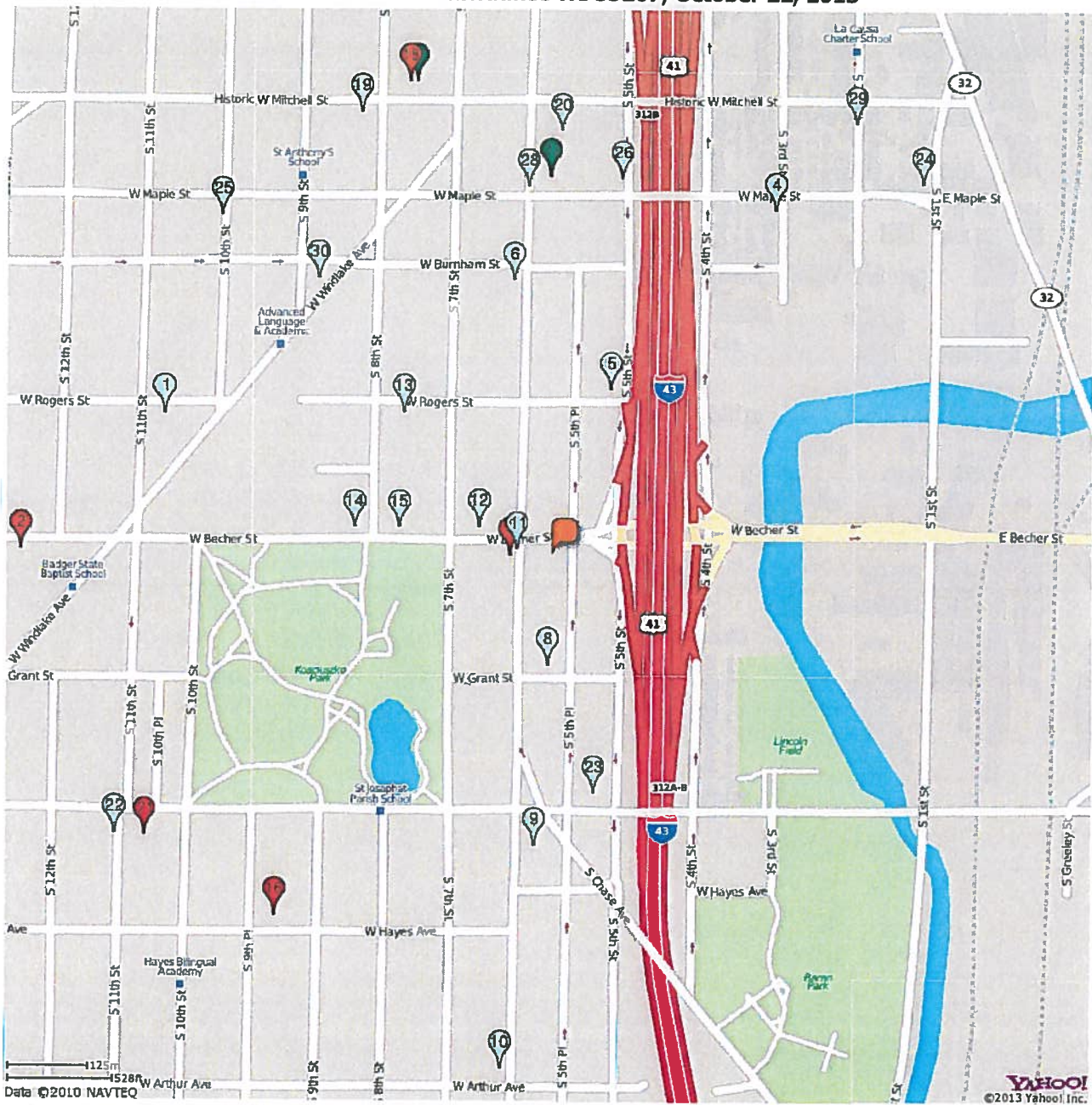





Map Scale: 1: 10,076

© City of Milwaukee, Wisconsin
Map Milwaukee: Property Information
Disclaimer
11/20/2015

Licensed Alcohol Establishments Within a .5 Mile Radius Centered on 551 W Becher St on 11/20/2015									
License Summary:	Trade name	Licensee	Address	License type name	Total capacity	Room capacity	Expiration date	Total	
Class A Fermented Malt Beverage Retailer's License	Amatitan Groceries LLC	Byron F Gudiel, Agt	2366 5th PL	Class A Fermented Malt Beverage Retailer's License			7/21/2016		4
Class A Malt & Class A Liquor License	BEER TOWN	PARAJIT SINGH, SP	1029 W LINCOLN AV	Class A Fermented Malt Beverage Retailer's License			5/16/2016		2
Class B Fermented Malt Beverage Retailer's License	MORELIA'S MARKET	JOSE F ORTIZ, Agt	2107 S 5TH ST	Class A Fermented Malt Beverage Retailer's License			10/13/2016		2
Class B Tavern License	QUALITY DISCOUNT	OMAR A ALI, Agt	738 W HISTORIC MITCHELL ST	Class A Fermented Malt Beverage Retailer's License			8/3/2016		18
Class C Wine Retailer's License	LA LUNA LIQUOR, INC	HANIN K ABDELRAHIM, Agt	552 W MAPLE ST	Class A Malt & Class A Liquor License			3/20/2015		1
	MITCHELL BEVERAGE, LLC	RUPINDER KAUR, Agt	732 W HISTORIC MITCHELL ST	Class A Malt & Class A Liquor License			11/30/2015		
	El Manantial	Luis L Gonzalez, SP	604 W Historic Mitchell ST	Class A Malt & Class A Liquor License			1/20/2016		
	Mr. D's Pizza Restaurant	Fidencio Rivera, Agt	2423 S 6TH ST	Class B Fermented Malt Beverage Retailer's License			4/22/2016		
	CARNITAS MACHETES	FRANCISCO H LOPEZ, SP	2000 S 8TH ST	Class B Fermented Malt Beverage Retailer's License			11/29/2015		
	CEDAR INN	JOANNE M HUMSIK, SP	2178 S 6TH ST	Class B Tavern License	50		6/30/2016		
	Club 6 LLC	BLAS CERDA, Agt	2101 S 6th ST	Class B Tavern License	25		7/1/2016		
	EL SALVADOR RESTAURANT	DAVID A ARIAS, SP	2316 S 6TH ST	Class B Tavern License	50		7/5/2016		
	GUANAJUATO'S BAR	FRANCISCO GONZALEZ, SR, SP	1979 S 5TH ST	Class B Tavern License	110		7/29/2016		
	HORNY GOAT BREWING CO	JEFFREY S JAMES, Agt	2011 S 15T ST	Class B Tavern License	400		10/12/2016		
	Kana Mojito Lounge, LLC	FRANCISCO SANDINO-BADILLO, JR, Agt	201 W Mitchell ST	Class B Tavern License	80		2/29/2016		
	KOZ'S MINI BOWL, INC	CAROL J KOSAKOSKI, Agt	2078 S 7TH ST	Class B Tavern License	80		7/14/2016		
	LUPES'S SQUIRREL CAGE	LUPES S SQUIRREL CAGE	1001 W MAPLE ST	Class B Tavern License	49		6/30/2016		
	MESA GARIBALDI, LLC	GUADALUPE BERRIOS, SP	821-23 W LINCOLN AV	Class B Tavern License	94		12/12/2015		
	Mitchell Park 6, LLC	VALDEMAR ESCOBAR, Agt	551 W Historic Mitchell ST	Class B Tavern License	200		11/9/2016		
	PALOMAS PLACE	NATALIA A RADICEVICH, Agt	1905 S 6TH ST	Class B Tavern License	25		8/3/2016		
	PARK PLACE SPORTS BAR	J JESUS GAMEZ, SP	2079 S 8TH ST	Class B Tavern License	71		4/9/2016		
	QuisQuella Bar LLC	HOWARD J ZANZIG, SP	2078 S 8th ST	Class B Tavern License	64		3/1/2016		
	RICHE'S PUB	Delne J De La Rosa, Agt	2000 S 11TH ST	Class B Tavern License	25		5/3/2016		
	TAQUERIA LA SALSA, LLC	RICHARD A DOBBS, SP	1105 W LINCOLN AV	Class B Tavern License	75		7/26/2016		
	TENTACIONES	FRANCISCO MONTENEGRO, Agt	600 W MAPLE ST	Class B Tavern License	72		4/13/2016		
	TRISKELE'S, LLC	MARTIN R SAAVEDRA, SP	1801 S 3RD ST	Class B Tavern License			10/12/2016		
	Mr. D's Pizza Restaurant LLC	LYNN M WINTER, Agt	2423 S 6TH ST	Class C Wine Retailer's License			4/22/2016		
		Fidencio Rivera, Agt							

**Alcohol Licenses
 WITHIN A HALF MILE RADIUS CENTERED ON
 551 W Becher ST Milwaukee WI 53207, October 22, 2013**



LICENSE SUMMARY	
 Class B Tavern License	- 23 LICENSES
 Class A Fermented Malt Beverage Retailer's License	- 5 LICENSES
 Class A Malt & Class A Liquor License	- 2 LICENSES
TOTAL: 30 LICENSES	

**Alcohol Licenses
WITHIN A HALF MILE RADIUS CENTERED ON
551 W Becher ST Milwaukee WI 53207, October 22, 2013**

License Summary:

BTAVN - Class B Tavern License - 23 LICENSES
 AMALT - Class A Fermented Malt Beverage Retailer's License - 5 LICENSES
 ALQML - Class A Malt & Class A Liquor License - 2 LICENSES

TOTAL: 30 LICENSES

<u>Premises Address</u>	<u>Establishment Name</u>	<u>Lic. Type</u>	<u>Exp. Date</u>
1. 2000 S 11TH St	RICHIE'S PUB	BTAVN	7/26/2014
2. 2100 S 13TH St	LOS AMIGOS	AMALT	7/29/2014
3. 1801 S 3RD St	TRISKELE'S	BTAVN	10/22/2014
4. 1801 S 3RD St	TRISKELE'S	BTAVN	10/22/2014
5. 1979 S 5TH St	GUANAJUATO'S BAR	BTAVN	7/29/2014
6. 1905 S 6TH St	PALOMAS PLACE	BTAVN	4/9/2014
7. 2107 S 6TH St	MORELIA'S MARKET	AMALT	10/13/2014
8. 2178 S 6TH St	CEDAR INN	BTAVN	6/30/2014
9. 2316 S 6TH St	EL SALVADOR RESTAURANT	BTAVN	7/5/2014
10. 2497 S 6TH St	LA ESQUINA BAR	BTAVN	7/26/2014
11. 2101 S 6th St	Club 6	BTAVN	7/1/2014
12. 2078 S 7TH St	KOZ'S MINI BOWL	BTAVN	7/14/2014
13. 2000 S 8TH St	CARNITAS MACHETES	BTAVN	11/29/2013
14. 2079 S 8TH St	PARK PLACE SPORTS BAR	BTAVN	3/1/2014
15. 2078 S 8th St	QuisQuella Bar	BTAVN	4/10/2014
16. 2366 S 9th Pl	Salas Grocery	AMALT	7/5/2014
17. 732 W HISTORIC MITCHELL St	SAM'S LIQUOR	ALQML	6/14/2014
18. 738 W HISTORIC MITCHELL St	QUALITY DISCOUNT	AMALT	7/23/2014
19. 807 W HISTORIC MITCHELL St	EL PAISANO HALL	BTAVN	10/12/2014
20. 551 W Historic Mitchell St	Park 6	BTAVN	11/7/2013
21. 1029 W LINCOLN Av	BEER TOWN	AMALT	5/16/2014
22. 1105 W LINCOLN Av	TAQUERIA LA SALSA	BTAVN	11/25/2013
23. 518-522 W LINCOLN Av	OLD TOWN SERBIAN GOURMET RESTAURANT	BTAVN	4/12/2014
24. 100 W MAPLE St	OLLIE'S	BTAVN	11/12/2013
25. 1001 W MAPLE St	LUPE'S SQUIRREL CAGE	BTAVN	6/30/2014
26. 500 W MAPLE St	RED'S TAP	BTAVN	3/16/2014
27. 552 W MAPLE St	LA LUNA LIQUOR	ALQML	3/20/2014
28. 600 W MAPLE St	TENTACIONES	BTAVN	4/13/2014
29. 201 W Mitchell St	Bamboo Lounge	BTAVN	2/28/2014
30. 854 W WINDLAKE Av	LA RAZA SPORTS BAR / RESTAURANT	BTAVN	5/2/2014



Monday, May 23, 2016

Licenses Committee Notice of Hearing

PGI Properties LLC
2003 S Valley Spring DR

New Berlin, WI 53151

Date: 5/31/2016
Time: 01:30 PM
Location: Room 301-B, Third Floor, City Hall

The Licenses Committee will consider the following license application:

Class B Tavern, Food Dealer, and Public Entertainment Premises License
Applications Requesting Comedy Acts, Karaoke, Instrumental Musicians, and
Poetry Readings
THOMAS J HOLMES, II
Monterrey at 551 W Becher St

Please note this application may be recommended for denial based on fitness of the location due to concentration of alcohol beverage outlets in the area. If the application is denied for this reason, no other application for an alcohol beverage license for this location shall be recommended for approval by the Licenses Committee within three years of the date of denial unless the applicant has demonstrated a change of circumstances since the prior denial.

If you have any questions, please call (414) 286-2238.





Monday, May 23, 2016

Licenses Committee Notice of Hearing

Dhillon Indergeet
PGI Properties LLC
575 W Becher ST
Milwaukee, WI 53207

Date: 5/31/2016
Time: 01:30 PM
Location: Room 301-B, Third Floor, City Hall

The Licenses Committee will consider the following license application:

Class B Tavern, Food Dealer, and Public Entertainment Premises License
Applications Requesting Comedy Acts, Karaoke, Instrumental Musicians, and
Poetry Readings
THOMAS J HOLMES, II
Monterrey at 551 W Becher St

Please note this application may be recommended for denial based on fitness of the location due to concentration of alcohol beverage outlets in the area. If the application is denied for this reason, no other application for an alcohol beverage license for this location shall be recommended for approval by the Licenses Committee within three years of the date of denial unless the applicant has demonstrated a change of circumstances since the prior denial.

If you have any questions, please call (414) 286-2238.





Monday, May 23, 2016



Notice of Public Hearing

HOLMES, II, Thomas J
Monterrey at 551 W Becher St
Class B Tavern, Food Dealer, and Public Entertainment Premises License Applications
Requesting Comedy Acts, Karaoke, Instrumental Musicians, and Poetry Readings

Tuesday, May 31, 2016 at 1:30 PM

To whom it may concern:

The above application has been made by the above named applicant(s). This requires approval from the Licenses Committee and the Common Council of the City of Milwaukee. The hearing before the Licenses Committee will take place on 5/31/2016 at 1:30 PM, in Room 301-B, Third Floor, City Hall. If you wish, you may provide testimony at the hearing regarding the request; see below for further information. You are not required to attend the hearing. Once the Licenses Committee makes its recommendation, this recommendation is forwarded to the full Common Council for approval at its next regularly scheduled hearing. Please review the information below and if you have further questions regarding this process, please contact the License Division at (414) 286-2238.

Important details for those wishing to provide information for the Licenses Committee to consider when making its recommendation:

1. The license application is scheduled to be heard at the above time. Due to other hearings running longer than scheduled, you may have to wait some time to provide your testimony.
2. You must appear in person and testify as to matters that you have personally experienced or seen. (You cannot provide testimony for your neighbor, parent or anyone else; this is considered hearsay and cannot be considered by the committee.)
3. No letters or petitions can be accepted by the committee (unless the person who wrote the letter or the persons who signed the petition are present at the committee hearing and willing to testify).
4. Persons opposed to the license application are given the opportunity to testify first; supporters may testify after the opponents have finished.
5. When you are called to testify, you will be sworn in and asked to give your name, and address. (If your first and/or last names are uncommon please spell them.)
6. You may then provide testimony.
 - a. Include only information relating to the above license application.
 - b. Include only information you have personally witnessed or seen.
 - c. Provide concise and relevant information detailing how this business has affected or may affect the peaceful enjoyment of your neighborhood.
 - d. If by the time you have the opportunity to testify, the information you wish to share has already been provided to the committee, you may state that you agree with the previous testimony. Redundant or repetitive testimony will not assist the committee in making its recommendation.
7. After giving your testimony, the members of the Licenses Committee and the licensee may ask questions regarding the testimony you have given or other factors relating to the license application.
8. Business Competition is not a valid basis for denial or non-renewal of a license.
Please Note: If you have submitted an objection to the above application your objection cannot be considered by the committee unless you personally testify at the hearing.

OCCUPANT	MAIL ADDRESS	CITY AND ZIP CODE
CURRENT OCCUPANT	575 W BECHER ST	MILWAUKEE, WI 53207-1135
CURRENT OCCUPANT	560 W BECHER ST	MILWAUKEE, WI 53207-1136
CURRENT OCCUPANT	2056 S 5TH PL	MILWAUKEE, WI 53204-3906
CURRENT OCCUPANT	2057 S 5TH PL	MILWAUKEE, WI 53204-3907
CURRENT OCCUPANT	2142 S 5TH PL	MILWAUKEE, WI 53207-1120
CURRENT OCCUPANT	2138 S 6TH ST	MILWAUKEE, WI 53215-2741
CURRENT OCCUPANT	2115 S 6TH ST	MILWAUKEE, WI 53215-2740
CURRENT OCCUPANT	2141 S 5TH PL	MILWAUKEE, WI 53207-1119
CURRENT OCCUPANT	2131 S 5TH PL	MILWAUKEE, WI 53207-1119
CURRENT OCCUPANT	2118A S 5TH PL	MILWAUKEE, WI 53207-1120
CURRENT OCCUPANT	2060A S 5TH PL	MILWAUKEE, WI 53204-3906
CURRENT OCCUPANT	2068 S 5TH PL	MILWAUKEE, WI 53204-3906
CURRENT OCCUPANT	2116 S 6TH ST	MILWAUKEE, WI 53215-2741
CURRENT OCCUPANT	2142 S 6TH ST	MILWAUKEE, WI 53215-2741
CURRENT OCCUPANT	2056A S 5TH PL	MILWAUKEE, WI 53204-3906
CURRENT OCCUPANT	2130 S 7TH ST 108	MILWAUKEE, WI 53215-2744
CURRENT OCCUPANT	2130 S 7TH ST 109	MILWAUKEE, WI 53215-2744
CURRENT OCCUPANT	2071 S 5TH PL	MILWAUKEE, WI 53204-3907
CURRENT OCCUPANT	2063 S 5TH PL	MILWAUKEE, WI 53204-3907
CURRENT OCCUPANT	2105 S 6TH ST	MILWAUKEE, WI 53215-2740
CURRENT OCCUPANT	2111 S 6TH ST	MILWAUKEE, WI 53215-2740
CURRENT OCCUPANT	2052 S 5TH PL	MILWAUKEE, WI 53204-3906
CURRENT OCCUPANT	2058A S 6TH ST	MILWAUKEE, WI 53204-3914
CURRENT OCCUPANT	2122 S 5TH PL	MILWAUKEE, WI 53207-1120
CURRENT OCCUPANT	2115A S 6TH ST	MILWAUKEE, WI 53215-2740
CURRENT OCCUPANT	2130 S 7TH ST 202	MILWAUKEE, WI 53215-2744
CURRENT OCCUPANT	2143 S 5TH PL	MILWAUKEE, WI 53207-1119
CURRENT OCCUPANT	2130 S 7TH ST 102	MILWAUKEE, WI 53215-2744
CURRENT OCCUPANT	2130 S 7TH ST 203	MILWAUKEE, WI 53215-2744
CURRENT OCCUPANT	2107 S 6TH ST	MILWAUKEE, WI 53215-2740
CURRENT OCCUPANT	2145 S 5TH PL	MILWAUKEE, WI 53207-1119
CURRENT OCCUPANT	519 W BECHER ST	MILWAUKEE, WI 53207-1125
CURRENT OCCUPANT	2119 S 6TH ST	MILWAUKEE, WI 53215-2740
CURRENT OCCUPANT	2120 S 5TH PL	MILWAUKEE, WI 53207-1120
CURRENT OCCUPANT	2124 S 5TH PL	MILWAUKEE, WI 53207-1120
CURRENT OCCUPANT	2132A S 5TH PL	MILWAUKEE, WI 53207-1120
CURRENT OCCUPANT	2060 S 6TH ST	MILWAUKEE, WI 53204-3914
CURRENT OCCUPANT	2130 S 7TH ST 201	MILWAUKEE, WI 53215-2744
CURRENT OCCUPANT	523 W BECHER ST	MILWAUKEE, WI 53207-1125
CURRENT OCCUPANT	2130 S 7TH ST 106	MILWAUKEE, WI 53215-2744
CURRENT OCCUPANT	2130 S 7TH ST 107	MILWAUKEE, WI 53215-2744
CURRENT OCCUPANT	554 W BECHER ST	MILWAUKEE, WI 53207-1136
CURRENT OCCUPANT	515 W BECHER ST	MILWAUKEE, WI 53207-1125
CURRENT OCCUPANT	527 W BECHER ST	MILWAUKEE, WI 53207-1125
CURRENT OCCUPANT	2117 S 6TH ST	MILWAUKEE, WI 53215-2740
CURRENT OCCUPANT	2127 S 5TH PL	MILWAUKEE, WI 53207-1119
CURRENT OCCUPANT	2119 S 5TH PL	MILWAUKEE, WI 53207-1119
CURRENT OCCUPANT	2118 S 5TH PL	MILWAUKEE, WI 53207-1120
CURRENT OCCUPANT	2130 S 7TH ST 100	MILWAUKEE, WI 53215-2744
CURRENT OCCUPANT	2130 S 7TH ST 104	MILWAUKEE, WI 53215-2744
CURRENT OCCUPANT	2064 S 5TH PL	MILWAUKEE, WI 53204-3906
CURRENT OCCUPANT	2139A S 6TH ST	MILWAUKEE, WI 53215-2740
CURRENT OCCUPANT	2129 S 5TH PL	MILWAUKEE, WI 53207-1119
CURRENT OCCUPANT	2052A S 5TH PL	MILWAUKEE, WI 53204-3906
CURRENT OCCUPANT	2130 S 6TH ST	MILWAUKEE, WI 53215-2741

