



September 26, 2014

Department of City Development
Planning Administration
809 N. Broadway, 2nd Floor
Milwaukee, WI 53202

Planning Commission Members:

I am submitting these documents for your review of the Taco Bell Tenant Build-Out in the End-Cap space of Holt Plaza at 150-160 West Holt Avenue, Milwaukee, WI. This tenant is a Fast Food Restaurant with take-out service which is listed in the Commercial Service Zoning as Limited and in the Development Incentive Zone Guidelines as Approved, and noted that a public hearing is required.

I have reviewed the Submittal Checklist for Projects within a Development Incentive Zone as follows:

1. In lieu of a current site survey I am submitting the Site Plan for the previous construction project and an aerial photo courtesy of Google Earth to establish that the conditions are as shown on this plan.
2. a., b., c., f., h., and i., See plans attached.
2. d., e., and g., These items are not being altered by the new work from their existing conditions.
3. Elevations of the existing South and West Facades are attached for review of their alterations and signage. See plan sheet A401.
4. Pictures of the Existing Building and Parking area are included.
5. See the narration below.

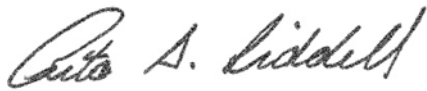
I have reviewed the D.I.Z. Guidelines and had some discussion with staff at the Planning Administration offices. I propose to modify an existing approved structure with limited facade revisions and some site revisions. The front facade signage will incorporate a new prototype for Taco Bell signage that gives a nice streamlined effect. The Planning Administration staff suggested this horizontal slat overlay start above the existing soldier course at the bottom of the existing entry canopy. I have included two South Elevations on plan sheet A401 for your review and comparison.

The renovations to the West parking lot are made to accommodate the drive-up order and window delivery access. I have shown Taco Bell's standard Menu Board and intercom/speaker pedestal at the North end of this area near the existing light pole. The position of the car placing an order will be East-West and the intercom/speaker will face south. Taco Bell has a standard landscape plan for this area and I propose to incorporate this in the island area created by the

drive-up lane. The landscaped island will direct traffic and help alleviate sound. It is located so that it will not block the existing flow of storm water to the curb catch basin. The Planning Administration staff asked about the sound transfer from the drive-up order pedestal. I have attached information from the manufacturer on sound levels for your review and I have the cut sheets of the equipment that will be located in this area. The Planning Administration staff recommended a Board-on-Board screening fence be located at the NW corner of the parking lot and I have added a 6' high fence per the City zoning code. The owner plans on adding a monument sign at the SE corner of this parking lot, and Taco Bell will have the sign modified to fit the local zoning codes.

Thank you for your careful consideration.

Sincerely,

A handwritten signature in black ink, reading "Rita A. Liddell". The signature is written in a cursive, flowing style.

Rita Liddell
Project Architect

DCD #2354

Part of lands in the Southeast 1/4 of the Northeast 1/4 of Section 17, in Town 6 North, Range 22 East, in the City of Milwaukee, County of Milwaukee, Wisconsin.

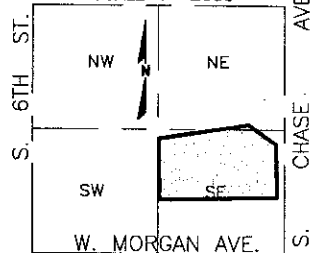
TAX KEY NO. 537-9991-110-4
ZONING: CS(COMMERCIAL SERVICE)