CURRENT OCCUPANT	2130 S 7TH ST 103	MILWAUKEE, WI 53215-2744
CURRENT OCCUPANT	2101 S 6TH ST	MILWAUKEE, WI 53215-2740
CURRENT OCCUPANT	2138 S 5TH PL	MILWAUKEE, WI 53207-1120
CURRENT OCCUPANT	2126 S 6TH ST	MILWAUKEE, WI 53215-2741
CURRENT OCCUPANT	2130 S 7TH ST 209	MILWAUKEE, WI 53215-2744
CURRENT OCCUPANT	2130 S 7TH ST 206	MILWAUKEE, WI 53215-2744
CURRENT OCCUPANT	2130 S 7TH ST 105	MILWAUKEE, WI 53215-2744
CURRENT OCCUPANT	2130 S 7TH ST 208	MILWAUKEE, WI 53215-2744
CURRENT OCCUPANT	2064 S 6TH ST	MILWAUKEE, WI 53204-3914
CURRENT OCCUPANT	2137 S 5TH PL	MILWAUKEE, WI 53207-1119
CURRENT OCCUPANT	2146 S 5TH PL	MILWAUKEE, WI 53207-1120
CURRENT OCCUPANT	2134 S 6TH ST	MILWAUKEE, WI 53215-2741
CURRENT OCCUPANT	2139 S 6TH ST	MILWAUKEE, WI 53215-2740
CURRENT OCCUPANT	2135 S 5TH PL	MILWAUKEE, WI 53207-1119
CURRENT OCCUPANT	2123A S 5TH PL	MILWAUKEE, WI 53207-1119
CURRENT OCCUPANT	2130A S 6TH ST	MILWAUKEE, WI 53215-2741
CURRENT OCCUPANT	2126 S 5TH PL	MILWAUKEE, WI 53207-1120
CURRENT OCCUPANT	2130 S 7TH ST 101	MILWAUKEE, WI 53215-2744
CURRENT OCCUPANT	2052 S 6TH ST	MILWAUKEE, WI 53204-3914
CURRENT OCCUPANT	2051 S 5TH PL	MILWAUKEE, WI 53204-3907
CURRENT OCCUPANT	2146 S 6TH ST	MILWAUKEE, WI 53215-2741
CURRENT OCCUPANT	2133 S 5TH PL	MILWAUKEE, WI 53207-1119
CURRENT OCCUPANT	2123 S 5TH PL	MILWAUKEE, WI 53207-1119
CURRENT OCCUPANT	2132 S 5TH PL	MILWAUKEE, WI 53207-1120
CURRENT OCCUPANT	2067 S 5TH PL	MILWAUKEE, WI 53204-3907
CURRENT OCCUPANT	2111A S 6TH ST	MILWAUKEE, WI 53215-2740
CURRENT OCCUPANT	2125 S 5TH PL	MILWAUKEE, WI 53207-1119
CURRENT OCCUPANT	2139A S 5TH ST	MILWAUKEE, WI 53207-1117
CURRENT OCCUPANT	2056B S 5TH PL	MILWAUKEE, WI 53204-3906
CURRENT OCCUPANT	2060B S 5TH PL	MILWAUKEE, WI 53204-3906
CURRENT OCCUPANT	2060 S 5TH PL	MILWAUKEE, WI 53204-3906
CURRENT OCCUPANT	2130 S 7TH ST 204	MILWAUKEE, WI 53215-2744
CURRENT OCCUPANT	2130 S 7TH ST 205	MILWAUKEE, WI 53215-2744
CURRENT OCCUPANT	2130 S 7TH ST 200	MILWAUKEE, WI 53215-2744
CURRENT OCCUPANT	2130 S 7TH ST 207	MILWAUKEE, WI 53215-2744
CURRENT OCCUPANT	2058 S 6TH ST	MILWAUKEE, WI 53204-3914
CURRENT OCCUPANT	2139 S 5TH ST	MILWAUKEE, WI 53207-1117
CURRENT OCCUPANT	2116A S 6TH ST	MILWAUKEE, WI 53215-2741

Total Records: 94

Radius: 250.0 feet and Center of Circle: 551 W Becher ST



BUSINESS LICENSE PLAN OF OPERATION

ccl-busplan 9/15/15

Office of the City Clerk License Division
200 E. Wells St. Room 105, Milwaukee, WI 53202
(414) 286-2238 www.milwaukee.gov/license e-mail address: license@milwaukee.gov

1. Type of Business

- Applying for: Extended Hours Establishment Filling Station Waste Tire Transporter Waste Tire Generator
 Self Service Laundry Rooming House: Number of Units: _____ Hotel/Motel: Number of Units: _____
 Massage Establishment Other (supplemental application for specific license also required)

Provide a detailed description of the type of business you plan on operating:

AN upscale Mexican/American Cuisine Restaurant

Do you have any experience operating this type of business? No Yes If yes, explain: I have a class A and class B License and a Culinary License

2. Business Operations

- a. Proposed Opening Date: Dec 18 2015
- b. Is this premise under construction? No Yes If yes, list estimated completion date: _____
- c. Is this a franchise? No Yes
- d. Is this premises currently licensed? No Yes If yes, list type of license: RESTURANT
- e. Is the current licensee operating? No Yes If no, list date closed: _____
- f. Do you have future plans for other businesses, licenses or permits at this location? No Yes
If yes, explain: _____
- g. Have you previously held an Extended Hours License in Milwaukee? No Yes
If yes, list address(es): CLASS B Lux Lounge 2712 N MCK DR, MILWAUKEE 53212
- h. Are other businesses operating in the same building? No Yes If yes, describe: Laundromat on South End.

3. Litter & Noise

- a. How are grounds kept clean? Sweep Pressure Wash Pick Up Litter Hired Maintenance
 Building Owner Responsibility Garbage Cans Outside Other: _____
- b. How often will grounds be cleaned? Daily Weekly As Needed Monthly Other: _____
- c. Grounds cleaned by: Licensee Building Owner Employees Hired Maintenance Other: _____
- d. How are noise issues prevented and/or addressed? Security Manager approaches customer(s) Call Police
 Signs Posted Other: _____
- e. Will a sound amplification system be used? No Yes If yes, describe: music while people are eating, Reception Banquets, Marriachis

4. Smoking & Sanitation

- f. Are there designated outdoor smoking areas? No Yes If yes, describe: OUTSIDE FRONT DOOR TO THE SOUTH
- g. Number of Garbage Cans: Inside: 6 Locations: 3 IN KITCHEN 3 IN RESTURANT AREA
Outside: 1 Locations: SOUTH OF FRONT ON MAIN ENTRANCE
- h. Is a crowd control barrier used? No Yes If yes, describe: _____
- i. Describe sanitation facilities (restrooms): 1 mens Room 1 ladies Room 1 Toilet each
Name of solid waste contractor: Advanced Disposal Waste Management Other: Eagle Disposal

5. Security

- a. Are there onsite parking spaces? No Yes If yes, how many? 18-20
Describe parking security plan: AT NIGHT SOMEONE WILL MONITOR LOT FOR SAFETY.
- b. Is there a loading zone? No Yes If yes, describe loading area security plan _____
- c. Will you have security personnel on premise? No Yes If yes, how many? 1
What are their responsibilities? TO MAKE SURE PATRONS CARS ARE SAFE AND THEY GOT TO THERE COME SAFE.
Is security equipment used? No Yes If yes, describe _____
List their licensing, certification, or training credentials UNKNOWN AT THIS TIME.
Will there be security cameras? No Yes If yes, where? INSIDE AND OUTSIDE PREMISES
Will searches/identification verification be conducted upon entry? No Yes If yes, describe IF SOMEONE ASK FOR ALCOHOL

6. Percentage of Sales (must total 100%)

Alcohol <u>50</u> %	Food <u>50</u> %	Secondhand Merchandise _____ %	Precious Metals & Gems _____ %
Entertainment _____ %	Cigarettes _____ %	Personal Services (such as tattoo, body piercing, salon, tailor, tanning, etc.) _____ %	Other _____ % Describe: _____
Pawnbroker Activity _____ %	Salvaged Materials _____ % (such as scrap metal)		

7. Businesses/Licenses on the Premises (check all that apply):

Type 1

- Full Service Restaurant Cafe/Coffee Shop Deli or Fast Food Restaurant Private/Fraternal/Veterans Club
- Night Club Tavern Cocktail Lounge Teen Club
- Banquet Hall Sports Facility
- Hotel/Motel – Number of Rooms: _____ Rooming House – Number of Rooms: _____

Type 2

- Liquor Store Corner Store Supermarket Convenience Store
- Gas Station Amusement/Phonograph Distributor Auto Wrecker
- Used Car Dealer Used Auto Parts Personal Service Establishment
(such as tattoo business, hair salon, tailor, etc.) Recording Studio

What other licenses/permits will you hold at this location? (check all that apply)

- Occupancy Permit Cigarette & Tobacco Gas Station Extended Hours Class "B" Tavern Weights & Measures
- Secondhand Dealer Precious Metal & Gem Other: _____

8. Legal Capacity (only if a Type 1 premises in #6 above)

Capacity _____ (Call the Milwaukee Development Center at 414-286-8211 if you have questions.)

9. Premises Description

d. Identify all area(s) of the premises that will be used in operating this business (include areas used only for storage):

1st Floor 2nd Floor Basement Storage Patio Beer Garden Sidewalk Café Deck Rooftop

Other: Describe: _____

e. Describe Location: Major Thoroughfare Secondary Street Other: _____

f. Nearest Major Cross Street: 6th Becher

g. Describe Building: Free Standing Building Strip Mall Other: _____

h. Describe Premises Structure: Single Story Multi-Story - # of Stories _____ Other: _____

i. Describe Surrounding Area: Commercial Residential Industrial Other: _____

j. Building Owner Name: Dhillon Inderspect "P&I Properties LLC" Phone Number: 914 975-6340

Business Owner Address: 575 W Becher St Milwaukee WI 53207

10. Hours of Operation & Customers

Will customers be entering the premises? No Yes

Day of the Week	Proposed Hours of Operation:		Estimated Number of Customers expected each day	Potential Age Range of Customers	Class B Applicants: Age Restriction (If none, write 'None')
	Open Time (include a.m. or p.m.)	Close Time (include a.m. or p.m.)			
Sunday	8:00 AM	2:00 AM	75+	2-65	NONE
Monday	8:00 AM	2:00 AM	75+	2-65	NONE
Tuesday	8:00 AM	2:00 AM	50-75	2-65	NONE
Wednesday	8:00 AM	2:00 AM	50-75	2-65	NONE
Thursday	8:00 AM	2:00 AM	50-75	2-65	NONE
Friday	8:00 AM	2:30 AM	75+	2-65	NONE
Saturday	8:00 AM	2:30 AM	75+	2-65	NONE

Extended Hours Establishment License is required for any convenience store, filling station, personal service establishment (such as tattoo, body piercing, salon, tailor, tanning, etc.), recording studio or restaurant which is open between the hours of 12 a.m. and 5 a.m.

Entertainment Indoor Closing Hours - If alcohol beverage establishment, same as alcohol license hours.
If non-alcohol establishment 1:00 am Sunday to Thursday; 1:30 am Friday and Saturday.

Entertainment Outdoor Closing Hours - 10:00 pm Sunday - Thursday; 12:00 am Friday and Saturday, unless otherwise approved by Common Council in licensee's plan of operation.

11. Signature(s)


Sole Proprietor, Partner, Agent, or 20% or more Shareholder

Signature of additional partner or 20% or more Shareholder

See Application Information for a list of all required application forms.



**ALCOHOL BEVERAGE & PUBLIC ENTERTAINMENT PREMISES
SUPPLEMENTAL PLAN OF OPERATION**

Office of the City Clerk License Division
200 E. Wells St. Room 105, Milwaukee, WI 53202
(414) 286-2238 e-mail address: license@milwaukee.gov www.milwaukee.gov/license

Legal Entity Name: <u>Monterrey</u>
Premise Address: <u>551 W Becher St. Milwaukee WI 53207</u>
Proximity of Premises to Church, School, Daycare Center or Hospital
Is there at least 300 feet between the building and any church, school, daycare center or hospital? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
"Service Bar Only" Designation
If applying for Class B or C license, are you applying for "Service Bar Only"? <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Service Bar Only means customers cannot sit at the bar. Alcohol is served to patrons seated at tables. No stools, chairs or other articles of furniture shall be placed at the service bar for patrons to sit upon.
Business Information
a) Are you taking out this application for anyone that may not be eligible for a license? <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes If yes, list name and address: _____
b) Will the agent, a partner or the individual licensee be conducting the day-to-day operations of the business? <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes If no, list the name and address of the person(s) who will: _____
Class B Applicants: If the agent, a partner or the individual licensee will not be conducting the day-to-day operations of the business, the person(s) listed above must obtain a Class B Managers license.
c) Does anyone else have money invested or any other interest in this business? <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes If yes, explain: _____
d) Have you made an agreement with anyone to repay any loan or any other payments based upon income from the business? <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes If yes, list name and address: _____
Proof of Ownership, Lease, or Offer to Purchase (new & transfer applicants only)
Submit proof of ownership, lease, or offer to purchase the building with this application. A lease or offer to purchase must: a) Be in the same legal entity name as that apply for the license b) Reflect the same address as the premises address on this application c) Reflect current dates and d) Be signed by the lessor/seller and lessee/buyer
Property Information (new & transfer applicants only)
a) Do you own or lease the building? <input type="checkbox"/> Own <input checked="" type="checkbox"/> Lease
b) Who owns the fixtures (for example, coolers, etc.)? <u>The owner Dhillon Inderjeet "PGI Properties" LLC</u>
c) Are you purchasing the stock and/or fixtures? <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes If yes, amount paid \$ _____
d) Total amount paid for business \$ _____
e) Total amount paid for goodwill of the business \$ <u>4,000.00</u> Goodwill comprises the reputation and customer relationships of an existing business. If the price you pay for the business exceeds the fair market value of all of the rest of the assets of the business, the excess may be considered goodwill.
f) Have you made arrangements with the seller for payment of personal property taxes? <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes

See Application Information for a list of all required application forms.

Lease Information (new & transfer applicants who are leasing the premises only)

- a) Date lease begins 11-1-15 Ends 11-1-18 with options
- b) Monthly rental \$ 2,000.00
- c) Do you have an option to renew the lease? No Yes
- d) Does your lease allow for assignment to another party without the consent of the owner? No Yes
- e) For what length of time have you been guaranteed occupancy (number of years)? 3
- f) In addition to paying the monthly rental, will you have to pay anything additional to the owner of the building to guarantee performance of the lease? No Yes If yes, explain _____
- g) Does the present owner or occupancy object to the granting of your license? No Yes
If yes, explain _____

Change of Agent Applicants Only

Have there been any changes to the floor plan since the last application was submitted? No Yes
If no, a new floor plan is not required. If yes, submit a new floor plan and explain the change(s): _____

Notarized Signatures of Applicants

SUBSCRIBED AND SWORN TO BEFORE ME

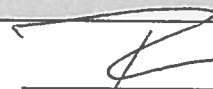
This 17th day of November, 20 15



(Clerk/Notary Public)

My Commission Expires MARCH 22, 2019

*Notary Seal must be affixed.



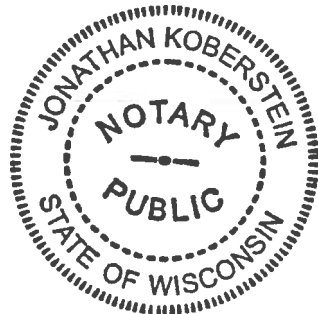
Sole Proprietor, Partner, 20% or more Shareholder, or Agent – only if there are no 20% or more shareholders

Additional partner or 20% or more shareholder

Note: All information contained in this application is subject to approval by the Common Council.
Deviating from approved plan of operation will subject licensee to citations, and/or suspension or non-renewal of the license.
Contact the License Division for information on how to request changes.

New and transfer of premise applicants must submit the following:

- Proof of ownership, lease or offer to purchase the building
- Detailed floor plan
- If a restaurant, copy of the menu





PUBLIC ENTERTAINMENT PREMISES LICENSE SUPPLEMENTAL APPLICATION

Office of the City Clerk License Division
200 E. Wells St. Room 105, Milwaukee, WI 53202
(414) 286-2238 www.milwaukee.gov/license e-mail address: license@milwaukee.gov

TYPES OF ENTERTAINMENT (CHECK ALL THAT APPLY)			
<input checked="" type="checkbox"/> Instrumental Musicians	<input checked="" type="checkbox"/> Bands	<input type="checkbox"/> Battle of the Bands	<input checked="" type="checkbox"/> Comedy Acts
<input type="checkbox"/> Disc Jockey	<input type="checkbox"/> Magic Shows	<input checked="" type="checkbox"/> Poetry Readings	<input type="checkbox"/> Dancing by Performers
<input type="checkbox"/> Adult Entertainment/ Strippers/Erotic Dance	<input type="checkbox"/> Wrestling	<input type="checkbox"/> Patron Contests	<input checked="" type="checkbox"/> Patrons Dancing
<input type="checkbox"/> Jukebox	<input checked="" type="checkbox"/> Karaoke	<input type="checkbox"/> Bowling Alley	<input type="checkbox"/> Pool Tables
<input type="checkbox"/> Motion Pictures	<input type="checkbox"/> Amusement Machines –	<input type="checkbox"/> Concerts	<input type="checkbox"/> Theatrical Performances
How many? _____	How many? _____	Approx. # per year? _____	Approx. # per year? _____
<input type="checkbox"/> Other: _____			
WILL PROMOTERS EVER BE USED FOR ANY OF THE ENTERTAINMENT?			
<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes, describe: _____			
LEGAL CAPACITY OF PREMISES			
_____ (Call the Development Center at 414-286-8211 with questions.) Legal capacity determines the fee for your Public Entertainment Premises License. If you would like to request the license be approved with a lower capacity than that listed above, indicate the lower capacity here: _____. If approved, this lower capacity will print on your license and override the capacity listed on your Occupancy Permit.			
WILL SOUND AMPLIFICATION EVER BE USED?			
<input type="checkbox"/> No <input checked="" type="checkbox"/> Yes, describe: <u>music while customers eating, mariachis, Banquets, Receptions</u>			
DECLARATIONS, ACKNOWLEDGEMENTS, & DISCLOSURES			
Read And Initial Each Item Confirming Your Understanding:			
1	<u>2011</u>	I understand that after the license has been issued a change to the plan of operation will require a written request to change and approval from the Common Council.	
2	<u>2011</u>	I agree to inform the City Clerk within 10 days of any substantial changes in the information supplied in this application.	
3	<u>2011</u>	I understand that I shall not willfully refuse to provide the services offered under this license, or add charges or require deposits not required of the general public because of race, color, sex, religion, national origin or ancestry, age, handicap, lawful source of income, marital status, sexual orientation, gender identity or expression, familial status or the fact that a person is now or has been a member of the military service, whether dressed in uniform or not; and shall not seek such information as a condition of employment, or penalize any employee or discriminate in the selection of personnel for training or promotion on the basis of such information.	
4	<u>2011</u>	I have knowledge of the City Ordinances currently regulating public entertainment, and understand that the license may be subject to suspension, non-renewal or revocation, if I violate any rule, law or regulation of the city of Milwaukee and State of Wisconsin.	
NOTARIZED SIGNATURES OF APPLICANTS			
SUBSCRIBED AND SWORN TO BEFORE ME			
This <u>17th</u> day of <u>November</u> , 20 <u>15</u>			
 _____ (Clerk/Notary Public)		 _____ Agent/Owner/Partner	
My Commission Expires <u>MARCH 23, 2019</u>		Additional Owner/Partner	
*Notary Seal must be affixed.			

Office Use Only: Initials: _____ Filed: _____ App: _____

Check if only PEP (must be heard w/in 60 days) Granted _____ License # _____



FOOD DEALER LICENSE PLAN OF OPERATION
 OFFICE OF THE CITY CLERK, LICENSE DIVISION
 CITY HALL, 200 E. WELLS ST, ROOM 105, MILWAUKEE, WI 53202 •
 (414) 286-2238 • license@milwaukee.gov • www.milwaukee.gov/license

FREST
 221712

Legal Entity Name:	MONTERREY
Premises Address:	551 W Becker ST. MILWAUKEE WI 53207
1. Application Type	
Is this a new food business or are you taking over a food business which is currently operating?	
<input type="checkbox"/> Taking over a currently operating, licensed food business <input checked="" type="checkbox"/> New business (includes taking over a closed food business)	
Will you be sharing kitchen space with another food establishment?	
<input type="checkbox"/> Yes, I intend to rent space in my kitchen to other food businesses <input type="checkbox"/> Yes, I am renting space from another food business which will also be using the kitchen* <input checked="" type="checkbox"/> No, I will be the only food business using the space	
*If renting space in a commercial kitchen with another operator, a completed and signed Shared Kitchen Agreement is required. The form is available at www.milwaukee.gov/license	
Provide a brief description of the food establishment.	
AN upscale RESTAURANT SERVING AUTHENTIC MEXICAN & AMERICAN FOOD IN A CLEAN MODERN decorative ENVIRONMENT, QUALITY TEQUILAS and Liqueur INCLUDING wholesome ENTERTAINMENT by Mariachis, and Jazz musicians	
Attach a copy of your menu or general listing of the types of food products that will be sold. Indicate what information you will be including:	
<input checked="" type="checkbox"/> Menu <input type="checkbox"/> List of the types of products (for example: packaged foods, deli case, meat department)	
What is the anticipated opening date or date of change of ownership: 12/18/15	
2. Construction, Remodeling and Equipment	
Are any construction, remodeling or equipment changes planned? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If no, skip to section 3.	
Scope of the planned project?	
<input type="checkbox"/> New construction or conversion of an existing structure to be used as a food establishment <input type="checkbox"/> Renovation/remodeling of a food establishment, which may or may not include equipment changes <input type="checkbox"/> Renovation/remodeling limited to the installation/change/replacement of food equipment	
Provide a brief summary of the proposed construction, remodeling and/or equipment change:	
Note: Building permits may be required. Contact the City of Milwaukee Development Center.	
Date alterations/changes planned to begin	
Name, address and phone number of architect	
Name, address and phone number of general contractor	

3. Premises Description

Will food be prepared/sold at a single site or at multiple sites? (multiple site example: a hotel with multiple dining rooms or bars):

Single Multiple

• If multiple sites will be used, how many separate sites will be used?

List all sites and briefly describe the nature of the food activities at each site:

Are any outdoor operations planned? Yes No

• If yes, what activities will be conducted outdoors (check all that apply):

Bar Cooking/Grilling Dining – Patio Dining – Sidewalk (DPW permit required) Storage

Other, Specify

DONT NO IF WE NEED DPW. WALKWAY IS CONNECTED TO PARKING LOT. EXITING MAIN ENTRANCE. NOT A CITY SIDEWALK

Is seating provided on site for dining? Yes No

• If yes, are there additional banquet facilities other than the main dining area? Yes No

Total square footage of the establishment (exclude space used for other purposes other than food)

Number of Full Time Employees

Number of Part Time Employees

4. Business Type

Select the one that best describes the proposed business:

Bed & Breakfast

Community Food Program – A meal site or food pantry where food is provided free of cost to persons in need, or to organizations serving persons in need.

Distiller or Brewer – Facility primarily engaged in the production of alcohol beverages.

Food Distributor – A business that transports food for sale to retail and wholesale establishments, and does not prepare any food items

- Is food stored on site? Yes No

Food Manufacturer – A commercial operation that produces, packages, labels, or stores food, but primarily does not provide food directly to a consumer. Food is sold to distributors, retailers or restaurants. There may be a small retail store onsite where only the manufacturers products are sold, but the majority of product is sold to other licensed food establishments.

• Is there a retail store onsite? Yes No

Food Store – An establishment in which the majority of food sales consist of beverages or multi-serving food products requiring further preparation prior to consumption. Examples of food stores include bakeries, grocery stores, convenience stores, coffee shops, liquor stores. Food stores include businesses whose primary business is other than food (book store, pharmacy, etc.), but offer convenience food items.

• If a food store, are you considered a convenience food store (see definition below)? Yes No

A convenience food store contains less than 5,000 sq. ft. of retail sales space AND has as its primary business the sale of basic food items and in addition sells household products. Basic food items may include, but are not limited to, milk and dairy products, bread products, prepared sandwiches, frozen entrees, refrigerated food and baby food. Household products may include, but are not limited to, cleaning products, paper products, baby products and pet food.

School Lunch Program – Lunch program operated by an outside contractor. (If directly operated by the school, this license is not needed.)

Restaurant – An establishment in which the majority food sales consist of meals or other items ready for immediate consumption.

Shared Kitchen, Commissary or Base – A commercial kitchen used for the production of food to be served or sold at another location; a base of operations for a food peddler, caterer or seasonal market vendor.

• Will meals make up greater than 50% of your sales? Yes No

4. Business Type (Continued)

Type of sales (check all that apply, even if it reflects a small percentage of the proposed business)

- Made directly to the general public or end consumer (includes internet sales)
- Made to other food establishments (wholesaler, distributors, retail or restaurants) who will resell your product(s)

What percentage of your planned food sales will be meals versus grocery items?

40 % from meals (ready-to-eat food)

60 % from grocery items (foods typically requiring preparation before serving, includes typical grocery items, beverages, bakery items and raw produce)

Will customers be able to purchase food through a drive through? Yes No

Will customers be able to purchase food from a self-service salad or food bar? Yes No

Will food be prepared on site and then transported for sale or consumption at another location? Yes No

If yes, check all the reasons why the food will be transported:

- Catering
- Delivery
- Base for Mobile Food Peddler
- Base for temporary or seasonal food stand

Other-Describe: _____

5. ISSUANCE OF LICENSE

Will any alcohol or intoxicating beverages be sold at the establishment? Yes No

If yes, what type of license do you have or will you be applying for?

- Class A fermented malt beverage license
- Class B fermented malt beverage licenses
- Class C wine license
- Class A liquor license
- Class B liquor license

If yes, if your food license is approved prior to the alcohol license, when would you like the food license issued?

- immediately so you can open your food business
- at the same time as the alcohol license

6. AFFIRMATION OF UNDERSTANDING – PERMIT NEEDED TO OPERATE

Read and initial each item confirming your understanding:

- TH I understand that an inspection and sign off by the Health Department is required before my permit may be issued.
- TH I understand that the Health Department will review my application and will update the application based on what is observed during my onsite inspection. My representative onsite at the time of inspection must have the authority to approve corrections to my application.
- TH I understand that an occupancy permit must be issued and an inspection may be required from the Department of Neighborhood Services before my permit may be issued.
- TH I understand that the Department of Neighborhood Services must sign off on my application with the License Division before my permit may be issued.
- TH I understand the local council member must approve or deny my request before my permit is eligible to be issued. If denied, I understand that I may appeal and be scheduled for a hearing before the License Committee of the Common Council.
- TH I understand that the License Division must have proof of payment for the associated permit fees before my permit may be issued.
- TH I understand that all of the above must be complete before my permit is eligible to be issued.
- TH I understand that the license for which I am applying must be issued and posted in my business premises prior to opening for business.

I, Thomas Holmar II, will not operate my food business, until the permit has been issued and posted in the establishment.
Name of Applicant

Signature of Applicant: _____ Date: 10/27/15

MONTERREY

FINE DINING

DRINKS

MARGARITAS

PREMIUM MARGARITA

(ROCKS ONLY)

DON JULIO, CAZADORES, TRES GENERACIONES, CENTENARIO, PATRON,
HERRADURA, MILAGRO REPOSADO & 1800.....\$10.00 | PITCHER.....\$35.00

BLUE MOON MARGARITA

(ROCKS ONLY)

MILAGRO TEQUILA, TRIPLE SEC, LIME JUICE AND BLUE CURACO.....\$8.00

FRESCA MARGARITA

(ROCKS ONLY)

CAZADORES TEQUILA, 50/50 SODA AND LIME.....\$8.00

LIME MARGARITA

DRINK.....\$6.00 (ROCKS OR BLENDED) PITCHER.....\$20.00

ORIGINAL MARGARITA

(ROCKS ONLY)

MILAGRO, CUERVO GOLD, SAUZA TRADICIONAL.....\$8.00
PITCHER....\$30.00 | 1/2 PITCHER.....\$17.00

FRUIT MARGARITA & DAIQUIRIS

(ROCKS OR BLENDED)

STRAWBERRY, RASPBERRY, BANANA, BLUE CURACAO, MIDORI MELON, PEACH,
WATERMELON, MANGO & PASSION FRUIT.....\$7.00
PITCHER....\$28.00 | 1/2 PITCHER.....\$16.00

RAINBOW MARGARITA

(BLENDED ONLY)

STRAWBERRY, LIME & BLUE CURACAO.....\$7.50 | PITCHER.....\$25.00

TEQUILAS

EL JIMADOR, HORNITOS, JOSE TRADITIONAL, AZUL, CABO WABO, CORRALEJO
BLANCO, PATRON, AGABERO, DOBEL, DON JULIO, TRES GENERACIONES,
CAZADORES, HERRADURA, MILAGRO REPOSADO OR 1800,

CORRALEJO REPOSADO.....\$6.00

SHOTS.....\$5.00

MARGARITA.....\$8.00

CORRALEJO ANEJO

SHOTS.....\$10.00.....MARGARITA.....\$15.00

***MARGARITAS - 12OZ GLASS | LIME JUICE, TRIPLESEC AND A TOUCH OF SWEET & SOUR

CERVEZA

(IMPORTS \$4.00)

2XX AMBER, 2XX LAGER, CORONA & LIGHT, SOL, BOHEMIA, VICTORIA
MODELO, NEGRA MODELO, CARTA BLANCA, PACIFICO, HEINEKEN

(DOMESTICS \$3.00)

MILLER & MILLER LITE, MGD LIGHT, BUD LIGHT, O'DOUL'S,
COORS LIGHT, MGD, BUDWEISER, SHARPS

WINES

(\$6.00)

MERLOT, WHITE ZINFANDEL, LAMBRUSCO, CABERNET, CHARDONNAY, SANGRIA

DRINKS

PINA COLADA.....\$7.00

TEQUILA SUNRISE.....\$7.00

SANGRIA.....\$7.50

(VODKA, SANGRIA AND A SPLASH OF ORANGE JUICE)

RAIL SHOT.....\$4.00 | RAIL MIXER.....\$6.00 | TALL MIXER.....\$9.00

BEVERAGES

SODA.....\$1.75 (COKE, DIET, SPRITE, ORANGE, SQUIRT) - NO FREE REFILLS

SPRECHER ROOT BEER.....\$2.75 | COFFEE.....\$1.75 | ICE TEA.....\$1.75 | JUICE.....\$2.50

(LEMONADE, APPLE, ORANGE, CRANBERRY, PAPAYA, PINA)

NON-ALCOHOLIC

PINA COLADA.....\$5.00 | DAIQUIRI.....\$5.00

(STRAWBERRY, RASPBERRY, ORANGE, PEACH, MANGO, BANANA)

MONTERREY

FINE DINING

***CONSUMING UNDERCOOKED MEATS OR FOOD MAY INCREASE YOUR RISK OF FOODBORNE ILLNESS.
ESPECIALLY FOR SICK AND ELDERLY PEOPLE...

BEST WINGS IN THE TOWN!!!!

FRIED OR GRILLED

6 PCS.....\$5.99 12 PCS.....\$9.99 24 PCS.....\$5.99

FLAVORS BARBEQUE - BUFFALO - GARLIC PARMESAN - PLAIN

FRENCH FRIES.....\$2.99

SEASONED FRIES.....\$2.99

MONTERREY CHICKEN DINNERS

ALL CHICKEN DINNERS INCLUDE FRENCH FRIES & BREAD

4 PC CHICKEN DINNER.....\$8.99

8 PC CHICKEN DINNER.....\$14.99

MONTERREY SANDWICH MEALS

SERVED WITH FRENCH FRIES (WITHOUT FRIES SUBTRACT \$1.50)

HAMBURGER MEAL.....\$5.99
CHEESEBURGER MEAL.....\$6.49

DOUBLE HAMBURGER MEAL.....\$6.99
DOUBLE CHEESEBURGER MEAL.....\$7.99

18% GRATUITY WILL BE CHARGED TO PARTIES OF 5 PEOPLE OR MORE...
18% GRATUITY WILL BE ADDED TO ALL PARTIES AFTER 9PM.

COMBINACIONES Y TACOS

COMBINATIONS

CHOICES OF CHUNKY BEEF, CHICKEN OR PORK. SERVED WITH RICE, BEANS AND PICO DE GALLO

1. ENCHILADA, TACO AND CHIMICHANGA W/ GUACAMOLE AND SOUR CREAM.....\$9.95
2. CHIMICHANGA, TACO AND BURRITO W/ GUACAMOLE AND SOUR CREAM.....\$9.95
3. FLAUTA, TOSTADA AND BURRITO W/ GUACAMOLE AND SOUR CREAM.....\$9.95
4. TACO AND ENCHILADA W/ SOUR CREAM.....\$7.95
5. ENCHILADA AND MINI CHIMICHANGA W/ SOUR CREAM.....\$7.95
6. TOSTADA AND BURRITO W/ SOUR CREAM.....\$7.95
7. ENCHILADA AND TAMAL W/ SOUR CREAM.....\$7.95

TACOS

CHOICES OF CORN OR FLOUR TORTILLAS. SERVED WITH RICE AND BEANS

8. TACOS AL PASTOR (3)
MARINATED SPICY PORK MEAT, ONIONS, CILANTRO AND AVOCADO.....\$9.75
9. TACOS DE CARNE ASADA (3) OR MEXICAN TACOS
ONIONS, CILANTRO AND AVOCADO, TENDER AND DELICIOUS STRIPS OF STEAK, LETTUCE AND TOMATOES.....\$9.95
10. TACOS (3)
WITH CHOICE OF MEAT: CHICKEN, PORK, CHUNKY OR GROUND BEEF (GRILLED CHICKEN ADD \$1.00).....\$8.95
11. TACOS DE BARBACOA
STEAMED BEEF WITH ONIONS, CILANTRO AND AVOCADO.....\$8.95

MONTERREY CASA SPECIALTIES

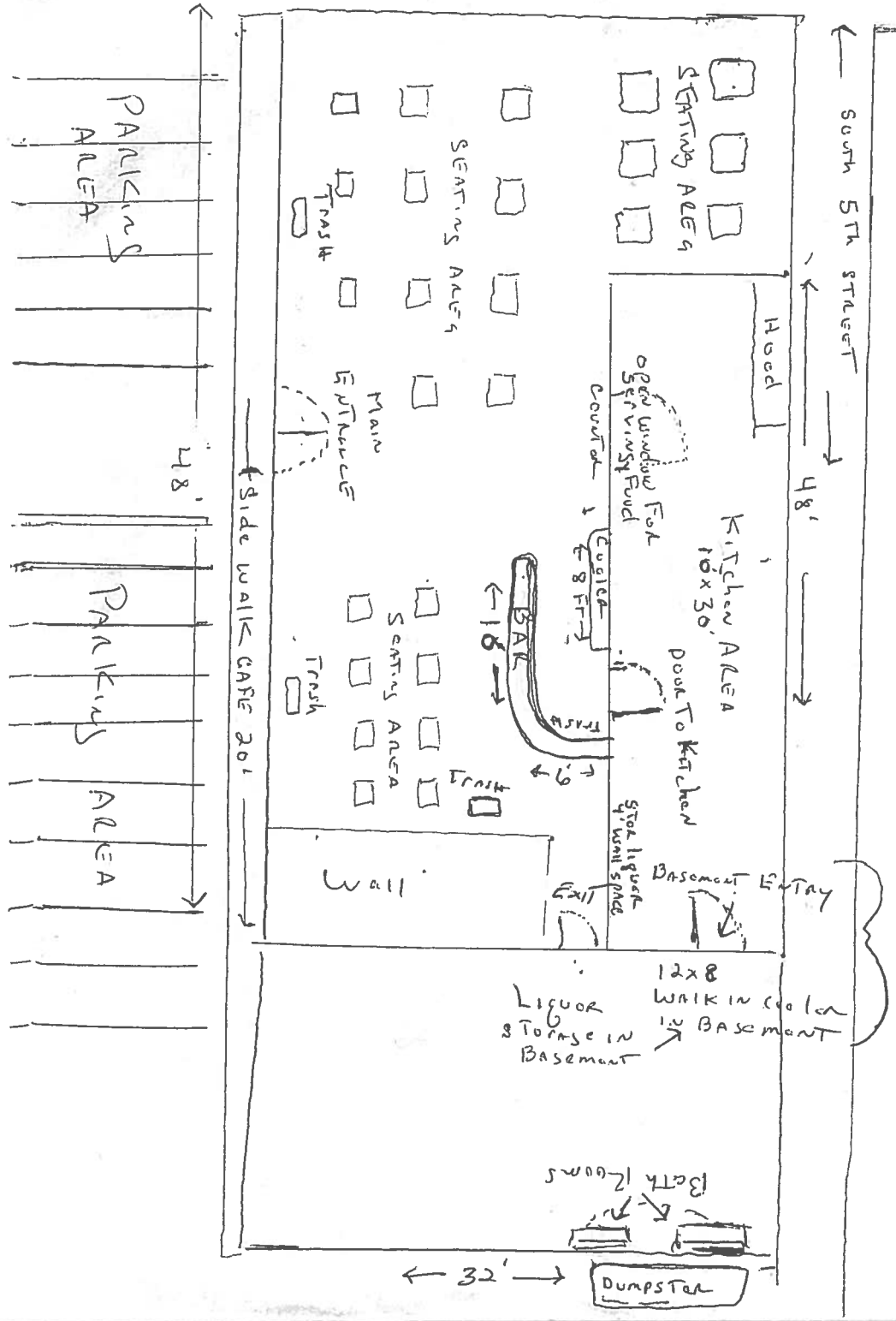
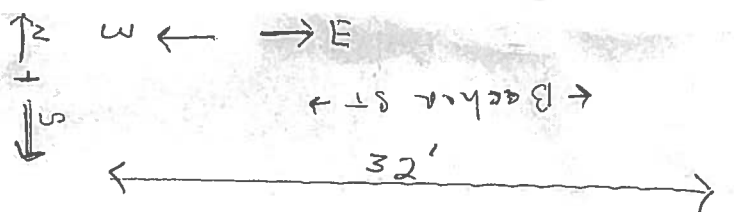
INCLUDES RICE, BEANS, AND PICO DE GALLO. (WITH CHOICE OF STEAK ADD \$2.00)

12. ENCHILADAS VERDES (3)
WHITE CHEESE WITH CHOICE OF CHICKEN, GROUND OR CHUNKY BEEF, PORK OR CHEESE & ONIONS.....\$10.95
13. ENCHILADAS (3)
CHOICE OF CHICKEN, GROUND OR CHUNKY BEEF, PORK OR CHEESE & ONIONS.....\$10.95
14. ENCHILADAS RANCHERAS (3) - CHICKEN OR CHEESE ENCHILADAS COVERED WITH CHILE GUAJILLO
AND TOPPED WITH LETTUCE, TOMATOES, AGED SHREDDED CHEESE & SPICES.....\$11.95
15. ENCHILADAS PLATTER (4) (ALL FOUR MOLES)
CHOICE OF CHICKEN OR BEEF (DOES NOT INCLUDE RICE, BEANS OR PICO DE GALLO).....\$11.95

SPECIALTIES

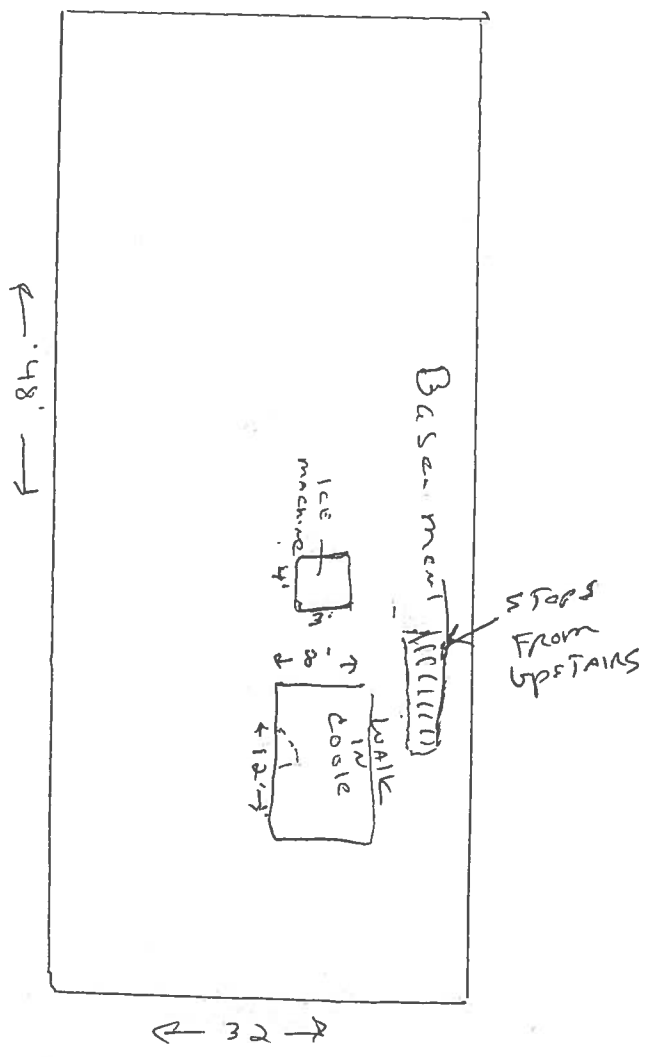
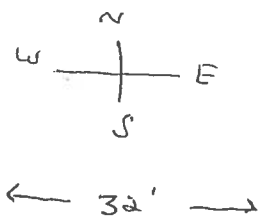
INCLUDES RICE, BEANS, & PICO DE GALLO. WITH CHOICE OF FLOUR OR CORN TORTILLA

- | | | |
|--|---|--|
| 16. PLATE LUNCH
CHOICE OF CHICKEN,
PORK OR CHUNKY BEEF.....\$9.95 | 18. TOSTADAS SUPREME (2)
CHOICE OF CHICKEN, PORK, CHUNKY OR
GROUND BEEF. WITH SOUR CREAM, GUACAMOLE,
BEANS, CHEESE, LETTUCE & TOMATOES.....\$9.25 | 20. FLAUTAS (3)
CHOICE OF CHICKEN, PORK OR
CHUNKY BEEF, GUACAMOLE &
SOUR CREAM.....\$9.25 |
| 17. EMPANADAS
CORN DOUGH, DEEP FRIED WITH
SHREDDED SPICY CHICKEN.
WITH RICE & BEANS.....\$10.95 | 19. SUPER BURRITO
CHOICE OF CHICKEN, PORK, CHUNKY OR
GROUND BEEF. WITH BEANS, CHEESE, LETTUCE
& TOMATOES. SOUR CREAM, GUACAMOLE ON THE SIDE.....\$9.25 | |



Thomas Holmes II AGAT
 "MonTerry"
 551 W Bacher St.
 11-9-15

TOTAL sq FT = 1536'



Thomas Holmes II Agent
 "Monterey"
 551 W Becher St.
 11-9-15

Total sq FT 1536



**CITY OF MILWAUKEE
OFFICE OF THE CITY CLERK**

Monday, May 23, 2016

COMMITTEE MEETING NOTICE

AD 14

LEET, Shawn T, Agent
Three Sheets LLC
2422 S Howell Av

Milwaukee, WI 53207

You are requested to attend a hearing which is to be held in Room 301-B, Third Floor, City Hall on:

Tuesday, May 31, 2016 at 01:30 PM

Regarding: Your Alcohol - Permanent Extension of Premise Application as agent for "Three Sheets LLC" for "The Stone" at 2422 S Howell Av.

There is a possibility that your application may be denied for one or more of the following reasons: you do not meet the statutory and municipal requirements; the fitness and appropriateness of the location to be licensed and whether the location will create undesirable neighborhood problems (such as disorderly congregations of people, excessive litter, unreasonable noise, and traffic and parking problems), whether or not there is an over-concentration of alcohol beverage establishments in the neighborhood; whether or not you have been charged with or convicted of any felony, misdemeanor, municipal offense or other offense, the circumstances of which substantially relate to the licensed activity; and any other factors which reasonably relate to the public health, safety and welfare. See attached police report and/or written correspondence regarding this application. Please be advised the public will be able to provide information to the committee in person or in writing. The committee will receive and consider evidence regarding the above mentioned criteria.

Notice for applicants with warrants or unpaid fines:

Proof of warrant satisfaction or payment of fines must be submitted at the hearing on the above date and time. Failure to comply with this requirement may result in a delay of the granting/denial of your application.

Failure to appear at this meeting may result in the denial of your license. Individual applicants must appear only in person or by an attorney. Corporate or Limited Liability applicants must appear only by the agent designated on the application or by an attorney. Partnership applicants must appear by a partner listed on the application or by an attorney. If you wish to do so and at your own expense, you may be accompanied by an attorney of your choosing to represent you at this hearing.

You will be given an opportunity to speak on behalf of the application and to respond and challenge any charges or reasons given for the denial. No petitions can be accepted by the committee, unless the people who signed the petition are present at the committee hearing and willing to testify. You may present witnesses under oath and you may also confront and cross-examine opposing witnesses under oath. If you have difficulty with the English language, you should bring an interpreter with you, at your expense, so that you can answer questions and participate in your hearing.

You may examine the application file at this office during regular business hours prior to the hearing date. Inquiries regarding this matter may be directed to the person whose signature appears below.

Limited parking for persons attending meetings in City Hall is available at reduced rates (5 hour limit) at the Milwaukee Center on the southwest corner of East Kilbourn and North Water Street. Parking tickets must be validated in the first floor information booth in City Hall.

PLEASE NOTE: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aids. For additional information or to request this service, contact the Council Services Division ADA Coordinator at (414) 286-2998, Fax - (414) 286-3456, TDD - (414) 286-2025.

JIM OWCZARSKI, CITY CLERK

BY: _____

Jason Schunk
License Division Manager

If you have questions regarding this notice, please contact the License Division at (414) 286-2238.



Monday, May 23, 2016



Notice of Public Hearing

LEET, Shawn T, Agent
The Stone at 2422 S Howell Av
Alcohol - Permanent Extension of Premise Application

Tuesday, May 31, 2016 at 1:30 PM

To whom it may concern:

The above application has been made by the above named applicant(s). This requires approval from the Licenses Committee and the Common Council of the City of Milwaukee. The hearing before the Licenses Committee will take place on 5/31/2016 at 1:30 PM, in Room 301-B, Third Floor, City Hall. If you wish, you may provide testimony at the hearing regarding the request; see below for further information. You are not required to attend the hearing. Once the Licenses Committee makes its recommendation, this recommendation is forwarded to the full Common Council for approval at its next regularly scheduled hearing. Please review the information below and if you have further questions regarding this process, please contact the License Division at (414) 286-2238.

Important details for those wishing to provide information for the Licenses Committee to consider when making its recommendation:

1. The license application is scheduled to be heard at the above time. Due to other hearings running longer than scheduled, you may have to wait some time to provide your testimony.
2. You must appear in person and testify as to matters that you have personally experienced or seen. (You cannot provide testimony for your neighbor, parent or anyone else; this is considered hearsay and cannot be considered by the committee.)
3. No letters or petitions can be accepted by the committee (unless the person who wrote the letter or the persons who signed the petition are present at the committee hearing and willing to testify).
4. Persons opposed to the license application are given the opportunity to testify first; supporters may testify after the opponents have finished.
5. When you are called to testify, you will be sworn in and asked to give your name, and address. (If your first and/or last names are uncommon please spell them.)
6. You may then provide testimony.
 - a. Include only information relating to the above license application.
 - b. Include only information you have personally witnessed or seen.
 - c. Provide concise and relevant information detailing how this business has affected or may affect the peaceful enjoyment of your neighborhood.
 - d. If by the time you have the opportunity to testify, the information you wish to share has already been provided to the committee, you may state that you agree with the previous testimony. Redundant or repetitive testimony will not assist the committee in making its recommendation.
7. After giving your testimony, the members of the Licenses Committee and the licensee may ask questions regarding the testimony you have given or other factors relating to the license application.
8. Business Competition is not a valid basis for denial or non-renewal of a license.
Please Note: If you have submitted an objection to the above application your objection cannot be considered by the committee unless you personally testify at the hearing.