OWNER: MSSD, INC.
413 N. 2ND ST STE 100
MILWAUKEE WI 53203

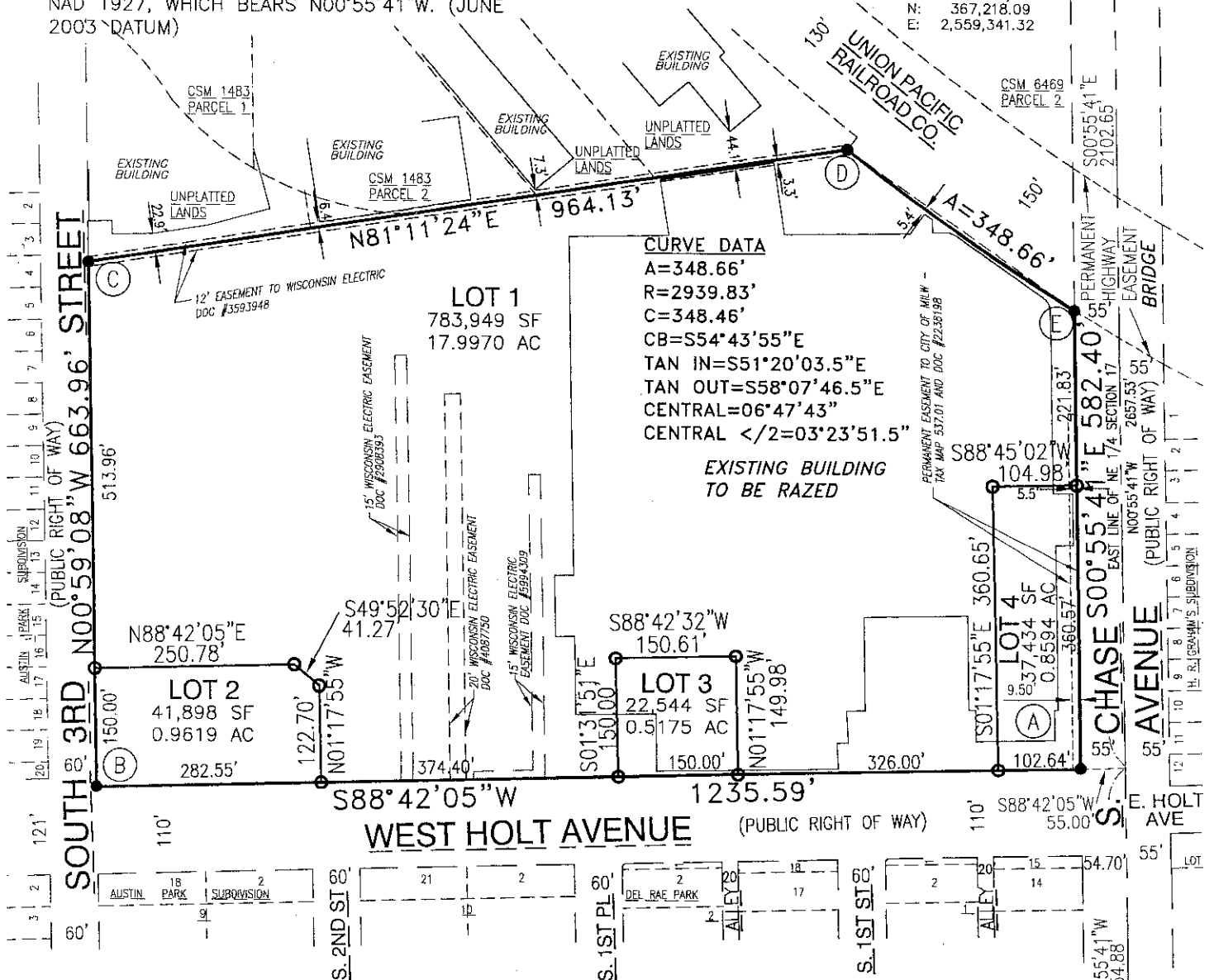
- INDICATES SET 1.375" O.D. IRON PIPE, AT LEAST 18" IN LENGTH, 1.68 LBS PER LINEAL FOOT.
- INDICATES FOUND 1" IRON PIPE
- ALL DIMENSIONS SHOWN ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT.
- ALL BEARINGS ARE REFERENCED TO THE EAST LINE OF THE NE 1/4, SECTION 17 WISCONSIN STATE PLANE COORDINATE SYSTEM SOUTH ZONE, NAD 1927, WHICH BEARS N00°55'41"W. (JUNE 2003 DATUM)

NOTARY PUBLIC
ERIC R. STURM
S 2006
NORTH DAKOTA
1-13-04
Revised 2-9-04

N.E. 1/4 SEC. 17-6-22
SCALE 1"=2000'



NORTHEAST CORNER
NORTHEAST 1/4
SEC 17-6-22
CONC MON W/BRASS CAP
N: 367,218.09
E: 2,559,341.32



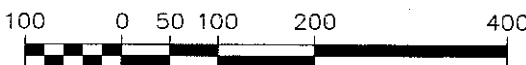
National Survey & Engineering

Telephone 262-781-1000
Facsimile 262-797-7373

16745 W. Bluemound Road
Suite 200
Brookfield, WI 53005-5938
www.nsae.com

5150475 \ cs10112h \ cs10112h \ daw

GRAPHIC SCALE



(IN FEET)
1 inch = 200 ft.