OCCUPANT	MAIL ADDRESS	CITY AND ZIP CODE
CURRENT OCCUPANT	2415A S GRAHAM ST	MILWAUKEE, WI 53207-1617
CURRENT OCCUPANT	2424 S HOWELL AVE	MILWAUKEE, WI 53207-1603
CURRENT OCCUPANT	345 E SMITH ST	MILWAUKEE, WI 53207-1507
CURRENT OCCUPANT	2437 S HOWELL AVE	MILWAUKEE, WI 53207-1663
CURRENT OCCUPANT	2425 S HOWELL AVE	MILWAUKEE, WI 53207-1663
CURRENT OCCUPANT	2432 S HOWELL AVE	MILWAUKEE, WI 53207-1603
CURRENT OCCUPANT	420 E WILSON ST	MILWAUKEE, WI 53207-1634
CURRENT OCCUPANT	2415 S HOWELL AVE	MILWAUKEE, WI 53207-1663
CURRENT OCCUPANT	2427 S HOWELL AVE	MILWAUKEE, WI 53207-1663
CURRENT OCCUPANT	500 E WILSON ST	MILWAUKEE, WI 53207-1636
CURRENT OCCUPANT	2415 S GRAHAM ST	MILWAUKEE, WI 53207-1617
CURRENT OCCUPANT	425A E SMITH ST	MILWAUKEE, WI 53207-1606
CURRENT OCCUPANT	2418A S HOWELL AVE	MILWAUKEE, WI 53207-1603
CURRENT OCCUPANT	2379 S HOWELL AVE	MILWAUKEE, WI 53207-1601
CURRENT OCCUPANT	438A E WILSON ST	MILWAUKEE, WI 53207-1634
CURRENT OCCUPANT	2455 S GRAHAM ST	MILWAUKEE, WI 53207-1648
CURRENT OCCUPANT	425 E SMITH ST	MILWAUKEE, WI 53207-1606
CURRENT OCCUPANT	2438 S HOWELL AVE	MILWAUKEE, WI 53207-1603
CURRENT OCCUPANT	2447 S GRAHAM ST	MILWAUKEE, WI 53207-1648
CURRENT OCCUPANT	430 E WILSON ST	MILWAUKEE, WI 53207-1634
CURRENT OCCUPANT	433 E SMITH ST	MILWAUKEE, WI 53207-1606
CURRENT OCCUPANT	340 E WILSON ST C	MILWAUKEE, WI 53207-1509
CURRENT OCCUPANT	2455A S GRAHAM ST	MILWAUKEE, WI 53207-1648
CURRENT OCCUPANT	340B E WILSON ST	MILWAUKEE, WI 53207-1509
CURRENT OCCUPANT	424 E SMITH ST	MILWAUKEE, WI 53207-1607
CURRENT OCCUPANT	504 E WILSON ST	MILWAUKEE, WI 53207-1636
CURRENT OCCUPANT	2431 S HOWELL AVE	MILWAUKEE, WI 53207-1663
CURRENT OCCUPANT	2421 S HOWELL AVE	MILWAUKEE, WI 53207-1663
CURRENT OCCUPANT	502 E WILSON ST	MILWAUKEE, WI 53207-1636
CURRENT OCCUPANT	421 E WILSON ST	MILWAUKEE, WI 53207-1633
CURRENT OCCUPANT	2417 S HOWELL AVE	MILWAUKEE, WI 53207-1663
CURRENT OCCUPANT	2418 S HOWELL AVE	MILWAUKEE, WI 53207-1603
CURRENT OCCUPANT	2438A S HOWELL AVE	MILWAUKEE, WI 53207-1603
CURRENT OCCUPANT	361 E WILSON ST	MILWAUKEE, WI 53207-1571
CURRENT OCCUPANT	2400 S HOWELL AVE	MILWAUKEE, WI 53207-1603
CURRENT OCCUPANT	2454 S HOWELL AVE	MILWAUKEE, WI 53207-1637
CURRENT OCCUPANT	423 E WILSON ST	MILWAUKEE, WI 53207-1633
CURRENT OCCUPANT	2414A S HOWELL AVE	MILWAUKEE, WI 53207-1603
CURRENT OCCUPANT	2451 S HOWELL AVE	MILWAUKEE, WI 53207-1638
CURRENT OCCUPANT	2457A S HOWELL AVE	MILWAUKEE, WI 53207-1638
CURRENT OCCUPANT	434 E WILSON ST	MILWAUKEE, WI 53207-1634
CURRENT OCCUPANT	438 E WILSON ST	MILWAUKEE, WI 53207-1634
CURRENT OCCUPANT	2408 S HOWELL AVE	MILWAUKEE, WI 53207-1603
CURRENT OCCUPANT	2414 S HOWELL AVE	MILWAUKEE, WI 53207-1603
CURRENT OCCUPANT	2458 S HOWELL AVE	MILWAUKEE, WI 53207-1637
CURRENT OCCUPANT	340 E WILSON ST	MILWAUKEE, WI 53207-1509
CURRENT OCCUPANT	346 E WILSON ST	MILWAUKEE, WI 53207-1509
CURRENT OCCUPANT	431 E SMITH ST	MILWAUKEE, WI 53207-1606
CURRENT OCCUPANT	426 E SMITH ST	MILWAUKEE, WI 53207-1607
CURRENT OCCUPANT	340A E WILSON ST	MILWAUKEE, WI 53207-1509
CURRENT OCCUPANT	421 E SMITH ST	MILWAUKEE, WI 53207-1606
CURRENT OCCUPANT	2404 S HOWELL AVE	MILWAUKEE, WI 53207-1603
CURRENT OCCUPANT	349 E SMITH ST	MILWAUKEE, WI 53207-1507
CURRENT OCCUPANT	2429 S HOWELL AVE	MILWAUKEE, WI 53207-1663
CURRENT OCCUPANT	426 E WILSON ST	MILWAUKEE, WI 53207-1634

CURRENT OCCUPANT	2417A S HOWELL AVE	MILWAUKEE, WI 53207-1663
CURRENT OCCUPANT	426A E SMITH ST	MILWAUKEE, WI 53207-1607
CURRENT OCCUPANT	425B E SMITH ST	MILWAUKEE, WI 53207-1606
CURRENT OCCUPANT	506 E WILSON ST	MILWAUKEE, WI 53207-1636
CURRENT OCCUPANT	2424 S GRAHAM ST	MILWAUKEE, WI 53207-1618
CURRENT OCCUPANT	2419 S GRAHAM ST	MILWAUKEE, WI 53207-1617
CURRENT OCCUPANT	404 E SMITH ST	MILWAUKEE, WI 53207-1607
CURRENT OCCUPANT	2451 S GRAHAM ST	MILWAUKEE, WI 53207-1648
CURRENT OCCUPANT	2428 S HOWELL AVE	MILWAUKEE, WI 53207-1603
CURRENT OCCUPANT	2439 S HOWELL AVE	MILWAUKEE, WI 53207-1663
CURRENT OCCUPANT	2423 S HOWELL AVE	MILWAUKEE, WI 53207-1663
CURRENT OCCUPANT	506A E WILSON ST	MILWAUKEE, WI 53207-1636
CURRENT OCCUPANT	428 E WILSON ST	MILWAUKEE, WI 53207-1634

Total Records: 69

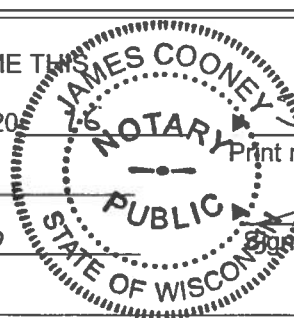
Radius: 250.0 feet and Center of Circle: 2422 S Howell AV



PERMANENT EXTENSION OF PREMISES APPLICATION FOOD AND ALCOHOL BEVERAGE ESTABLISHMENTS

OFFICE OF THE CITY CLERK LICENSE DIVISION
200 E. WELLS ST. ROOM 105, MILWAUKEE, WI 53202
(414) 286-2238 E-MAIL ADDRESS: LICENSE@MILWAUKEE.GOV
WWW.MILWAUKEE.GOV/LICENSE

Section A	Date of Application: <u>4-25-16</u>	Aldermanic District: <u>14</u>
	Licensee (list name of individual; partners, if partnership; or agent, if corporation or LLC): <u>Shawn Leet</u>	
	Corporation or LLC Name (if applicable): <u>Three Sheets LLC</u>	Business Name: <u>The Stone</u>
	Business Address (include city, state, zip): <u>2422 S. Howell Ave</u>	
	(Optional) Mailing Address (include city, state, zip):	Business Telephone Number: <u>414 483 3888</u>
Section B	This request is for the permanent extension of premise for a: <input type="checkbox"/> FOOD license <input checked="" type="checkbox"/> ALCOHOL license	
	Current Premises Description: <u>1st Floor inside only Basement Storage</u>	
	Identify the specific area(s) for which the permanent extension of premises is requested. Check (✓) all that apply, and list for each the relationship of the area to the premises (Example: north side, front, etc.)	
	<input type="checkbox"/> Sidewalk café (public sidewalk) at the _____ side of the premise in front of the following street address(es) _____ (area must be contiguous with licensed area and under the licensee's control) <input checked="" type="checkbox"/> Patio (^{paver} concrete surface) at the <u>back</u> side of the premise <input type="checkbox"/> Beer garden (soil/grass surface) at the _____ side of the premise <input type="checkbox"/> Deck (attached to building) at the _____ side of the premise <input type="checkbox"/> Addition to the <input type="checkbox"/> basement <input type="checkbox"/> 1 st floor <input type="checkbox"/> 2 nd floor <input type="checkbox"/> 3 rd floor <input type="checkbox"/> Other: _____ at the _____ (indicate location) of the premises. <input type="checkbox"/> Other: Describe proposed area(s) here ▶ _____	
	Does extension area have an additional street address? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, list address here ▶ _____	
List all type(s) of business(es) that will operate at this location? <input checked="" type="checkbox"/> Tavern <input type="checkbox"/> Restaurant <input type="checkbox"/> Other: Describe business here ▶ _____		
Section C	SUBSCRIBED & SWORN TO BEFORE ME THIS _____ day of _____, 20 <u>16</u>	
	<u>25th</u> day of <u>APRIL</u> , 20 <u>16</u>	<u>Shawn Leet</u> Print name of individual, partner, agent, officer, member
	Notary Public, State of Wisconsin My commission expires: <u>3-7-20</u>	Signature <u>[Signature]</u>
Notary Seal must be affixed		



Office Use Only:

Upon application queue to: DNS Health (food only) CC (food only)

Additional approval needed from DCD Hold – Sidewalk Cafes (sidewalk dining facility permit required)

Filed 4-25-16 Initials JAC Food Perm Ext App # _____ Alcohol Perm Ext App # 228767

Food Perm Ext Issued _____ Initials _____ Alcohol Perm Ext Issued _____ Initials _____

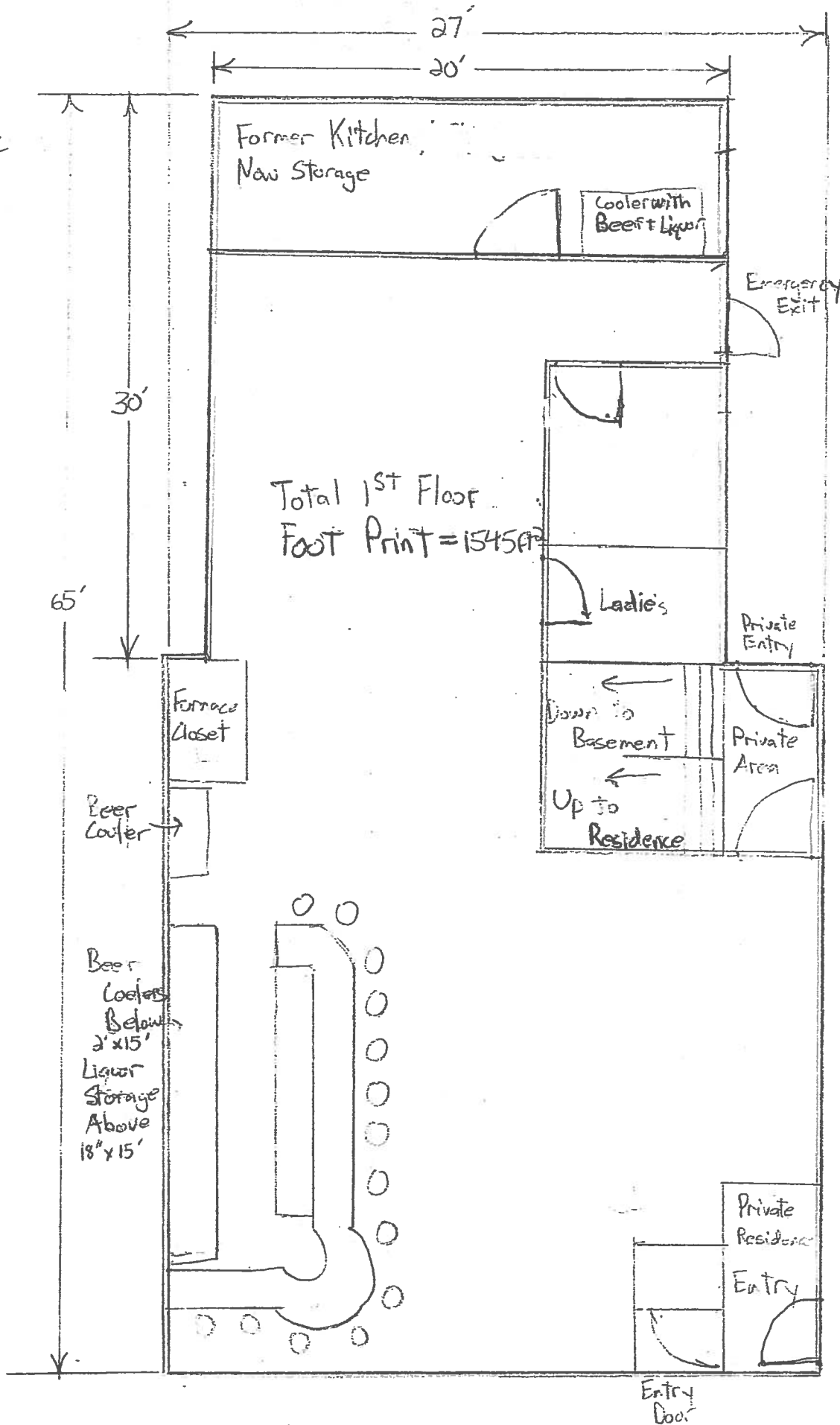
5/31 + Neighbors 1:30

4/29 hold



↑ Backyard ↑

Three Sheets 11c
2422 S. Howell Ave
DBA The Stone
Shawn Leatt

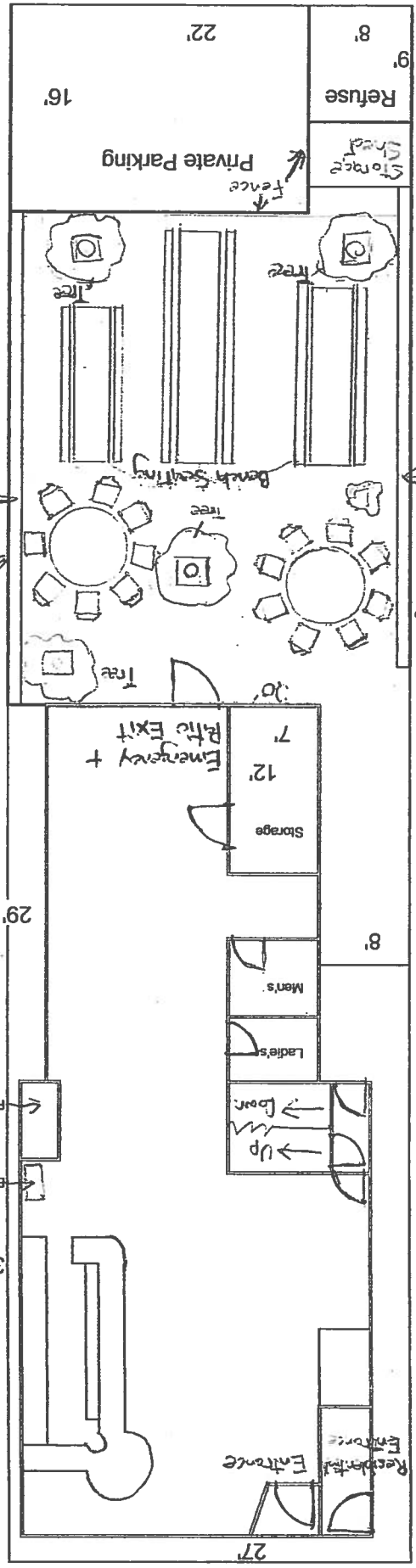


Existing Interior

Howell Ave

4/21/16

Three Sheets llc
2422 S Howell
DBA The Stone
Shawn Leet



N →

Beer Coolers Below
Liquor Above Beer Coolers
142sqft used by business

Property Line

Lot 120

Vegetation along
Fence

Fence

Vegetation along
Fence

Patio is 30'W x 38'D

Property Line

Howell Ave

Lot 30 Alley



**CITY OF MILWAUKEE
OFFICE OF THE CITY CLERK**

Monday, May 23, 2016

COMMITTEE MEETING NOTICE

AD 14

MICHALSKI, Rick A, Agent
Cupol Enterprises LLC
3825 S KINNICKINNIC Av

St Francis, WI 53235

You are requested to attend a hearing which is to be held in Room 301-B, Third Floor, City Hall on:

Tuesday, May 31, 2016 at 01:30 PM

Regarding: Your Class B Beer and Public Entertainment Premises License Renewal Applications Adding Instrumental Musicians, Bands, and Magic Shows as agent for "Cupol Enterprises LLC" for "St Francis Brewery & Restaurant" at 3000 S Howell Av.



There is a possibility that your application may be denied for one or more of the following reasons: failure of the applicant to meet the statutory and municipal license qualifications; pending charges against or the conviction of any felony, misdemeanor, municipal offense or other offense, the circumstances of which substantially relate to the circumstances of the particular licensed activity, on behalf of the licensee, his or her employes, or patrons (if the licensee is a corporation or licensed limited partnership, the conviction of the corporate agent, officers, directors, members or any shareholder holding 20% or more of the corporation's total or voting stock, or proxies for that amount of stock, of any of the offenses enumerated in s. 125.12(2)(ag), Wis. Stats., as amended); the appropriateness of tavern location and premises; neighborhood problems due to management or location; failure of the licensee to operate the premise in accordance with the floor plan and plan of operation submitted pursuant to s. 90-5-1-c. of the Milwaukee Code of Ordinances; and any factors which reasonably relate to the public health, safety and welfare. See attached police report and/or written correspondence regarding this application. Please be advised the public will be able to provide information to the committee in person. The committee will receive and consider evidence regarding the above mentioned criteria.

Notice for applicants with warrants or unpaid fines:

Proof of warrant satisfaction or payment of fines must be submitted at the hearing on the above date and time. Failure to comply with this requirement may result in a delay of the granting/denial of your application.

Failure to appear at this meeting may result in the denial of your license. Individual applicants must appear only in person or by an attorney. Corporate or Limited Liability applicants must appear only by the agent designated on the application or by an attorney. Partnership applicants must appear by a partner listed on the application or by an attorney. If you wish to do so and at your own expense, you may be accompanied by an attorney of your choosing to represent you at this hearing.

You will be given an opportunity to speak on behalf of the application and to respond and challenge any charges or reasons given for the denial. No petitions can be accepted by the committee, unless the people who signed the petition are present at the committee hearing and willing to testify. You may present witnesses under oath and you may also confront and cross-examine opposing witnesses under oath. If you have difficulty with the English language, you should bring an interpreter with you, at your expense, so that you can answer questions and participate in your hearing.

You may examine the application file at this office during regular business hours prior to the hearing date. Inquiries regarding this matter may be directed to the person whose signature appears below.

Limited parking for persons attending meetings in City Hall is available at reduced rates (5 hour limit) at the Milwaukee Center on the southwest corner of East Kilbourn and North Water Street. Parking tickets must be validated in the first floor information booth in City Hall.

PLEASE NOTE: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aids. For additional information or to request this service, contact the Council Services Division ADA Coordinator at (414) 286-2998, Fax - (414) 286-3456, TDD - (414) 286-2025.

JIM OWCZARSKI, CITY CLERK

BY:

Jason Schunk
License Division Manager

If you have questions regarding this notice, please contact the License Division at (414) 286-2238.

200 E. Wells Street, Room 105, City Hall, Milwaukee, WI 53202. www.milwaukee.gov/license
Phone: (414) 286-2238 Fax: (414) 286-3057 Email Address: License@milwaukee.gov

Kuether, Molly

From: Celella, Jessica
Sent: Monday, May 23, 2016 7:58 AM
To: Kuether, Molly; Koberstein, Jonathan
Subject: FW: St. Francis Brewery--3000 S Howell

REDACTED RECORD

Jonathan – please add.

Molly – can you be sure it's added to the paper file and he is noticed?

From: Schunk, Jason
Sent: Sunday, May 22, 2016 9:23 AM
To: Celella, Jessica
Subject: Fwd: St. Francis Brewery--3000 S Howell

Sent from my iPhone

Begin forwarded message:

From: "Zielinski, Tony" <tzieli@milwaukee.gov>
Date: May 21, 2016 at 11:06:30 PM CDT
To: "Schunk, Jason" <LICMGR@milwaukee.gov>
Cc: T Anthony Zielinski <tony.zielinski@rocketmail.com>
Subject: Re: St. Francis Brewery--3000 S Howell

Please put this in the file for the applicant listed below. The hours of the Humboldt Park Beer Garden are clearly stated to be daily noon to 9 pm. Clearly it should be closed at 9 pm. Taking a walk through the park and beer garden I saw a bartender selling a full stein of beer after 9 pm. Also, I saw a picnic table with people drinking beer out of beer steins right next to the baseball diamond far outside the boundaries of the beer garden. I just got back from my walk the beer garden has yet to close. There are still 50-100 people there. St. Francis Brewery needs to close at 9 pm. Beer serving should stop prior to 9. It also needs to keep it's beer confined to area behind the beer garden and that area doesn't extend to the baseball diamond. That was the agreement that pushed on us when the beer garden opened. They aren't keeping their end of the agreement.

Sent from my iPhone

On May 20, 2016, at 3:00 PM, Schunk, Jason <LICMGR@milwaukee.gov> wrote:

Alderman,

Here is the information that we discussed:

They currently have a PEP license which allows for polka bands 17 times per year. They have filed a renewal and are requesting to add instrumental musicians, bands, and magic shows to their license.

We will schedule for 5/31/16 with notice to neighbors.

Thanks for getting me in today!

Regards,

Jason

MILWAUKEE POLICE DEPARTMENT

LICENSING

CRIMINAL RECORD/ORDINANCE VIOLATION/INCIDENTS SYNOPSIS

DATE: 05/02/2016

LICENSE TYPE: Class B Tavern

NEW:

RENEWAL:

No. 229222

Application Date: 04/29/2016

License Location: 3000 S Howell Av

Business Name: Cupol Enterprises

Licensee/Applicant: MICHALSKI, Rick A
(Last Name, First Name, MI)

Date of Birth: 01/15/1953

Home Address: 4525 S Lawler Av

City: Cudahy

State: WI **Zip Code:** 53110

Home Phone:

This report is written by Police Officer David NOVAK, assigned to the License Investigation Unit, Days.

The Milwaukee Police Department's investigation regarding this application revealed the following:

1. On 09/03/2015 officers, along with agents from WI Department of Revenue, conducted a licensed premise of Humboldt Park Beer at 300 S Howell Av. The officers had received a complaint that the establishment was selling wine but was licensed with a Class B Beer license. The check revealed four employees on premise and none were licensed as a Class D Bartender. The manager Nicholas DILLON arrived on scene and acknowledged they had been selling wine since the fall of 2014. DOR Agents seized 20 cases of wine. The applicant was cited for Responsible Person on Premises Required and Liquor License Required.

Charge 1: Responsible Person on Premise

2: Responsible Person on Premise

Finding 1: Guilty

2: Guilty

Sentence 1: Fined \$500.00

2: Fined \$500.00

Date: 01/14/2016

Case 1: 15052091

2: 15052092

MILWAUKEE POLICE DEPARTMENT

REPORT OF INCIDENTS INVOLVING LICENSED PERSONS OR PREMISES

TO: Captain Diana ROWE

Business Name: St Francis Brewery & Restaurant
Address of Licensed Premises: 3000 S Howell Av
Business Phone: 414-744-4448

Type of License: Class B-Beer

District: 6

Violation / Incident #

Date of Incident: 09/03/15

Licensee or Manager on premises at time of violation / incident? Yes No

Licensee cooperative? Yes No (If no, explain in narrative section)

Licensee Notified by Officer: P.O. Kevin VODICKA

Date: 09/03/15

Time: 5:20 pm

Licensee or Agent's Name: Rick A MICHALSKI
Home Address: 4525 S Lawler Av. Cudahy, WI 53110

Date of Birth: 01/15/53
Home Phone: (414)322-0270

Co-Licensee Name:
Home Address:
Class S License Number:

Date of Birth:
Home Phone:

Bartender Name:
Home Address:
Class D License Number:

Date of Birth:
Home Phone:

Licensed Person / Public Pass. Vehicle, etc.:
Home Address:
Class D License Number:

Date of Birth:
Home Phone:

VIOLATION/INCIDENT - DESCRIBE FACTS AND CIRCUMSTANCES IN NARRATIVE SECTION

Name of Person Cited: Rick A MICHALSKI
Citation Number: 48986711033

Violation & Ord. / Statute No.: 90-8-1

Date of Birth: 01/15/53
Court Date: 10/21/15

Name of Person Cited: Rick A MICHALSKI
Citation Number: 48986711034

Violation & Ord. / Statute No.: 90-3-1

Date of Birth: 01/15/53
Court Date: 10/21/15

Name of Person Cited:
Citation Number:

Violation & Ord. / Statute No.:

Date of Birth:
Court Date:

Name of Person Cited:
Citation Number:

Violation & Ord. / Statute No.:

Date of Birth:
Court Date:

Name of Person Cited:
Citation Number:

Violation & Ord. / Statute No.:

Date of Birth:
Court Date:

Investigating Officer: P.O. Kevin VODICKA

District / Bureau: 22

Date: 09/09/15

Capt Diana Rowe
Commanding Officer

OCT 15 2015
Date

DISPOSITION - FOR LICENSING ONLY

Citation No.	Case Number	Disposition	Judge	UNIT	Date
			LICENSE INVESTIGATION UNIT		
		Received	<i>[Signature]</i>		
		Referred			
		By	<i>[Signature]</i>		

PA-33E Narrative

This report is written by P.O. Kevin VODICKA assigned to District Two, Early Shift Community Prosecution Unit. On Thursday, September 3, 2015, at or about 4:21 pm, while assigned to squad 2268 I assisted WI Department of Revenue Agents KING and MOREL with a licensed premises check at the Humboldt Park Beer Garden, located at 3000 S Howell Av, regarding a complaint that the premises was selling wine without having been issued the appropriate license (the premises was licensed as a "Class B-Beer" at the time of the inspection).

Upon arrival I observed three subjects tending the bar at the exterior of the location, later identified as the following:

Peter RYAN (M/W 11/10/63) of 687 S Parkside Dr. Round Lake, IL 60073 (651)269-4648 (IL ID)

John J KOSHICK (M/W 08/30/89) of 2427 S Howell Av Milwaukee, WI 53207 (414)651-7865 (WI ID)

Emilia MADRID (F/W 12/26/88) of 9808 W Tripoli Av Milwaukee, WI 53228 (702)509-3208 (NV ID)

And the manager of the premises:

Marcia KREIFELS (F/W 09/06/92) mailing address of 2549 N 32nd Rd Marseilles, IL 61341 (815)343-6829 (IL ID)

None of the above listed subjects possessed a City of Milwaukee "Class D bartender license" and KREIFELS did not possess a "Class M manager's license" and none of the licenses for the premises nor the occupancy were posted.

I informed KREIFELS that the premises could not operate as a tavern without a licensed person present. KREIFELS placed a call to her manager (Nicholas P DILLON (M/W 04/06/77) of 4661 N Elm Tree Rd Glendale, WI 53209) who arrived on-scene shortly thereafter. DILLON identified himself as the "Operating Manager" of St. Francis Brewery & Restaurant and acknowledged that the premises had wine on-hand and had been selling it since "Fall of 2014". DILLON also stated that no one currently employed by the brewery held a City of Milwaukee bartenders license. AGENT MOREL recovered and seized 8 cases of "Copa" .187ml servings from the exterior bar area and an additional 12 cases from the office area, totally 240 articles.

The agent for the premises, identified by WI DL as Rick A MICHALSKI (M/W 01/15/53) of 4525 S Lawler Av Cudahy, WI 53110 (414)744-4448, arrived on-scene in order to assist with the investigation and to supervise his employees. MICHALSKI and DILLON stated that they both believed the premises was licensed to sell wine, although the renewal application was for a "Class B Beer" only. I informed MICHALSKI that citations would be issued regarding this investigation. On 09/09/15 I did mail citations to MICHALSKI for "Responsible Person on Premises Required" and "Liquor License Required".



Monday, May 23, 2016



Notice of Public Hearing

MICHALSKI, Rick A, Agent
St Francis Brewery & Restaurant at 3000 S Howell Av
Class B Beer and Public Entertainment Premises License Renewal Applications Adding
Instrumental Musicians, Bands, and Magic Shows

Tuesday, May 31, 2016 at 1:30 PM

To whom it may concern:

The above application has been made by the above named applicant(s). This requires approval from the Licenses Committee and the Common Council of the City of Milwaukee. The hearing before the Licenses Committee will take place on 5/31/2016 at 1:30 PM, in Room 301-B, Third Floor, City Hall. If you wish, you may provide testimony at the hearing regarding the request; see below for further information. You are not required to attend the hearing. Once the Licenses Committee makes its recommendation, this recommendation is forwarded to the full Common Council for approval at its next regularly scheduled hearing. Please review the information below and if you have further questions regarding this process, please contact the License Division at (414) 286-2238.

Important details for those wishing to provide information for the Licenses Committee to consider when making its recommendation:

1. The license application is scheduled to be heard at the above time. Due to other hearings running longer than scheduled, you may have to wait some time to provide your testimony.
2. You must appear in person and testify as to matters that you have personally experienced or seen. (You cannot provide testimony for your neighbor, parent or anyone else; this is considered hearsay and cannot be considered by the committee.)
3. No letters or petitions can be accepted by the committee (unless the person who wrote the letter or the persons who signed the petition are present at the committee hearing and willing to testify).
4. Persons opposed to the license application are given the opportunity to testify first; supporters may testify after the opponents have finished.
5. When you are called to testify, you will be sworn in and asked to give your name, and address. (If your first and/or last names are uncommon please spell them.)
6. You may then provide testimony.
 - a. Include only information relating to the above license application.
 - b. Include only information you have personally witnessed or seen.
 - c. Provide concise and relevant information detailing how this business has affected or may affect the peaceful enjoyment of your neighborhood.
 - d. If by the time you have the opportunity to testify, the information you wish to share has already been provided to the committee, you may state that you agree with the previous testimony. Redundant or repetitive testimony will not assist the committee in making its recommendation.
7. After giving your testimony, the members of the Licenses Committee and the licensee may ask questions regarding the testimony you have given or other factors relating to the license application.
8. Business Competition is not a valid basis for denial or non-renewal of a license.
Please Note: If you have submitted an objection to the above application your objection cannot be considered by the committee unless you personally testify at the hearing.

OCCUPANT	MAIL ADDRESS	CITY AND ZIP CODE
CURRENT OCCUPANT	2841B S HOWELL AVE	MILWAUKEE, WI 53207-2082
CURRENT OCCUPANT	2949 S LENOX ST	MILWAUKEE, WI 53207-2415
CURRENT OCCUPANT	2957 S LENOX ST	MILWAUKEE, WI 53207-2415
CURRENT OCCUPANT	3021 S HERMAN ST	MILWAUKEE, WI 53207-2460
CURRENT OCCUPANT	3047 S HOWELL AVE 4	MILWAUKEE, WI 53207-2652
CURRENT OCCUPANT	348 E OKLAHOMA AVE 1	MILWAUKEE, WI 53207-2631
CURRENT OCCUPANT	2961 S HERMAN ST	MILWAUKEE, WI 53207-2471
CURRENT OCCUPANT	3114 S TAYLOR AVE	MILWAUKEE, WI 53207-2724
CURRENT OCCUPANT	2952A S LOGAN AVE	MILWAUKEE, WI 53207-2466
CURRENT OCCUPANT	2935 S LOGAN AVE	MILWAUKEE, WI 53207-2417
CURRENT OCCUPANT	356 E OKLAHOMA AVE 3	MILWAUKEE, WI 53207-2631
CURRENT OCCUPANT	1019 E IDAHO ST	MILWAUKEE, WI 53207-2409
CURRENT OCCUPANT	2991 S HERMAN ST	MILWAUKEE, WI 53207-2471
CURRENT OCCUPANT	2835 S HOWELL AVE	MILWAUKEE, WI 53207-2082
CURRENT OCCUPANT	2781 S TAYLOR AVE	MILWAUKEE, WI 53207-2149
CURRENT OCCUPANT	2760 S HOWELL AVE	MILWAUKEE, WI 53207-2072
CURRENT OCCUPANT	2773 S HUMBOLDT PARK CT	MILWAUKEE, WI 53207-2161
CURRENT OCCUPANT	2819 S LENOX ST	MILWAUKEE, WI 53207-2211
CURRENT OCCUPANT	3120 S QUINCY AVE	MILWAUKEE, WI 53207-2718
CURRENT OCCUPANT	2805 S HOWELL AVE	MILWAUKEE, WI 53207-2053
CURRENT OCCUPANT	370 E SCHILLER ST	MILWAUKEE, WI 53207-2020
CURRENT OCCUPANT	2916 S PINE AVE	MILWAUKEE, WI 53207-2419
CURRENT OCCUPANT	2977A S HERMAN ST	MILWAUKEE, WI 53207-2471
CURRENT OCCUPANT	2981 S HERMAN ST	MILWAUKEE, WI 53207-2471
CURRENT OCCUPANT	1020A E MANITOBA ST	MILWAUKEE, WI 53207-2445
CURRENT OCCUPANT	355 E SCHILLER ST	MILWAUKEE, WI 53207-2019
CURRENT OCCUPANT	355A E SCHILLER ST	MILWAUKEE, WI 53207-2019
CURRENT OCCUPANT	2927 S LOGAN AVE	MILWAUKEE, WI 53207-2417
CURRENT OCCUPANT	2929A S LENOX ST	MILWAUKEE, WI 53207-2415
CURRENT OCCUPANT	2951 S LENOX ST	MILWAUKEE, WI 53207-2415
CURRENT OCCUPANT	2982 S LOGAN AVE	MILWAUKEE, WI 53207-2466
CURRENT OCCUPANT	2964 S LOGAN AVE	MILWAUKEE, WI 53207-2466
CURRENT OCCUPANT	2948 S LOGAN AVE	MILWAUKEE, WI 53207-2466
CURRENT OCCUPANT	2776 S QUINCY AVE	MILWAUKEE, WI 53207-2142
CURRENT OCCUPANT	2756 S QUINCY AVE	MILWAUKEE, WI 53207-2142
CURRENT OCCUPANT	2765 S QUINCY AVE	MILWAUKEE, WI 53207-2141
CURRENT OCCUPANT	2771 S QUINCY AVE	MILWAUKEE, WI 53207-2141
CURRENT OCCUPANT	2770 S ADAMS AVE	MILWAUKEE, WI 53207-2129
CURRENT OCCUPANT	3018 S LOGAN AVE	MILWAUKEE, WI 53207-2462
CURRENT OCCUPANT	3020 S LOGAN AVE	MILWAUKEE, WI 53207-2462
CURRENT OCCUPANT	2847 S LENOX ST	MILWAUKEE, WI 53207-2211
CURRENT OCCUPANT	513 E OKLAHOMA AVE	MILWAUKEE, WI 53207-2402
CURRENT OCCUPANT	613 E OKLAHOMA AVE A	MILWAUKEE, WI 53207-2403
CURRENT OCCUPANT	609A E OKLAHOMA AVE	MILWAUKEE, WI 53207-2403
CURRENT OCCUPANT	601A E OKLAHOMA AVE	MILWAUKEE, WI 53207-2403
CURRENT OCCUPANT	3119A S LENOX ST	MILWAUKEE, WI 53207-2805
CURRENT OCCUPANT	3104A S GRIFFIN AVE	MILWAUKEE, WI 53207-2736
CURRENT OCCUPANT	370 E MANITOBA ST	MILWAUKEE, WI 53207-2058
CURRENT OCCUPANT	2921 S LENOX ST	MILWAUKEE, WI 53207-2415
CURRENT OCCUPANT	2775 S HOWELL AVE	MILWAUKEE, WI 53207-2071
CURRENT OCCUPANT	2837 S LENOX ST	MILWAUKEE, WI 53207-2211
CURRENT OCCUPANT	812 E DAKOTA ST	MILWAUKEE, WI 53207-2206
CURRENT OCCUPANT	2814 S PINE AVE	MILWAUKEE, WI 53207-2221
CURRENT OCCUPANT	3047 S HOWELL AVE 6	MILWAUKEE, WI 53207-2652
CURRENT OCCUPANT	3069 S HOWELL AVE 6	MILWAUKEE, WI 53207-2652

CURRENT OCCUPANT	356 E OKLAHOMA AVE 8	MILWAUKEE, WI 53207-2631
CURRENT OCCUPANT	2905 S HOWELL AVE	MILWAUKEE, WI 53207-2054
CURRENT OCCUPANT	2977 S HERMAN ST	MILWAUKEE, WI 53207-2471
CURRENT OCCUPANT	1006 E MANITOBA ST	MILWAUKEE, WI 53207-2445
CURRENT OCCUPANT	358A E SCHILLER ST	MILWAUKEE, WI 53207-2020
CURRENT OCCUPANT	2915 S HOWELL AVE	MILWAUKEE, WI 53207-2054
CURRENT OCCUPANT	2932 S LOGAN AVE	MILWAUKEE, WI 53207-2418
CURRENT OCCUPANT	3120 S GRIFFIN AVE	MILWAUKEE, WI 53207-2736
CURRENT OCCUPANT	923 E OKLAHOMA AVE	MILWAUKEE, WI 53207-2406
CURRENT OCCUPANT	801 E OKLAHOMA AVE	MILWAUKEE, WI 53207-2405
CURRENT OCCUPANT	3059 S HOWELL AVE 7	MILWAUKEE, WI 53207-2652
CURRENT OCCUPANT	348 E OKLAHOMA AVE 2	MILWAUKEE, WI 53207-2631
CURRENT OCCUPANT	2914 S PINE AVE	MILWAUKEE, WI 53207-2419
CURRENT OCCUPANT	2967 S HERMAN ST	MILWAUKEE, WI 53207-2471
CURRENT OCCUPANT	1007 E MANITOBA ST	MILWAUKEE, WI 53207-2444
CURRENT OCCUPANT	360 E DEWEY PL	MILWAUKEE, WI 53207-2044
CURRENT OCCUPANT	1020 E IDAHO ST	MILWAUKEE, WI 53207-2410
CURRENT OCCUPANT	351 E OKLAHOMA AVE	MILWAUKEE, WI 53207-2653
CURRENT OCCUPANT	809 E OKLAHOMA AVE	MILWAUKEE, WI 53207-2405
CURRENT OCCUPANT	2954 S PINE AVE	MILWAUKEE, WI 53207-2419
CURRENT OCCUPANT	408 E MONTANA ST	MILWAUKEE, WI 53207-2111
CURRENT OCCUPANT	2924 S LOGAN AVE	MILWAUKEE, WI 53207-2418
CURRENT OCCUPANT	2919A S LENOX ST	MILWAUKEE, WI 53207-2415
CURRENT OCCUPANT	2935 S LENOX ST	MILWAUKEE, WI 53207-2415
CURRENT OCCUPANT	2783A S HOWELL AVE	MILWAUKEE, WI 53207-2071
CURRENT OCCUPANT	2970 S LOGAN AVE	MILWAUKEE, WI 53207-2466
CURRENT OCCUPANT	2972 S LOGAN AVE	MILWAUKEE, WI 53207-2466
CURRENT OCCUPANT	2960 S LOGAN AVE	MILWAUKEE, WI 53207-2466
CURRENT OCCUPANT	2956 S LOGAN AVE	MILWAUKEE, WI 53207-2466
CURRENT OCCUPANT	2755A S TAYLOR AVE	MILWAUKEE, WI 53207-2149
CURRENT OCCUPANT	2755 S QUINCY AVE	MILWAUKEE, WI 53207-2141
CURRENT OCCUPANT	2755A S QUINCY AVE	MILWAUKEE, WI 53207-2141
CURRENT OCCUPANT	2768 S ADAMS AVE	MILWAUKEE, WI 53207-2129
CURRENT OCCUPANT	2762 S ADAMS AVE	MILWAUKEE, WI 53207-2129
CURRENT OCCUPANT	2811 S LENOX ST	MILWAUKEE, WI 53207-2211
CURRENT OCCUPANT	631 E OKLAHOMA AVE	MILWAUKEE, WI 53207-2403
CURRENT OCCUPANT	421 E OKLAHOMA AVE	MILWAUKEE, WI 53207-2465
CURRENT OCCUPANT	3113A S ADAMS AVE	MILWAUKEE, WI 53207-2703
CURRENT OCCUPANT	2841A S HOWELL AVE	MILWAUKEE, WI 53207-2082
CURRENT OCCUPANT	2995 S HOWELL AVE	MILWAUKEE, WI 53207-2083
CURRENT OCCUPANT	908 E IDAHO ST	MILWAUKEE, WI 53207-2408
CURRENT OCCUPANT	2934A S LENOX ST	MILWAUKEE, WI 53207-2416
CURRENT OCCUPANT	355 E MONTANA ST	MILWAUKEE, WI 53207-2017
CURRENT OCCUPANT	2801 S LENOX ST	MILWAUKEE, WI 53207-2211
CURRENT OCCUPANT	2834 S PINE AVE	MILWAUKEE, WI 53207-2221
CURRENT OCCUPANT	2834A S PINE AVE	MILWAUKEE, WI 53207-2221
CURRENT OCCUPANT	3047 S HOWELL AVE 7	MILWAUKEE, WI 53207-2652
CURRENT OCCUPANT	3047 S HOWELL AVE 5	MILWAUKEE, WI 53207-2652
CURRENT OCCUPANT	356 E OKLAHOMA AVE 6	MILWAUKEE, WI 53207-2631
CURRENT OCCUPANT	2921 S HOWELL AVE	MILWAUKEE, WI 53207-2054
CURRENT OCCUPANT	359 E SCHILLER ST	MILWAUKEE, WI 53207-2019
CURRENT OCCUPANT	2853 S HOWELL AVE	MILWAUKEE, WI 53207-2082
CURRENT OCCUPANT	3108 S ADAMS AVE	MILWAUKEE, WI 53207-2704
CURRENT OCCUPANT	2934 S LOGAN AVE	MILWAUKEE, WI 53207-2418
CURRENT OCCUPANT	356 E OKLAHOMA AVE 1	MILWAUKEE, WI 53207-2631
CURRENT OCCUPANT	348 E OKLAHOMA AVE 6	MILWAUKEE, WI 53207-2631