SOUTHEAST CORNER
NORTHEAST 1/4
SEC 17-6-22
CONC MON W/BRASS CAP
N: 364,560.91
E: 2,559.384.36

Sheet 1 of 3 Sheets

CERTIFIED SURVEY MAP
DEC 1 2004

DATE RECORDED _____
MAP NO. 7506

DOCUMENT NO. 08907990

**CITY OF MILWAUKEE
DEPARTMENT OF
CITY DEVELOPMENT
806 N. BROADWAY ST.
MILWAUKEE, WIS. 53202
PHONE 223-5716**

DEPARTMENT OF CITY
DEVELOPMENT
CITY OF MILWAUKEE

000 000 2004

STAFF APPROVED

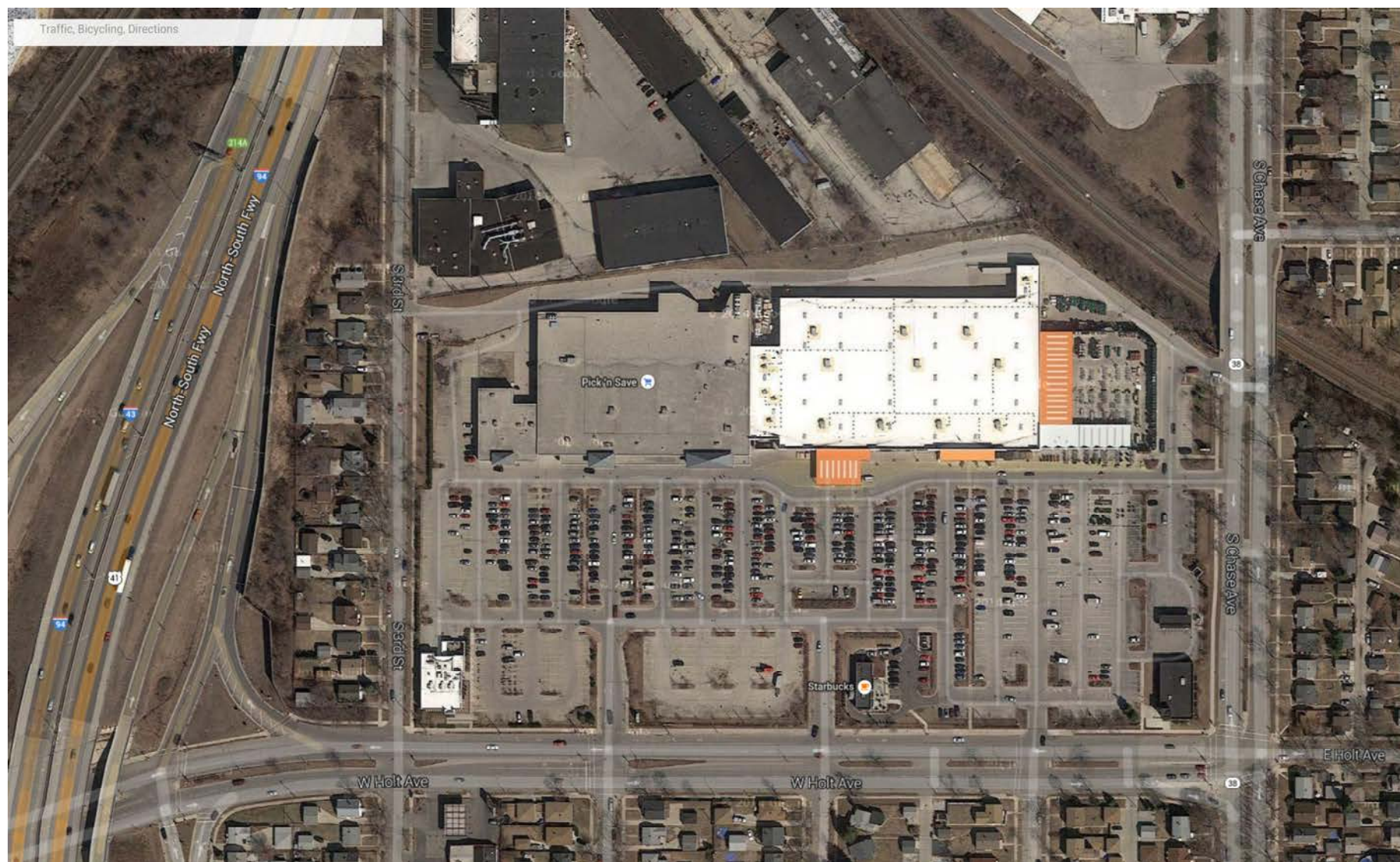
INFRASTRUCTURE
SERVICES DIVISION

Marcia Lindholm 2/17/0

Martin Ceguina 2/17/04

Jeffrey Palenche 2/17/18
CITY OF LOS ANGELES
APPROVED

CITY OF NEW YORK



EXISTING CONDITIONS

National Survey & Engineering

Telephone 800-231-3718
Fax 262-231-0672
200 University Street
Madison, WI 53706-0001
www.nse.com

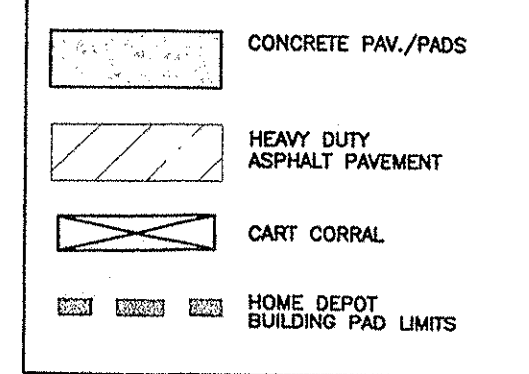


GRAPHIC SCALE



(IN FEET)
1 inch = 50 ft.

LEGEND



BUILDING PAD LIMITS ARE 5' OUTSIDE OF BUILDING, GARDEN CENTER, CONCRETE PADS, AND FRONT PICK-UP LANE.