CURRENT OCCUPANT	2779 S HOWELL AVE	MILWAUKEE, WI 53207-2071
CURRENT OCCUPANT	1025 E IDAHO ST	MILWAUKEE, WI 53207-2409
CURRENT OCCUPANT	2985 S HERMAN ST	MILWAUKEE, WI 53207-2471
CURRENT OCCUPANT	2995 S HERMAN ST	MILWAUKEE, WI 53207-2471
CURRENT OCCUPANT	3001 S HOWELL AVE	MILWAUKEE, WI 53207-2623
CURRENT OCCUPANT	3017 S HOWELL AVE	MILWAUKEE, WI 53207-2623
CURRENT OCCUPANT	3021 S HOWELL AVE	MILWAUKEE, WI 53207-2623
CURRENT OCCUPANT	3031 S HOWELL AVE	MILWAUKEE, WI 53207-2623
CURRENT OCCUPANT	520 E MONTANA ST	MILWAUKEE, WI 53207-2132
CURRENT OCCUPANT	2771 S TAYLOR AVE	MILWAUKEE, WI 53207-2149
CURRENT OCCUPANT	2765 S HUMBOLDT PARK CT	MILWAUKEE, WI 53207-2161
CURRENT OCCUPANT	353 E OKLAHOMA AVE	MILWAUKEE, WI 53207-2653
CURRENT OCCUPANT	2942 S LENOX ST	MILWAUKEE, WI 53207-2416
CURRENT OCCUPANT	3108 S GRIFFIN AVE	MILWAUKEE, WI 53207-2736
CURRENT OCCUPANT	709 E OKLAHOMA AVE	MILWAUKEE, WI 53207-2404
CURRENT OCCUPANT	2926 S LOGAN AVE	MILWAUKEE, WI 53207-2418
CURRENT OCCUPANT	2928 S PINE AVE	MILWAUKEE, WI 53207-2419
CURRENT OCCUPANT	359A E SCHILLER ST	MILWAUKEE, WI 53207-2019
CURRENT OCCUPANT	2929A S LOGAN AVE	MILWAUKEE, WI 53207-2417
CURRENT OCCUPANT	2947 S LOGAN AVE	MILWAUKEE, WI 53207-2417
CURRENT OCCUPANT	2929 S LENOX ST	MILWAUKEE, WI 53207-2415
CURRENT OCCUPANT	2940 S PINE AVE	MILWAUKEE, WI 53207-2419
CURRENT OCCUPANT	2783 S HOWELL AVE	MILWAUKEE, WI 53207-2071
CURRENT OCCUPANT	2911A S HOWELL AVE	MILWAUKEE, WI 53207-2054
CURRENT OCCUPANT	3006 S LOGAN AVE	MILWAUKEE, WI 53207-2462
CURRENT OCCUPANT	2991 S HOWELL AVE	MILWAUKEE, WI 53207-2083
CURRENT OCCUPANT	2828A S PINE AVE	MILWAUKEE, WI 53207-2221
CURRENT OCCUPANT	2820A S PINE AVE	MILWAUKEE, WI 53207-2221
CURRENT OCCUPANT	513A E OKLAHOMA AVE	MILWAUKEE, WI 53207-2402
CURRENT OCCUPANT	3115 S TAYLOR AVE	MILWAUKEE, WI 53207-2723
CURRENT OCCUPANT	823 E OKLAHOMA AVE	MILWAUKEE, WI 53207-2405
CURRENT OCCUPANT	803 E OKLAHOMA AVE	MILWAUKEE, WI 53207-2405
CURRENT OCCUPANT	2993 S HOWELL AVE	MILWAUKEE, WI 53207-2083
CURRENT OCCUPANT	2915 S LENOX ST	MILWAUKEE, WI 53207-2415
CURRENT OCCUPANT	2778 S ADAMS AVE	MILWAUKEE, WI 53207-2129
CURRENT OCCUPANT	3012 S LOGAN AVE	MILWAUKEE, WI 53207-2462
CURRENT OCCUPANT	3059 S HOWELL AVE 4	MILWAUKEE, WI 53207-2652
CURRENT OCCUPANT	356 E OKLAHOMA AVE 7	MILWAUKEE, WI 53207-2631
CURRENT OCCUPANT	2813 S HOWELL AVE	MILWAUKEE, WI 53207-2053
CURRENT OCCUPANT	358 E SCHILLER ST	MILWAUKEE, WI 53207-2020
CURRENT OCCUPANT	360 E SCHILLER ST	MILWAUKEE, WI 53207-2020
CURRENT OCCUPANT	354 E SCHILLER ST	MILWAUKEE, WI 53207-2020
CURRENT OCCUPANT	2829 S HOWELL AVE	MILWAUKEE, WI 53207-2082
CURRENT OCCUPANT	2974 S LOGAN AVE	MILWAUKEE, WI 53207-2466
CURRENT OCCUPANT	2762 S QUINCY AVE	MILWAUKEE, WI 53207-2142
CURRENT OCCUPANT	723 E OKLAHOMA AVE	MILWAUKEE, WI 53207-2404
CURRENT OCCUPANT	625 E OKLAHOMA AVE	MILWAUKEE, WI 53207-2403
CURRENT OCCUPANT	2954A S LOGAN AVE	MILWAUKEE, WI 53207-2466
CURRENT OCCUPANT	3059 S HOWELL AVE 6	MILWAUKEE, WI 53207-2652
CURRENT OCCUPANT	3071 S HOWELL AVE 1	MILWAUKEE, WI 53207-2652
CURRENT OCCUPANT	2787 S HOWELL AVE	MILWAUKEE, WI 53207-2071
CURRENT OCCUPANT	359 E MONTANA ST	MILWAUKEE, WI 53207-2017
CURRENT OCCUPANT	2963 S HERMAN ST	MILWAUKEE, WI 53207-2471
CURRENT OCCUPANT	358 E GAUER CIR	MILWAUKEE, WI 53207-2622
CURRENT OCCUPANT	3034 S LOGAN AVE	MILWAUKEE, WI 53207-2462
CURRENT OCCUPANT	2764 S HOWELL AVE	MILWAUKEE, WI 53207-2072

CURRENT OCCUPANT	2806 S PINE AVE	MILWAUKEE, WI 53207-2221
CURRENT OCCUPANT	2831 S LENOX ST	MILWAUKEE, WI 53207-2211
CURRENT OCCUPANT	2851 S LENOX ST	MILWAUKEE, WI 53207-2211
CURRENT OCCUPANT	806 E DAKOTA ST	MILWAUKEE, WI 53207-2206
CURRENT OCCUPANT	3117 S LOGAN AVE	MILWAUKEE, WI 53207-2853
CURRENT OCCUPANT	507 E OKLAHOMA AVE	MILWAUKEE, WI 53207-2402
CURRENT OCCUPANT	833 E OKLAHOMA AVE	MILWAUKEE, WI 53207-2405
CURRENT OCCUPANT	2947 S LENOX ST	MILWAUKEE, WI 53207-2415
CURRENT OCCUPANT	3117 S ADAMS AVE	MILWAUKEE, WI 53207-2703
CURRENT OCCUPANT	703 E OKLAHOMA AVE	MILWAUKEE, WI 53207-2404
CURRENT OCCUPANT	719 E OKLAHOMA AVE	MILWAUKEE, WI 53207-2404
CURRENT OCCUPANT	3115 S PINE AVE	MILWAUKEE, WI 53207-2815
CURRENT OCCUPANT	2945 S LOGAN AVE	MILWAUKEE, WI 53207-2417
CURRENT OCCUPANT	2919 S LENOX ST	MILWAUKEE, WI 53207-2415
CURRENT OCCUPANT	2945A S LENOX ST	MILWAUKEE, WI 53207-2415
CURRENT OCCUPANT	2905A S HOWELL AVE	MILWAUKEE, WI 53207-2054
CURRENT OCCUPANT	2976 S LOGAN AVE	MILWAUKEE, WI 53207-2466
CURRENT OCCUPANT	2966 S LOGAN AVE	MILWAUKEE, WI 53207-2466
CURRENT OCCUPANT	3013 S HERMAN ST	MILWAUKEE, WI 53207-2460
CURRENT OCCUPANT	3031 S HERMAN ST	MILWAUKEE, WI 53207-2460
CURRENT OCCUPANT	2762A S ADAMS AVE	MILWAUKEE, WI 53207-2129
CURRENT OCCUPANT	2757 S ADAMS AVE	MILWAUKEE, WI 53207-2164
CURRENT OCCUPANT	2772 S HUMBOLDT PARK CT	MILWAUKEE, WI 53207-2162
CURRENT OCCUPANT	2779 S HUMBOLDT PARK CT	MILWAUKEE, WI 53207-2161
CURRENT OCCUPANT	3113A S TAYLOR AVE	MILWAUKEE, WI 53207-2723
CURRENT OCCUPANT	3119 S LENOX ST	MILWAUKEE, WI 53207-2805
CURRENT OCCUPANT	713 E OKLAHOMA AVE	MILWAUKEE, WI 53207-2404
CURRENT OCCUPANT	368 E MANITOBA ST	MILWAUKEE, WI 53207-2058
CURRENT OCCUPANT	2857C S HOWELL AVE	MILWAUKEE, WI 53207-2082
CURRENT OCCUPANT	3011 S HOWELL AVE	MILWAUKEE, WI 53207-2623
CURRENT OCCUPANT	2931 S LOGAN AVE	MILWAUKEE, WI 53207-2417
CURRENT OCCUPANT	829A E DAKOTA ST	MILWAUKEE, WI 53207-2205
CURRENT OCCUPANT	3027 S HERMAN ST	MILWAUKEE, WI 53207-2460
CURRENT OCCUPANT	2758 S ADAMS AVE	MILWAUKEE, WI 53207-2129
CURRENT OCCUPANT	434 E MONTANA ST	MILWAUKEE, WI 53207-2163
CURRENT OCCUPANT	2759 S HUMBOLDT PARK CT	MILWAUKEE, WI 53207-2161
CURRENT OCCUPANT	2779A S HUMBOLDT PARK CT	MILWAUKEE, WI 53207-2161
CURRENT OCCUPANT	2857A S HOWELL AVE	MILWAUKEE, WI 53207-2082
CURRENT OCCUPANT	2930 S PINE AVE	MILWAUKEE, WI 53207-2419
CURRENT OCCUPANT	2805A S HOWELL AVE	MILWAUKEE, WI 53207-2053
CURRENT OCCUPANT	2756 S HOWELL AVE	MILWAUKEE, WI 53207-2072
CURRENT OCCUPANT	2800 S PINE AVE	MILWAUKEE, WI 53207-2221
CURRENT OCCUPANT	2923 S HOWELL AVE	MILWAUKEE, WI 53207-2054
CURRENT OCCUPANT	2849 S HOWELL AVE	MILWAUKEE, WI 53207-2082
CURRENT OCCUPANT	2940 S LOGAN AVE	MILWAUKEE, WI 53207-2418
CURRENT OCCUPANT	2954 S LOGAN AVE	MILWAUKEE, WI 53207-2466
CURRENT OCCUPANT	2755 S TAYLOR AVE	MILWAUKEE, WI 53207-2149
CURRENT OCCUPANT	3107 S ADAMS AVE	MILWAUKEE, WI 53207-2703
CURRENT OCCUPANT	3113 S ADAMS AVE	MILWAUKEE, WI 53207-2703
CURRENT OCCUPANT	613 E OKLAHOMA AVE	MILWAUKEE, WI 53207-2403
CURRENT OCCUPANT	601 E OKLAHOMA AVE	MILWAUKEE, WI 53207-2403
CURRENT OCCUPANT	619 E OKLAHOMA AVE	MILWAUKEE, WI 53207-2403
CURRENT OCCUPANT	3121 S TAYLOR AVE	MILWAUKEE, WI 53207-2723
CURRENT OCCUPANT	815 E OKLAHOMA AVE	MILWAUKEE, WI 53207-2405
CURRENT OCCUPANT	935 E OKLAHOMA AVE 3	MILWAUKEE, WI 53207-2406
CURRENT OCCUPANT	3059 S HOWELL AVE 2	MILWAUKEE, WI 53207-2652

CURRENT OCCUPANT	3069 S HOWELL AVE 2	MILWAUKEE, WI 53207-2652
CURRENT OCCUPANT	3069 S HOWELL AVE 4	MILWAUKEE, WI 53207-2652
CURRENT OCCUPANT	356 E OKLAHOMA AVE 5	MILWAUKEE, WI 53207-2631
CURRENT OCCUPANT	348 E OKLAHOMA AVE 4	MILWAUKEE, WI 53207-2631
CURRENT OCCUPANT	1021 E MANITOBA ST	MILWAUKEE, WI 53207-2444
CURRENT OCCUPANT	528 E MONTANA ST	MILWAUKEE, WI 53207-2132
CURRENT OCCUPANT	2759 S TAYLOR AVE	MILWAUKEE, WI 53207-2149
CURRENT OCCUPANT	3032 S LOGAN AVE	MILWAUKEE, WI 53207-2462
CURRENT OCCUPANT	2769 S ADAMS AVE	MILWAUKEE, WI 53207-2164
CURRENT OCCUPANT	2769 S HUMBOLDT PARK CT	MILWAUKEE, WI 53207-2161
CURRENT OCCUPANT	2917 S HOWELL AVE	MILWAUKEE, WI 53207-2054
CURRENT OCCUPANT	3116 S QUINCY AVE	MILWAUKEE, WI 53207-2718
CURRENT OCCUPANT	2948 S LENOX ST	MILWAUKEE, WI 53207-2416
CURRENT OCCUPANT	433 E OKLAHOMA AVE	MILWAUKEE, WI 53207-2465
CURRENT OCCUPANT	731 E OKLAHOMA AVE	MILWAUKEE, WI 53207-2404
CURRENT OCCUPANT	2759 S HOWELL AVE	MILWAUKEE, WI 53207-2013
CURRENT OCCUPANT	829 E DAKOTA ST	MILWAUKEE, WI 53207-2205
CURRENT OCCUPANT	2948 S PINE AVE	MILWAUKEE, WI 53207-2419
CURRENT OCCUPANT	2934 S PINE AVE	MILWAUKEE, WI 53207-2419
CURRENT OCCUPANT	2849B S HOWELL AVE	MILWAUKEE, WI 53207-2082
CURRENT OCCUPANT	2911 S HOWELL AVE	MILWAUKEE, WI 53207-2054
CURRENT OCCUPANT	2984 S LOGAN AVE	MILWAUKEE, WI 53207-2466
CURRENT OCCUPANT	2980 S LOGAN AVE	MILWAUKEE, WI 53207-2466
CURRENT OCCUPANT	3031A S HERMAN ST	MILWAUKEE, WI 53207-2460
CURRENT OCCUPANT	2763 S QUINCY AVE	MILWAUKEE, WI 53207-2141
CURRENT OCCUPANT	2763 S ADAMS AVE	MILWAUKEE, WI 53207-2164
CURRENT OCCUPANT	2845 S LENOX ST	MILWAUKEE, WI 53207-2211
CURRENT OCCUPANT	2816 S PINE AVE	MILWAUKEE, WI 53207-2221
CURRENT OCCUPANT	2810A S PINE AVE	MILWAUKEE, WI 53207-2221
CURRENT OCCUPANT	501 E OKLAHOMA AVE	MILWAUKEE, WI 53207-2402
CURRENT OCCUPANT	3104 S GRIFFIN AVE	MILWAUKEE, WI 53207-2736
CURRENT OCCUPANT	2929 S LOGAN AVE	MILWAUKEE, WI 53207-2417
CURRENT OCCUPANT	2761 S QUINCY AVE	MILWAUKEE, WI 53207-2141
CURRENT OCCUPANT	2846 S PINE AVE	MILWAUKEE, WI 53207-2221
CURRENT OCCUPANT	3047 S HOWELL AVE 1	MILWAUKEE, WI 53207-2652
CURRENT OCCUPANT	3047 S HOWELL AVE 8	MILWAUKEE, WI 53207-2652
CURRENT OCCUPANT	2922 S PINE AVE	MILWAUKEE, WI 53207-2419
CURRENT OCCUPANT	2857B S HOWELL AVE	MILWAUKEE, WI 53207-2082
CURRENT OCCUPANT	2767 S TAYLOR AVE	MILWAUKEE, WI 53207-2149
CURRENT OCCUPANT	3121 S ADAMS AVE	MILWAUKEE, WI 53207-2703
CURRENT OCCUPANT	609 E OKLAHOMA AVE	MILWAUKEE, WI 53207-2403
CURRENT OCCUPANT	3113 S TAYLOR AVE	MILWAUKEE, WI 53207-2723
CURRENT OCCUPANT	2952 S LOGAN AVE	MILWAUKEE, WI 53207-2466
CURRENT OCCUPANT	356 E OKLAHOMA AVE 2	MILWAUKEE, WI 53207-2631
CURRENT OCCUPANT	356 E OKLAHOMA AVE 4	MILWAUKEE, WI 53207-2631
CURRENT OCCUPANT	348 E OKLAHOMA AVE 7	MILWAUKEE, WI 53207-2631
CURRENT OCCUPANT	2771 S HOWELL AVE	MILWAUKEE, WI 53207-2071
CURRENT OCCUPANT	2969 S HERMAN ST	MILWAUKEE, WI 53207-2471
CURRENT OCCUPANT	348 E GAUER CIR	MILWAUKEE, WI 53207-2622
CURRENT OCCUPANT	2770 S HOWELL AVE	MILWAUKEE, WI 53207-2072
CURRENT OCCUPANT	2807 S LENOX ST	MILWAUKEE, WI 53207-2211
CURRENT OCCUPANT	2815 S LENOX ST	MILWAUKEE, WI 53207-2211
CURRENT OCCUPANT	3120 S ADAMS AVE	MILWAUKEE, WI 53207-2704
CURRENT OCCUPANT	3118 S PINE AVE	MILWAUKEE, WI 53207-2816
CURRENT OCCUPANT	2941 S LOGAN AVE	MILWAUKEE, WI 53207-2417
CURRENT OCCUPANT	3120 S TAYLOR AVE	MILWAUKEE, WI 53207-2724

CURRENT OCCUPANT	2819 S HOWELL AVE	MILWAUKEE, WI 53207-2053
CURRENT OCCUPANT	2934 S LENOX ST	MILWAUKEE, WI 53207-2416
CURRENT OCCUPANT	2849C S HOWELL AVE	MILWAUKEE, WI 53207-2082
CURRENT OCCUPANT	2978 S LOGAN AVE	MILWAUKEE, WI 53207-2466
CURRENT OCCUPANT	2962 S LOGAN AVE	MILWAUKEE, WI 53207-2466
CURRENT OCCUPANT	2758 S QUINCY AVE	MILWAUKEE, WI 53207-2142
CURRENT OCCUPANT	3015 S HERMAN ST	MILWAUKEE, WI 53207-2460
CURRENT OCCUPANT	3019 S HERMAN ST	MILWAUKEE, WI 53207-2460
CURRENT OCCUPANT	2767 S QUINCY AVE	MILWAUKEE, WI 53207-2141
CURRENT OCCUPANT	2757A S ADAMS AVE	MILWAUKEE, WI 53207-2164
CURRENT OCCUPANT	2803 S LENOX ST	MILWAUKEE, WI 53207-2211
CURRENT OCCUPANT	2839 S LENOX ST	MILWAUKEE, WI 53207-2211
CURRENT OCCUPANT	2828 S PINE AVE	MILWAUKEE, WI 53207-2221
CURRENT OCCUPANT	2820 S PINE AVE	MILWAUKEE, WI 53207-2221
CURRENT OCCUPANT	3123 S LOGAN AVE	MILWAUKEE, WI 53207-2853
CURRENT OCCUPANT	374 E GAUER CIR	MILWAUKEE, WI 53207-2622
CURRENT OCCUPANT	2933 S LOGAN AVE	MILWAUKEE, WI 53207-2417
CURRENT OCCUPANT	2942 S PINE AVE	MILWAUKEE, WI 53207-2419
CURRENT OCCUPANT	2772 S ADAMS AVE	MILWAUKEE, WI 53207-2129
CURRENT OCCUPANT	3024 S LOGAN AVE	MILWAUKEE, WI 53207-2462
CURRENT OCCUPANT	2763A S ADAMS AVE	MILWAUKEE, WI 53207-2164
CURRENT OCCUPANT	2770 S HUMBOLDT PARK CT	MILWAUKEE, WI 53207-2162
CURRENT OCCUPANT	2821 S LENOX ST	MILWAUKEE, WI 53207-2211
CURRENT OCCUPANT	3059 S HOWELL AVE 1	MILWAUKEE, WI 53207-2652
CURRENT OCCUPANT	3059 S HOWELL AVE 8	MILWAUKEE, WI 53207-2652
CURRENT OCCUPANT	3073 S HOWELL AVE	MILWAUKEE, WI 53207-2652
CURRENT OCCUPANT	2904 S PINE AVE	MILWAUKEE, WI 53207-2419
CURRENT OCCUPANT	2973 S HERMAN ST	MILWAUKEE, WI 53207-2471
CURRENT OCCUPANT	1020 E MANITOBA ST	MILWAUKEE, WI 53207-2445
CURRENT OCCUPANT	402 E MONTANA ST	MILWAUKEE, WI 53207-2111
CURRENT OCCUPANT	2986 S LOGAN AVE	MILWAUKEE, WI 53207-2466
CURRENT OCCUPANT	2956A S LOGAN AVE	MILWAUKEE, WI 53207-2466
CURRENT OCCUPANT	439 E OKLAHOMA AVE	MILWAUKEE, WI 53207-2465
CURRENT OCCUPANT	935 E OKLAHOMA AVE 2	MILWAUKEE, WI 53207-2406
CURRENT OCCUPANT	821 E OKLAHOMA AVE	MILWAUKEE, WI 53207-2405
CURRENT OCCUPANT	3059 S HOWELL AVE 5	MILWAUKEE, WI 53207-2652
CURRENT OCCUPANT	3059 S HOWELL AVE 3	MILWAUKEE, WI 53207-2652
CURRENT OCCUPANT	2987 S HERMAN ST	MILWAUKEE, WI 53207-2471
CURRENT OCCUPANT	373 E GAUER CIR	MILWAUKEE, WI 53207-2621
CURRENT OCCUPANT	2768 S QUINCY AVE	MILWAUKEE, WI 53207-2142
CURRENT OCCUPANT	442 E MONTANA ST	MILWAUKEE, WI 53207-2163
CURRENT OCCUPANT	2929 S HOWELL AVE	MILWAUKEE, WI 53207-2054
CURRENT OCCUPANT	2827 S LENOX ST	MILWAUKEE, WI 53207-2211
CURRENT OCCUPANT	2927 S LENOX ST	MILWAUKEE, WI 53207-2415
CURRENT OCCUPANT	3114 S GRIFFIN AVE	MILWAUKEE, WI 53207-2736
CURRENT OCCUPANT	2915A S LENOX ST	MILWAUKEE, WI 53207-2415
CURRENT OCCUPANT	2950 S LOGAN AVE	MILWAUKEE, WI 53207-2466
CURRENT OCCUPANT	2776A S QUINCY AVE	MILWAUKEE, WI 53207-2142
CURRENT OCCUPANT	2773 S QUINCY AVE	MILWAUKEE, WI 53207-2141
CURRENT OCCUPANT	3121A S ADAMS AVE	MILWAUKEE, WI 53207-2703
CURRENT OCCUPANT	445 E OKLAHOMA AVE	MILWAUKEE, WI 53207-2465
CURRENT OCCUPANT	379 E GAUER CIR	MILWAUKEE, WI 53207-2621
CURRENT OCCUPANT	370 E MONTANA ST	MILWAUKEE, WI 53207-2018
CURRENT OCCUPANT	2925 S LOGAN AVE	MILWAUKEE, WI 53207-2417
CURRENT OCCUPANT	2937 S LOGAN AVE	MILWAUKEE, WI 53207-2417
CURRENT OCCUPANT	2935A S LENOX ST	MILWAUKEE, WI 53207-2415

CURRENT OCCUPANT	2948A S PINE AVE	MILWAUKEE, WI 53207-2419
CURRENT OCCUPANT	2756 S ADAMS AVE	MILWAUKEE, WI 53207-2129
CURRENT OCCUPANT	3047 S HOWELL AVE 3	MILWAUKEE, WI 53207-2652
CURRENT OCCUPANT	348 E OKLAHOMA AVE 8	MILWAUKEE, WI 53207-2631
CURRENT OCCUPANT	408A E MONTANA ST	MILWAUKEE, WI 53207-2111
CURRENT OCCUPANT	2841 S HOWELL AVE	MILWAUKEE, WI 53207-2082
CURRENT OCCUPANT	2968 S LOGAN AVE	MILWAUKEE, WI 53207-2466
CURRENT OCCUPANT	2770 S QUINCY AVE	MILWAUKEE, WI 53207-2142
CURRENT OCCUPANT	3100 S GRIFFIN AVE	MILWAUKEE, WI 53207-2736
CURRENT OCCUPANT	713 E OKLAHOMA AVE A	MILWAUKEE, WI 53207-2404
CURRENT OCCUPANT	3123A S LOGAN AVE	MILWAUKEE, WI 53207-2853
CURRENT OCCUPANT	521 E OKLAHOMA AVE	MILWAUKEE, WI 53207-2402
CURRENT OCCUPANT	3047 S HOWELL AVE 2	MILWAUKEE, WI 53207-2652
CURRENT OCCUPANT	935 E OKLAHOMA AVE 1	MILWAUKEE, WI 53207-2406
CURRENT OCCUPANT	3071 S HOWELL AVE 5	MILWAUKEE, WI 53207-2652
CURRENT OCCUPANT	3071 S HOWELL AVE 3	MILWAUKEE, WI 53207-2652
CURRENT OCCUPANT	348 E OKLAHOMA AVE 3	MILWAUKEE, WI 53207-2631
CURRENT OCCUPANT	348 E OKLAHOMA AVE 5	MILWAUKEE, WI 53207-2631
CURRENT OCCUPANT	365 E SCHILLER ST	MILWAUKEE, WI 53207-2019
CURRENT OCCUPANT	2987 S HOWELL AVE	MILWAUKEE, WI 53207-2083
CURRENT OCCUPANT	3039 S HERMAN ST	MILWAUKEE, WI 53207-2460
CURRENT OCCUPANT	356 E DEWEY PL	MILWAUKEE, WI 53207-2044
CURRENT OCCUPANT	2838 S PINE AVE	MILWAUKEE, WI 53207-2221
CURRENT OCCUPANT	3117 S QUINCY AVE	MILWAUKEE, WI 53207-2717
CURRENT OCCUPANT	3120 S LENOX ST	MILWAUKEE, WI 53207-2806
CURRENT OCCUPANT	821 E DAKOTA ST	MILWAUKEE, WI 53207-2205
CURRENT OCCUPANT	2941 S LENOX ST	MILWAUKEE, WI 53207-2415
CURRENT OCCUPANT	3121 S PINE AVE	MILWAUKEE, WI 53207-2815
CURRENT OCCUPANT	2918 S PINE AVE	MILWAUKEE, WI 53207-2419
CURRENT OCCUPANT	2900 S PINE AVE	MILWAUKEE, WI 53207-2419
CURRENT OCCUPANT	2902 S PINE AVE	MILWAUKEE, WI 53207-2419
CURRENT OCCUPANT	2981A S HERMAN ST	MILWAUKEE, WI 53207-2471
CURRENT OCCUPANT	2945 S LENOX ST	MILWAUKEE, WI 53207-2415
CURRENT OCCUPANT	2936 S PINE AVE	MILWAUKEE, WI 53207-2419
CURRENT OCCUPANT	2988 S LOGAN AVE	MILWAUKEE, WI 53207-2466
CURRENT OCCUPANT	2958 S LOGAN AVE	MILWAUKEE, WI 53207-2466
CURRENT OCCUPANT	3014 S LOGAN AVE	MILWAUKEE, WI 53207-2462
CURRENT OCCUPANT	3008 S LOGAN AVE	MILWAUKEE, WI 53207-2462
CURRENT OCCUPANT	2809 S LENOX ST	MILWAUKEE, WI 53207-2211
CURRENT OCCUPANT	2855 S LENOX ST	MILWAUKEE, WI 53207-2211
CURRENT OCCUPANT	2857 S LENOX ST	MILWAUKEE, WI 53207-2221
CURRENT OCCUPANT	2810 S PINE AVE	MILWAUKEE, WI 53207-2221
CURRENT OCCUPANT	629 E OKLAHOMA AVE	MILWAUKEE, WI 53207-2403
CURRENT OCCUPANT	3117 S TAYLOR AVE	MILWAUKEE, WI 53207-2723