HOME DEPOT	PICK N' SAVE	W/RETAIL A	PROVIDED	RATIO	3.02/1000 S.F.
411	418	-	418	4.63/1000 S.F.	4.63/1000 S.F.

DRAWING ISSUE RECORD

DATE	DESCRIPTION
03/18/04	CONCEPT PLAN
04/28/04	ROUND'S REVISIONS
04/28/04	ROUND'S REVISIONS
05/03/04	BD SET
06/03/04	CITY COMMENTS
10/07/04	FINAL PLANS

REVISION RECORD

NO.	DATE	DESCRIPTION
06/23/04	06/23/04	CITY COMMENTS
07/27/04	07/27/04	CONSTRUCTION LIMITS
07/28/04	07/28/04	CONCRETE PAD
08/25/04	08/25/04	HD AND P&S FOOTPRINT
9/22/04	9/22/04	RETAIL - H.D. GARDEN
11/01/04	11/01/04	CURRENT MSI PLAN REVISIONS
03/08/05	03/08/05	H.D. PLAN REVISIONS

PROFESSIONAL SEAL

PROJECT MANAGER
PAUL PHILLIPS, P.E.
QUALITY CONTROL
STEVE RONKE

PROJECT NAME

HOLT PLAZA

MILWAUKEE
WISCONSIN

150 W. HOLT AVENUE

PROJECT NUMBER
30401.01
SpC1-e50

SHEET TITLE

SITE PLAN

SHEET NUMBER

C-1

THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES.