Total Records: 380
Radius: 250.0 feet and Center of Circle: 3000 S Howell AV

2016-2017 Plan of Operation for 3000 S HOWELL AV

4. Litter & Security Plans			
How are the grounds kept clean? <input checked="" type="checkbox"/> Sweep <input type="checkbox"/> Pressure Wash <input type="checkbox"/> Pick Up Litter <input type="checkbox"/> Other:			
How often will grounds be cleaned? <input checked="" type="checkbox"/> Daily <input type="checkbox"/> Weekly <input type="checkbox"/> Other:			
Who cleans the grounds? <input type="checkbox"/> Licensee <input type="checkbox"/> Building Owner <input checked="" type="checkbox"/> Employees <input type="checkbox"/> Hired Maintenance <input type="checkbox"/> Other:			
How are noise issues prevented and/or addressed? <input type="checkbox"/> Security <input checked="" type="checkbox"/> Manager approaches customer(s) <input type="checkbox"/> Call Police <input type="checkbox"/> Signs Posted <input type="checkbox"/> Other:			
Are there designated outdoor smoking areas? <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes If Yes, Describe:			
Number of garbage cans: Inside <u>1</u> Locations: <u>Behind Selling Counter</u> Outside <u>1</u> Locations: <u>Behind Selling counter</u>			
Is a crowd control barrier used? <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes If Yes, Describe:			
Number of restrooms: <u>1 Female restroom - 3 stalls & 2 sinks / 1 male restroom - 2 stalls, 3 urinals</u>			
Name of solid waste contractor:			
Are there parking spaces on the premises? <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes If Yes, list number of spaces: _____ and describe security plans:			
Are there designated loading areas? <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes If Yes, describe security plans:			
Do you have security personnel on the premise? <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes If Yes, how many? _____ AND What are their responsibilities? <u>Ensure responsible alcohol consumption in perimite areas</u> What security equipment do they use? _____ List their licensing, certification or training credentials: _____			
Are there security cameras? <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes If Yes, list all locations:			
Are searches and/or identification checks conducted upon entry? <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes If Yes, describe:			
5. Alcohol, Food Sales, Entertainment, and Other			
Alcohol <u>40</u> %	Food Sales <u>60</u> %	Entertainment _____ %	Other _____ %
<input type="checkbox"/> Restaurant	<input type="checkbox"/> Cafe/Coffee Shop	<input type="checkbox"/> Cocktail Lounge	<input type="checkbox"/> Convenience Store
<input type="checkbox"/> Night Club	<input type="checkbox"/> Tavern	<input type="checkbox"/> Banquet Hall	<input type="checkbox"/> Sports Facility
<input type="checkbox"/> Liquor Store	<input type="checkbox"/> Hotel	<input type="checkbox"/> Supermarket	<input type="checkbox"/> Private/Fraternal/Veterans' Club
<input checked="" type="checkbox"/> Other: <u>Beer Garden</u>			
Are there any changes to the current hours of operation or age restriction? <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes If Yes, Describe:			
Please Note: If you will be open earlier or later than the hours listed on your current license for even one event or holiday (for example, St. Patrick's Day, Brewers Opening Day, etc.) during the license period, this must be reported and printed on your license. Your hours of operation and age restriction are listed on your current license.			
5. Floor Plan and Capacity			
Are you requesting any changes to the floor plan or capacity? <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes If Yes, Describe:			
If requesting changes to the floor plan, submit a new floor plan with this application. Changes in floor plan include changing the location of tables, games, etc. within your current licensed premises. If your changes include adding any additional areas or square footage to your premises, or any renovations to the building will be done, a Permanent Extension of Premises application must be filed.			
6. Sidewalk Dining			
Are there any changes to the sidewalk dining site plan? <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes If Yes, submit an updated site plan with this application.			

PUBLIC ENTERTAINMENT PREMISES RENEWAL SUPPLEMENTAL APPLICATION

1. CURRENT APPROVED ENTERTAINMENT

The following types of entertainment have been approved for your current Public Entertainment Premises license:

Polka Bands 17 Times Per Year

2. ADDING ENTERTAINMENT

If applicable, check any entertainment you wish to ADD:

- | | | | |
|---|---|--|--|
| <input checked="" type="checkbox"/> Instrumental Musicians | <input checked="" type="checkbox"/> Bands | <input type="checkbox"/> Battle of the Bands | <input type="checkbox"/> Comedy Acts |
| <input type="checkbox"/> Disc Jockey | <input checked="" type="checkbox"/> Magic Shows | <input type="checkbox"/> Poetry Readings | <input type="checkbox"/> Dancing by Performers |
| <input type="checkbox"/> Jukebox | <input type="checkbox"/> Wrestling | <input type="checkbox"/> Patron Contests | <input type="checkbox"/> Patrons Dancing |
| <input type="checkbox"/> Adult Entertainment/
Strippers/Erotic Dance | <input type="checkbox"/> Karaoke | <input type="checkbox"/> Bowling Alley | <input type="checkbox"/> Pool Tables |
| <input type="checkbox"/> Motion Pictures | <input type="checkbox"/> Amusement Machines – | How many? _____ | How many? _____ |
| How many screens? _____ | How many? _____ | <input type="checkbox"/> Concerts | <input type="checkbox"/> Theatrical Performances |
| | | Approx. # per year? _____ | Approx. # per year? _____ |
| <input type="checkbox"/> Other: _____ | | | |

No entertainment changes can take place until approved by Common Council and a new license has been issued and posted on the premises.

3. REMOVING ENTERTAINMENT

If applicable, list any entertainment you wish to remove:

4. PROMOTERS/SOUND AMPLIFICATION

Will promoters ever be used for any of the entertainment? No Yes If Yes, Describe:

At any time will sound amplification be used? No Yes If Yes, Describe:

5. NOTARIZED SIGNATURES

I understand that after the license has been issued, a change to the plan of operation will require a written request to change and approval from the Common Council.

I agree to inform the City Clerk within 10 days of any substantial changes in the information supplied in this application.

I understand that I shall not willfully refuse to provide the services offered under this license, or add charges or require deposits not required of the general public because of race, color, sex, religion, national origin or ancestry, age, handicap, lawful source of income, marital status, sexual orientation, gender identity or expression, familial status or the fact that a person is now or has been a member of the military service, whether dressed in uniform or not; and shall not seek such information as a condition of employment, or penalize any employee or discriminate in the selection of personnel for training or promotion on the basis of such information.

I have knowledge of the City Ordinances currently regulating public entertainment, and understand that the license may be subject to suspension, non-renewal or revocation, if I violate any rule, law or regulation of the City of Milwaukee and State of Wisconsin.

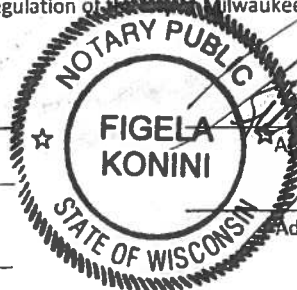
SUBSCRIBED AND SWORN TO BEFORE ME

This 20th day of April, 2016

(Clerk/Notary Public)

My Commission Expires March 12, 2019

*Notary Seal must be affixed.



Agent/20% or More Shareholder/Partner

Additional 20% or More Shareholder/Partner



**CITY OF MILWAUKEE
OFFICE OF THE CITY CLERK**

Monday, May 23, 2016

COMMITTEE MEETING NOTICE

AD 14

NAVEJAR, Martha, Agent
Botanas II LLC
1421 E Howard Av

Milwaukee, WI 53207

You are requested to attend a hearing which is to be held in Room 301-B, Third Floor, City Hall on:

Tuesday, May 31, 2016 at 01:30 PM

Regarding: Your Alcohol and Food Permanent Extension of Premise Applications as agent for "Botanas II LLC" for "Botanas II" at 1421 E Howard Av.

There is a possibility that your application may be denied for one or more of the following reasons: you do not meet the statutory and municipal requirements; the fitness and appropriateness of the location to be licensed and whether the location will create undesirable neighborhood problems (such as disorderly congregations of people, excessive litter, unreasonable noise, and traffic and parking problems), whether or not there is an over-concentration of alcohol beverage establishments in the neighborhood; whether or not you have been charged with or convicted of any felony, misdemeanor, municipal offense or other offense, the circumstances of which substantially relate to the licensed activity; and any other factors which reasonably relate to the public health, safety and welfare. See attached police report and/or written correspondence regarding this application. Please be advised the public will be able to provide information to the committee in person or in writing. The committee will receive and consider evidence regarding the above mentioned criteria.

Notice for applicants with warrants or unpaid fines:

Proof of warrant satisfaction or payment of fines must be submitted at the hearing on the above date and time. Failure to comply with this requirement may result in a delay of the granting/denial of your application.

Failure to appear at this meeting may result in the denial of your license. Individual applicants must appear only in person or by an attorney. Corporate or Limited Liability applicants must appear only by the agent designated on the application or by an attorney. Partnership applicants must appear by a partner listed on the application or by an attorney. If you wish to do so and at your own expense, you may be accompanied by an attorney of your choosing to represent you at this hearing.

You will be given an opportunity to speak on behalf of the application and to respond and challenge any charges or reasons given for the denial. No petitions can be accepted by the committee, unless the people who signed the petition are present at the committee hearing and willing to testify. You may present witnesses under oath and you may also confront and cross-examine opposing witnesses under oath. If you have difficulty with the English language, you should bring an interpreter with you, at your expense, so that you can answer questions and participate in your hearing.

You may examine the application file at this office during regular business hours prior to the hearing date. Inquiries regarding this matter may be directed to the person whose signature appears below.

Limited parking for persons attending meetings in City Hall is available at reduced rates (5 hour limit) at the Milwaukee Center on the southwest corner of East Kilbourn and North Water Street. Parking tickets must be validated in the first floor information booth in City Hall.

PLEASE NOTE: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aids. For additional information or to request this service, contact the Council Services Division ADA Coordinator at (414) 286-2998, Fax - (414) 286-3456, TDD - (414) 286-2025.

JIM OWCZARSKI, CITY CLERK

BY: _____

Jason Schunk
License Division Manager

If you have questions regarding this notice, please contact the License Division at (414) 286-2238.



Monday, May 23, 2016



Notice of Public Hearing

NAVEJAR, Martha, Agent
Botanas II at 1421 E Howard Av
Alcohol and Food Permanent Extension of Premise Applications

Tuesday, May 31, 2016 at 1:30 PM

To whom it may concern:

The above application has been made by the above named applicant(s). This requires approval from the Licenses Committee and the Common Council of the City of Milwaukee. The hearing before the Licenses Committee will take place on 5/31/2016 at 1:30 PM, in Room 301-B, Third Floor, City Hall. If you wish, you may provide testimony at the hearing regarding the request; see below for further information. You are not required to attend the hearing. Once the Licenses Committee makes its recommendation, this recommendation is forwarded to the full Common Council for approval at its next regularly scheduled hearing. Please review the information below and if you have further questions regarding this process, please contact the License Division at (414) 286-2238.

Important details for those wishing to provide information for the Licenses Committee to consider when making its recommendation:

1. The license application is scheduled to be heard at the above time. Due to other hearings running longer than scheduled, you may have to wait some time to provide your testimony.
2. You must appear in person and testify as to matters that you have personally experienced or seen. (You cannot provide testimony for your neighbor, parent or anyone else; this is considered hearsay and cannot be considered by the committee.)
3. No letters or petitions can be accepted by the committee (unless the person who wrote the letter or the persons who signed the petition are present at the committee hearing and willing to testify).
4. Persons opposed to the license application are given the opportunity to testify first; supporters may testify after the opponents have finished.
5. When you are called to testify, you will be sworn in and asked to give your name, and address. (If your first and/or last names are uncommon please spell them.)
6. You may then provide testimony.
 - a. Include only information relating to the above license application.
 - b. Include only information you have personally witnessed or seen.
 - c. Provide concise and relevant information detailing how this business has affected or may affect the peaceful enjoyment of your neighborhood.
 - d. If by the time you have the opportunity to testify, the information you wish to share has already been provided to the committee, you may state that you agree with the previous testimony. Redundant or repetitive testimony will not assist the committee in making its recommendation.
7. After giving your testimony, the members of the Licenses Committee and the licensee may ask questions regarding the testimony you have given or other factors relating to the license application.
8. Business Competition is not a valid basis for denial or non-renewal of a license.
Please Note: If you have submitted an objection to the above application your objection cannot be considered by the committee unless you personally testify at the hearing.

OCCUPANT	MAIL ADDRESS	CITY AND ZIP CODE
CURRENT OCCUPANT	3896 S HANSON AVE	MILWAUKEE, WI 53207-4073
CURRENT OCCUPANT	1525 E HOWARD AVE	MILWAUKEE, WI 53207-4051
CURRENT OCCUPANT	1431 E VAN BECK AVE	MILWAUKEE, WI 53207-4530
CURRENT OCCUPANT	1516 E VAN BECK AVE	MILWAUKEE, WI 53207-4533
CURRENT OCCUPANT	3901 S NEVADA ST	MILWAUKEE, WI 53235-4511
CURRENT OCCUPANT	3865 S BRUST AVE	MILWAUKEE, WI 53207-4063
CURRENT OCCUPANT	1506 E HOWARD AVE	MILWAUKEE, WI 53207-4052
CURRENT OCCUPANT	1517 E TRIPOLI AVE	MILWAUKEE, WI 53207-4026
CURRENT OCCUPANT	1510 E VAN BECK AVE	MILWAUKEE, WI 53207-4533
CURRENT OCCUPANT	1524 E VAN BECK AVE	MILWAUKEE, WI 53207-4533
CURRENT OCCUPANT	1321 E HOWARD AVE	MILWAUKEE, WI 53207-4047
CURRENT OCCUPANT	1327 E HOWARD AVE	MILWAUKEE, WI 53207-4047
CURRENT OCCUPANT	1518 E HOWARD AVE	MILWAUKEE, WI 53207-4052
CURRENT OCCUPANT	1523 E TRIPOLI AVE	MILWAUKEE, WI 53207-4026
CURRENT OCCUPANT	1421 E HOWARD AVE	MILWAUKEE, WI 53207-4049
CURRENT OCCUPANT	1411 E VAN BECK AVE	MILWAUKEE, WI 53207-4530
CURRENT OCCUPANT	1402 E HOWARD AVE	MILWAUKEE, WI 53207-4050
CURRENT OCCUPANT	1553 E TRIPOLI AVE	MILWAUKEE, WI 53207-4026
CURRENT OCCUPANT	1503 E VAN BECK AVE	MILWAUKEE, WI 53207-4532
CURRENT OCCUPANT	1420 E HOWARD AVE	MILWAUKEE, WI 53207-4050
CURRENT OCCUPANT	1547 E TRIPOLI AVE	MILWAUKEE, WI 53207-4026
CURRENT OCCUPANT	1504 E VAN BECK AVE	MILWAUKEE, WI 53207-4533
CURRENT OCCUPANT	1430 E VAN BECK AVE	MILWAUKEE, WI 53207-4531
CURRENT OCCUPANT	1517 E HOWARD AVE	MILWAUKEE, WI 53207-4051
CURRENT OCCUPANT	1410 E VAN BECK AVE	MILWAUKEE, WI 53207-4531
CURRENT OCCUPANT	1426 E HOWARD AVE	MILWAUKEE, WI 53207-4050
CURRENT OCCUPANT	3868 S HANSON AVE	MILWAUKEE, WI 53207-4073
CURRENT OCCUPANT	1541 E TRIPOLI AVE	MILWAUKEE, WI 53207-4026
CURRENT OCCUPANT	1335 E HOWARD AVE	MILWAUKEE, WI 53207-4047
CURRENT OCCUPANT	3876 S HANSON AVE	MILWAUKEE, WI 53207-4073
CURRENT OCCUPANT	1531 E HOWARD AVE	MILWAUKEE, WI 53207-4051
CURRENT OCCUPANT	1511 E HOWARD AVE	MILWAUKEE, WI 53207-4051
CURRENT OCCUPANT	1440 E HOWARD AVE	MILWAUKEE, WI 53207-4050
CURRENT OCCUPANT	1432 E HOWARD AVE	MILWAUKEE, WI 53207-4050
CURRENT OCCUPANT	3888 S HANSON AVE	MILWAUKEE, WI 53207-4073
CURRENT OCCUPANT	3882 S HANSON AVE	MILWAUKEE, WI 53207-4073
CURRENT OCCUPANT	1517 E VAN BECK AVE	MILWAUKEE, WI 53207-4532
CURRENT OCCUPANT	1416 E VAN BECK AVE	MILWAUKEE, WI 53207-4531
CURRENT OCCUPANT	1402 E VAN BECK AVE	MILWAUKEE, WI 53207-4531
CURRENT OCCUPANT	1417 E VAN BECK AVE	MILWAUKEE, WI 53207-4530
CURRENT OCCUPANT	1529 E TRIPOLI AVE	MILWAUKEE, WI 53207-4026
CURRENT OCCUPANT	1341 E HOWARD AVE	MILWAUKEE, WI 53207-4047
CURRENT OCCUPANT	1403 E VAN BECK AVE	MILWAUKEE, WI 53207-4530
CURRENT OCCUPANT	1503 E HOWARD AVE	MILWAUKEE, WI 53207-4051
CURRENT OCCUPANT	3860 S HANSON AVE	MILWAUKEE, WI 53207-4073
CURRENT OCCUPANT	1535 E TRIPOLI AVE	MILWAUKEE, WI 53207-4026
CURRENT OCCUPANT	1337 E HOWARD AVE	MILWAUKEE, WI 53207-4047
CURRENT OCCUPANT	1425 E VAN BECK AVE	MILWAUKEE, WI 53207-4530
CURRENT OCCUPANT	3871 S BRUST AVE	MILWAUKEE, WI 53207-4063
CURRENT OCCUPANT	3877 S BRUST AVE	MILWAUKEE, WI 53207-4063
CURRENT OCCUPANT	1512 E HOWARD AVE	MILWAUKEE, WI 53207-4052
CURRENT OCCUPANT	1319 E HOWARD AVE	MILWAUKEE, WI 53207-4047
CURRENT OCCUPANT	1500 E HOWARD AVE	MILWAUKEE, WI 53207-4052
CURRENT OCCUPANT	1511 E VAN BECK AVE	MILWAUKEE, WI 53207-4532
CURRENT OCCUPANT	1329 E HOWARD AVE	MILWAUKEE, WI 53207-4047

CURRENT OCCUPANT	1424 E VAN BECK AVE	MILWAUKEE, WI 53207-4531
CURRENT OCCUPANT	1414 E HOWARD AVE	MILWAUKEE, WI 53207-4050
CURRENT OCCUPANT	1408 E HOWARD AVE	MILWAUKEE, WI 53207-4050
CURRENT OCCUPANT	1530 E VAN BECK AVE	MILWAUKEE, WI 53207-4533
CURRENT OCCUPANT	1517A E VAN BECK AVE	MILWAUKEE, WI 53207-4532

Total Records: 61

Radius: 250.0 feet and Center of Circle: 1421 E Howard AV



PERMANENT EXTENSION OF PREMISES APPLICATION FOOD AND ALCOHOL BEVERAGE ESTABLISHMENTS

OFFICE OF THE CITY CLERK LICENSE DIVISION
200 E. WELLS ST. ROOM 105, MILWAUKEE, WI 53202
(414) 286-2238 E-MAIL ADDRESS: LICENSE@MILWAUKEE.GOV
WWW.MILWAUKEE.GOV/LICENSE

Section A	Date of Application: <u>03/01/2016</u>	Aldermanic District: <u>14</u>
	Licensee (list name of individual; partners, if partnership; or agent, if corporation or LLC): <u>MARTHA NAVEJAR</u>	
	Corporation or LLC Name (if applicable): <u>Botanas II LLC</u>	Business Name: <u>Botanas II</u>
	Business Address (include city, state, zip): <u>1421 E. HOWARD AVE MILW 53207</u>	
	(Optional) Mailing Address (include city, state, zip):	Business Telephone Number: <u>414-489-0529</u>
Section B	This request is for the permanent extension of premise for a: <input checked="" type="checkbox"/> FOOD license <input checked="" type="checkbox"/> ALCOHOL license	
	Current Premises Description: <u>FIRST FLOOR, PATIO, BASEMENT STORAGE</u>	
	Identify the specific area(s) for which the permanent extension of premises is requested. Check (✓) all that apply, and list for each the relationship of the area to the premises (Example: north side, front, etc.)	
	<input type="checkbox"/> Sidewalk café (public sidewalk) at the _____ side of the premise in front of the following street address(es) _____ (area must be contiguous with licensed area and under the licensee's control)	
	<input checked="" type="checkbox"/> Patio (concrete surface) at the <u>NORTH SIDE</u> side of the premise <input type="checkbox"/> Beer garden (soil/grass surface) at the _____ side of the premise <input type="checkbox"/> Deck (attached to building) at the _____ side of the premise <input type="checkbox"/> Addition to the <input type="checkbox"/> basement <input type="checkbox"/> 1 st floor <input type="checkbox"/> 2 nd floor <input type="checkbox"/> 3 rd floor <input type="checkbox"/> Other: _____ at the _____ (indicate location) of the premises. <input type="checkbox"/> Other: Describe proposed area(s) here ► _____	
Does extension area have an additional street address? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, list address here ► _____		
List all type(s) of business(es) that will operate at this location? <input checked="" type="checkbox"/> Tavern <input checked="" type="checkbox"/> Restaurant <input type="checkbox"/> Other: Describe business here ► _____		
Section C	SUBSCRIBED & SWORN TO BEFORE ME THIS <u>1ST</u> day of <u>MARCH</u> , 20 <u>16</u>	
	<u>James Cooney</u> Notary Public, State of Wisconsin My commission expires: <u>3-6-16</u>	<u>MARTHA NAVEJAR</u> Print name of individual, partner, agent, officer, member <u>Martha Navejar</u> Signature
	Notary Seal must be affixed	