EXISTING SURVEY & TOPOGRAPHY OBTAINED FROM
NATIONAL SURVEY & ENGINEERING
DATED: NOVEMBER 20, 2003

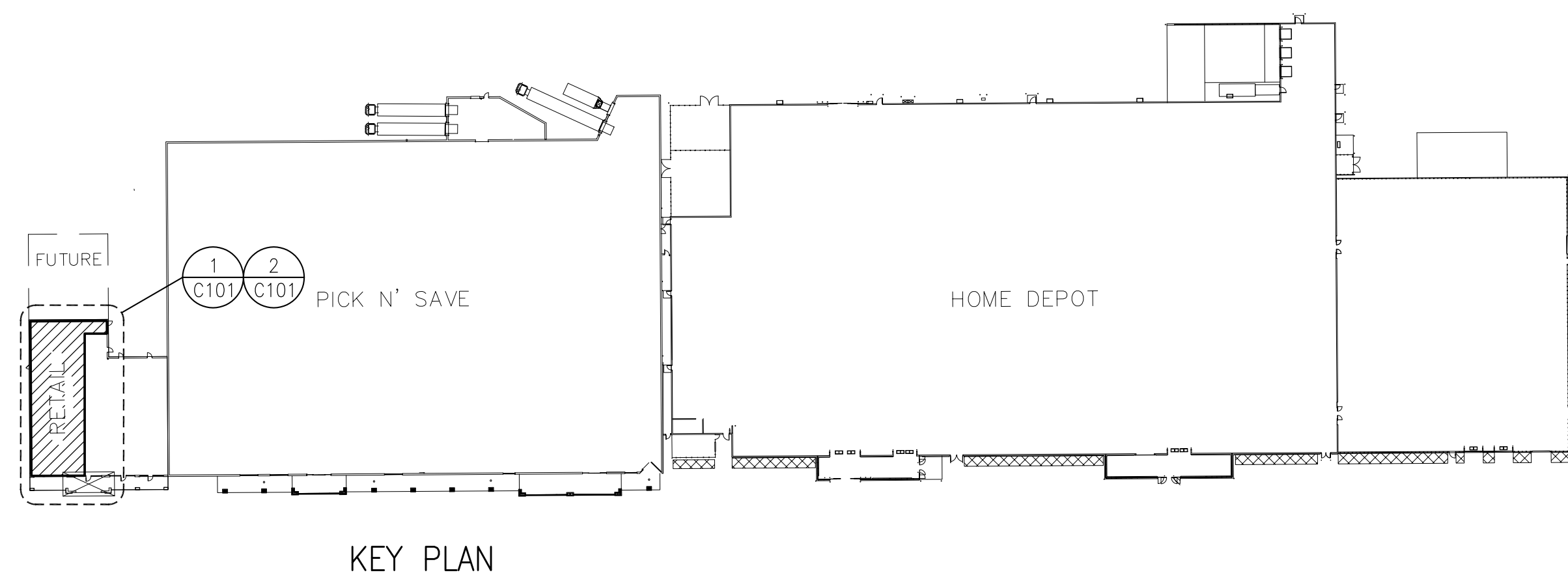
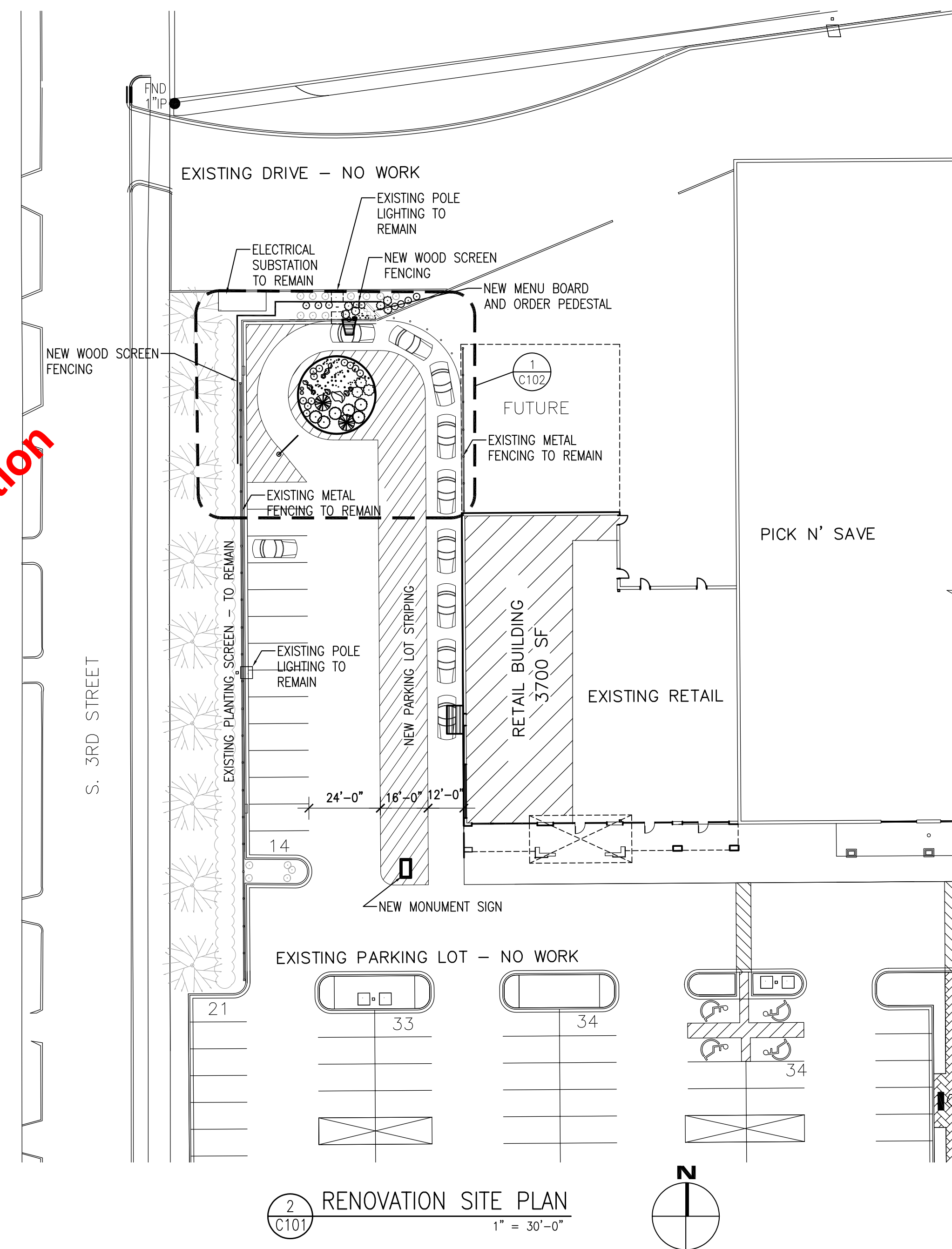
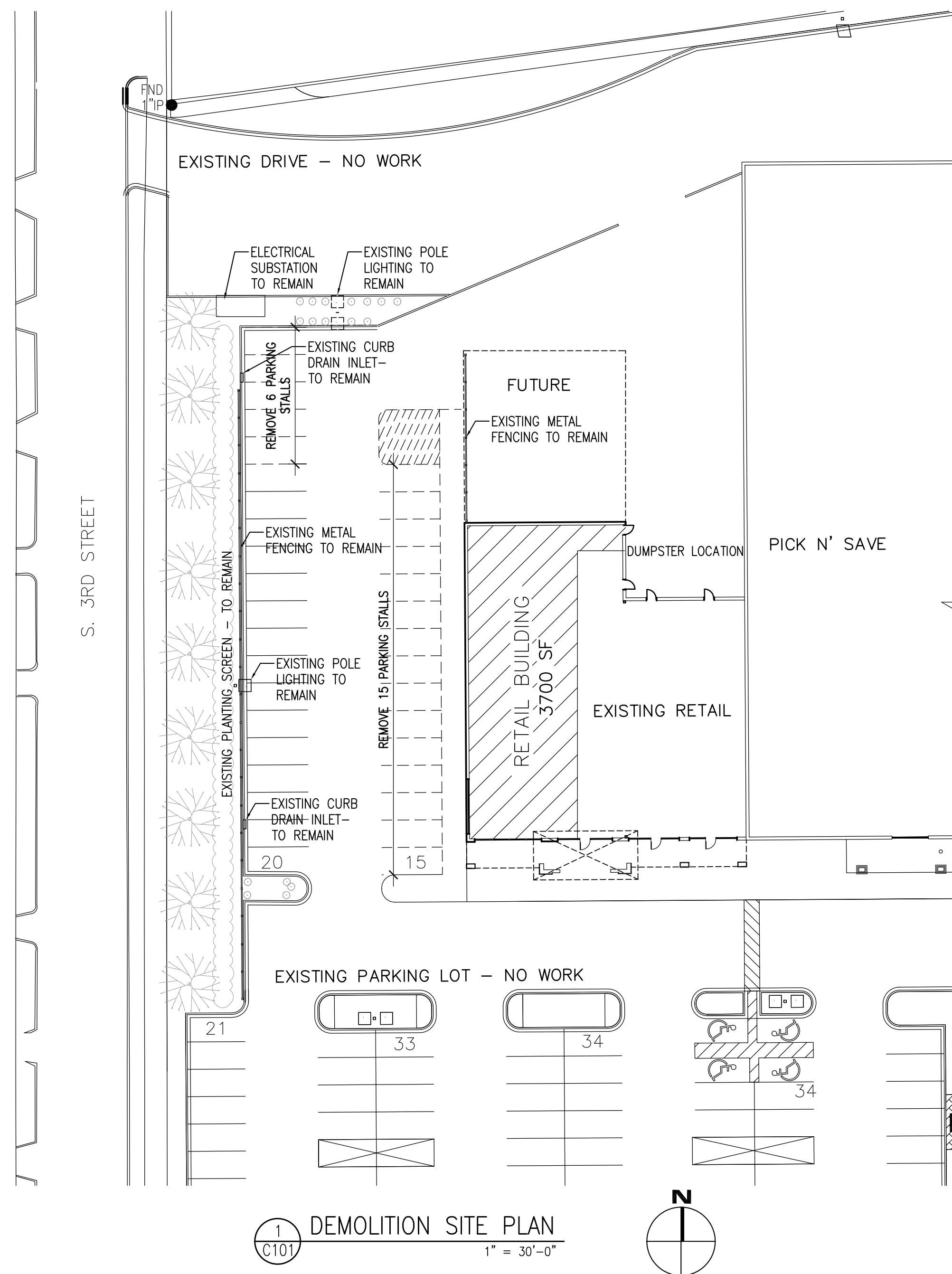
NATIONAL SURVEY & ENGINEERING ASSUMES NO
RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS
RESULTING FROM CHANGES OR ALTERATIONS MADE
TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN
CONSENT OF NATIONAL SURVEY & ENGINEERING.