Office Use Only:

Upon application queue to: DNS Health (food only) CC (food only)

Additional approval needed from DCD Hold – Sidewalk Cafes (sidewalk dining facility permit required)

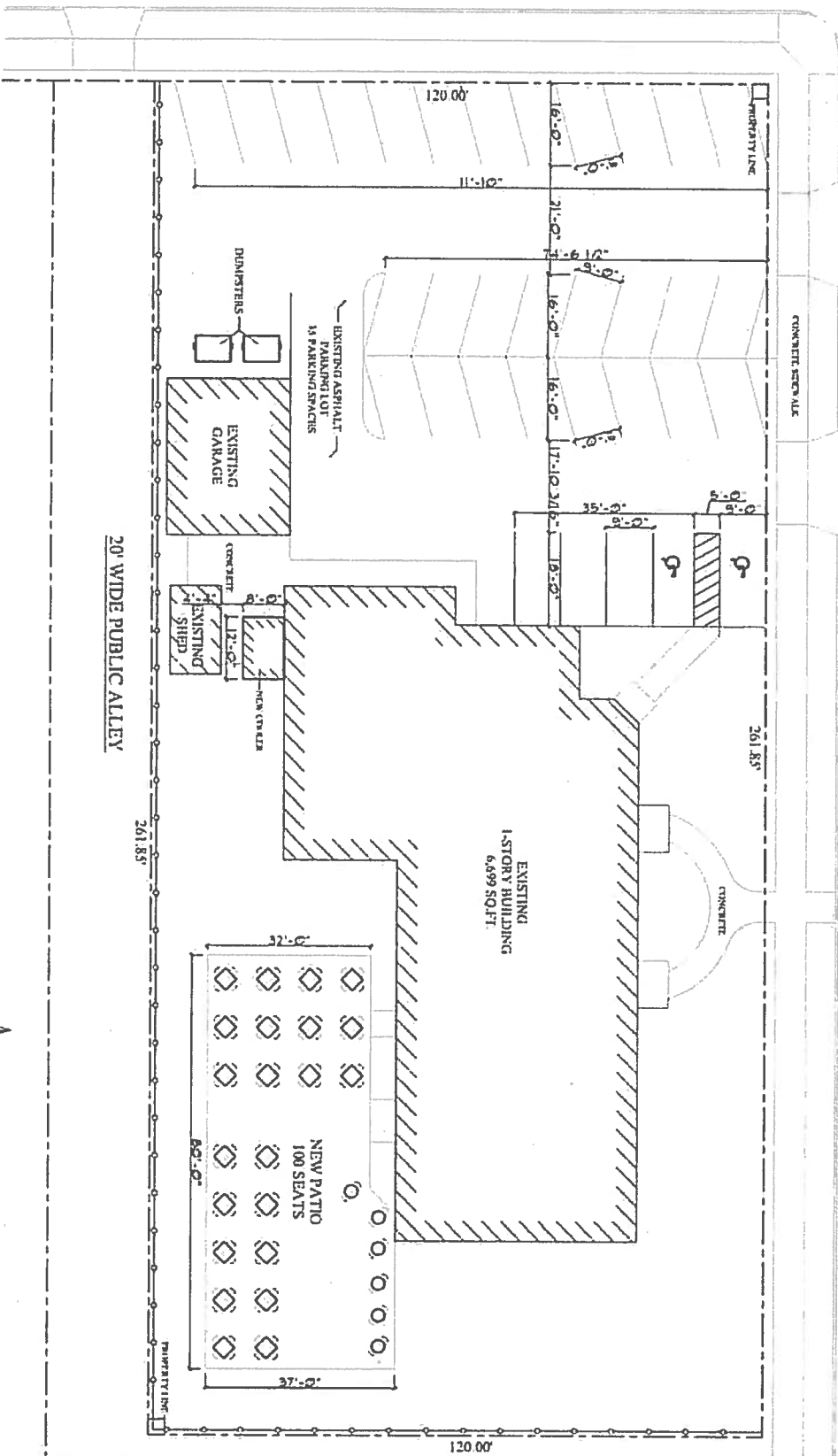
Filed 3-1-16 Initials JAC Food Perm Ext App # 226332 Alcohol Perm Ext App # 226326

Food Perm Ext Issued _____ Initials _____ Alcohol Perm Ext Issued _____ Initials _____

Schw 5/31 + notice 250'
1:30

3/29 hold
4/29 "

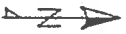
SOUTH NEVADA STREET



LEGAL ENTITY: BOTANAS II LLC
 AGENT: MARTHA NAVEJAR

1 New Site Plan
 C-1.1 scale: 1/32" = 1'-0"

SITE AREA: 31,422 SQ. FT.



EAST HOWARD AVE

BMR
 DESIGN GROUP, INC.
 Architects - Engineers
 303 West Lincoln Avenue
 Milwaukee, Wisconsin 53207
 Phone - (414) 381-2996
 Fax - (414) 381-1004

PROJECT
 Proposed Alterations
 to Existing Building
 for Botanas II
 1421 W Howard Ave.
 Milwaukee, WI

PROJECT NO. 2014-36

DATE 09/30/14

REVISIONS

NO.	DESCRIPTION

CHECKED BY L.B.

DRAWN BY M.N.

SCALE As Noted

SHEET NO. C-1.1

BMR

DESIGN GROUP, INC.
Architects - Engineers
501 West Lincoln Avenue
Milwaukee, Wisconsin 53207
Phone - (414) 384-2998
Fax - (414) 384-3104

PROJECT
Proposed Alterations
to Existing Building
for Botanias II
1421 W Howard Ave.
Milwaukee, WI

PROJECT NO. 2014-56

DATE 09/30/14

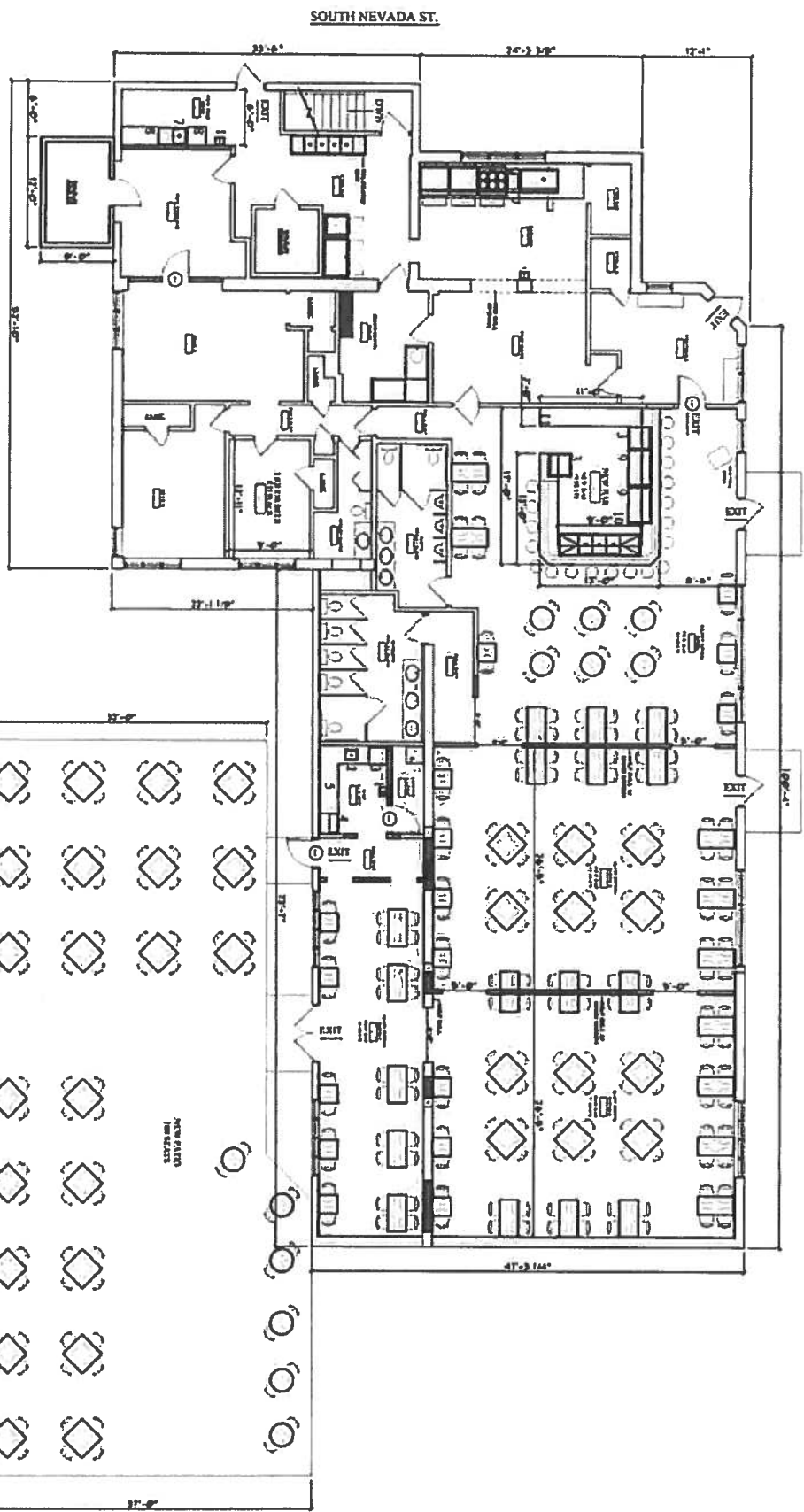
REVISIONS

CHECKED BY L.B.

DRAWN BY M.N.

SCALE As Noted

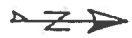
SHEET NO. A-1.1



1 New Floor Plan

Scale: n.t.s.

BUILDING AREA: 6,699 SQ. FT.



PRELIMINARY SEATING CAPACITY:

NEW FRONT BAR AREA: 19 SEATS
FRONT DINING ROOM: 40 SEATS
MAIN DINING ROOM: 134 SEATS
NEW OUTDOOR PATIO: 100 SEATS
TOTAL: 213 SEATS

KITCHEN EQUIPMENT

- 1 HAND SINK
- 2 BEVERAGE SINK
- 3 ICE BIN
- 4 CHIP WARMER
- 5 UNDER COUNTER COOLER
- 6 HOT SINK
- 7 SEPTINABLE SINK
- 8 SEPTINABLE SINK
- 9 24" WIDE HOT WATER REFRIGERATOR
- 10 4 HOT SINK
- 11 11" x 22" LIQUOR DISPLAY AREA

LEGAL ENTITY: BOTANAS II LLC
AGENT: MARTHA NAVEJAR

PROJECT
 Proposed Alterations
 to Existing Building
 for Botanias II
 1421 W Howard Ave.
 Milwaukee, WI

PROJECT NO. 2014-56

DATE 09/30/14

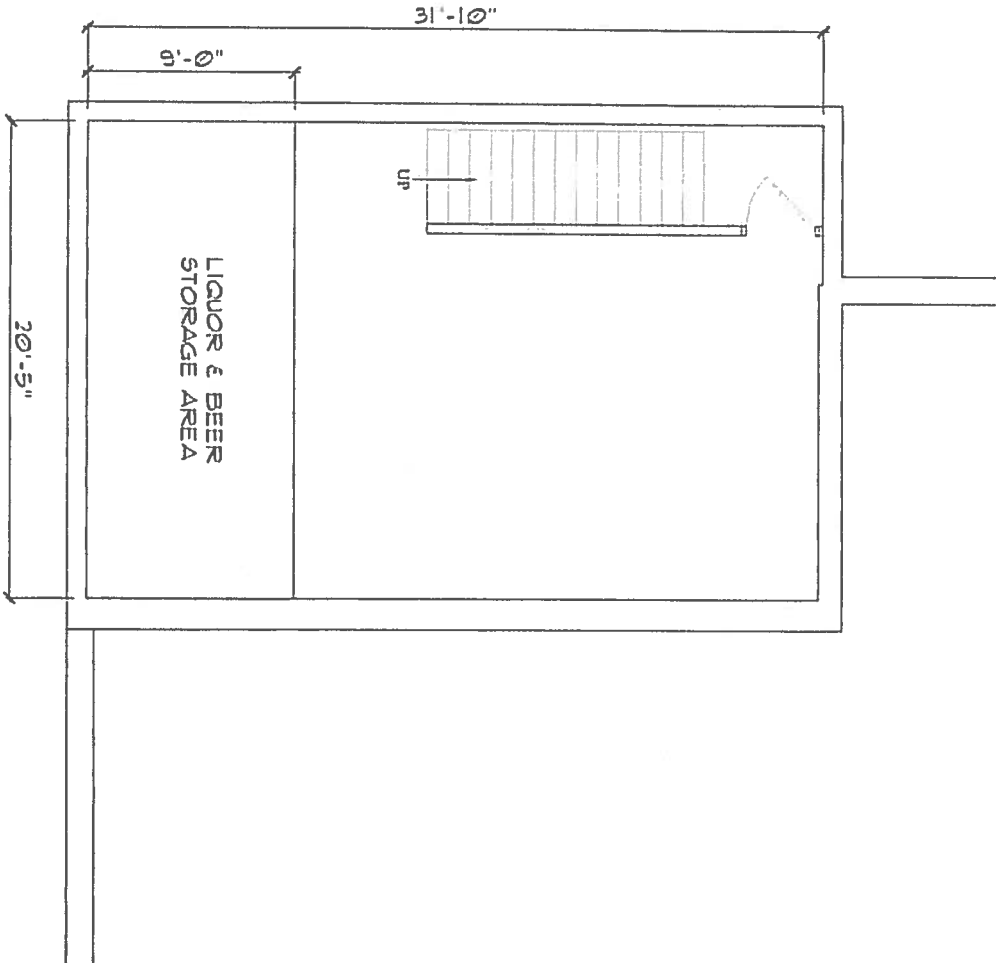
REVISIONS

CHECKED BY LJB

DRAWN BY M.N.

SCALE As Noted

SHEET NO. A-1.2

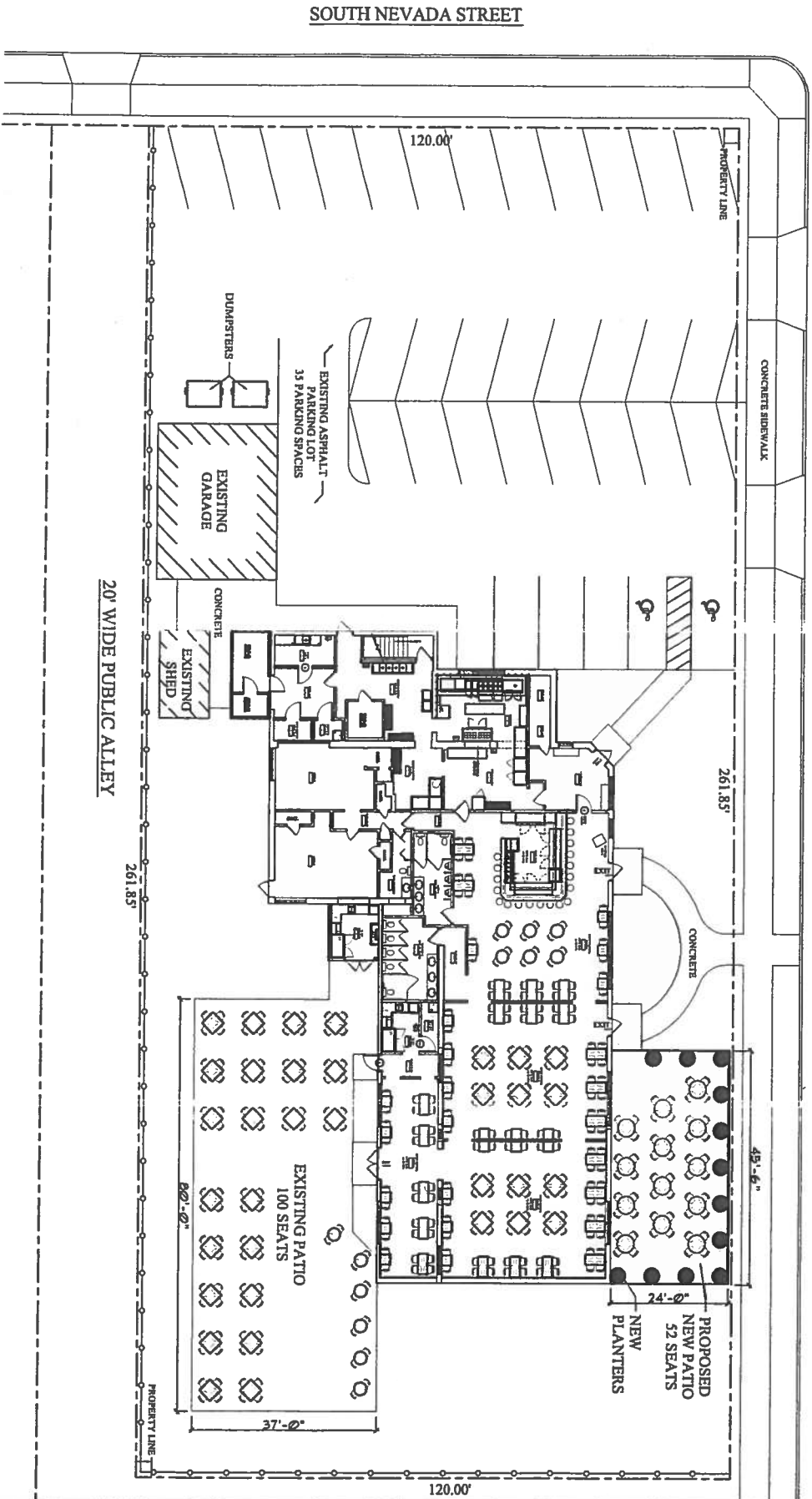


1 Basement Floor Plan
 Scale: 1/8" = 1'-0"
 BASEMENT AREA: 649 SQ.FT.

LEGAL ENTITY: BOTANAS II LLC
 AGENT: MARTHA NAVEJAR

MARTHA NAUESAR
 BOTANIAS II
 BOTANIAS II LLC

EAST HOWARD AVE



1 New Site Plan
 C-1.1 Scale: 1/32" = 1'-0"

BMR
 DESIGN GROUP, INC
 Architects - Engineers
 503 West Lincoln Avenue
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 Phone - (414) 384-2996
 Fax - (414) 384-3904

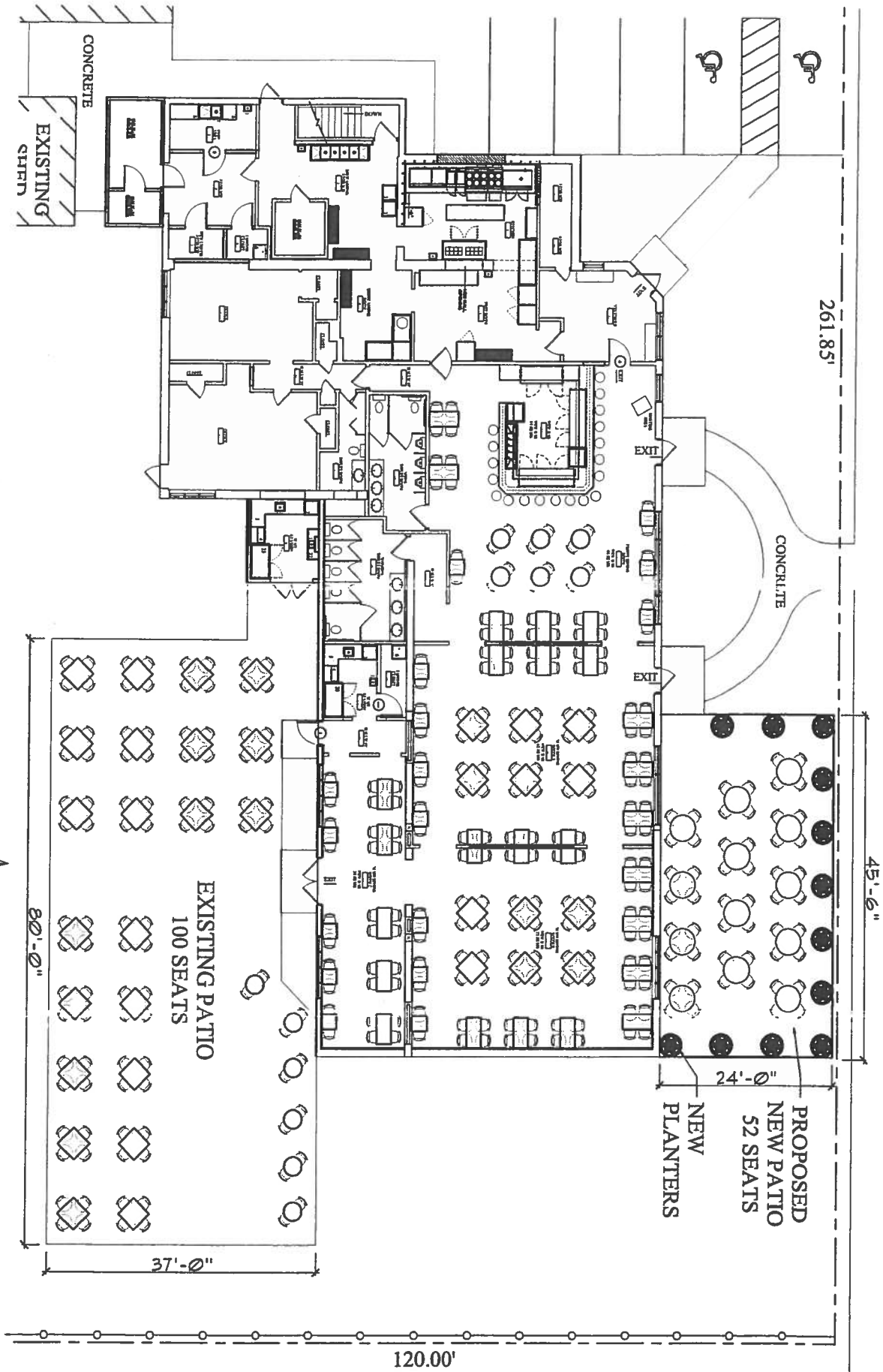
PROJECT
 Botanas II
 1421 E. Howard
 Milwaukee, WI

PROJECT NO. 2016-1

DATE 03/01/16

REVISIONS

CHECKED BY L.B.
 DRAWN BY M.N.
 SCALE As Noted
 SHEET NO. C-1.1



1 New Site Plan
 C-12 Scale: n.t.e.

BMR
 DESIGN GROUP, INC.
 Architects - Engineers

503 West Lincoln Avenue
 Milwaukee, Wisconsin 53207
 Phone - (414) 384-2996
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PROJECT
 Botanias II
 1421 E. Howard
 Milwaukee, WI

PROJECT NO. 2016-11

DATE 03/01/16

REVISIONS

CHECKED BY L.B.
DRAWN BY M.N.
SCALE As Noted
SHEET NO. C-12