GENERAL NOTES:

1. ALL DIMENSIONS ARE TO FACE OF CURB, BUILDING WALL OR PROPERTY LINE.
2. ALL RADII 4.5' UNLESS NOTED OTHERWISE.
3. HIGH SIDE CURB SHALL BE USED WHERE PAVEMENT SLOPES AWAY FROM CURB.
4. LOW SIDE CURB SHALL BE USED WHERE PAVEMENT SLOPES TOWARD THE CURB.
5. SEE ARCHITECTURAL PLANS FOR DETAIL OF THE CONCRETE CUSTOMER PICK-UP LANE.
6. SEE ARCHITECTURAL PLANS FOR CART CORRAL INFORMATION.

DIGGERS HOTLINE





Toll Free (800) 242-9811
Milwaukee Area (414) 259-1181
Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com



PRELIMINARY
Not for Construction

LEGEND

— UGE —	UNDERGROUND ELECTRIC LINES
— W —	WATERMAIN PIPE
— SAN —	SANITARY SEWER PIPE
— GAS —	UNDERGROUND GAS
=====	CURB & GUTTER

 TREE LINE
 DECIDUOUS TREE
 EVERGREEN TREE
 SHRUB

	FIRE HYDRANT
	CURBSTOP
	GATE VALVE
	LIGHT POLE
	UTILITY PEDESTAL SIGN
	CATCH BASIN
	MANHOLE
	IRON PIPE
	REBAR

ABBREVIATIONS

CONC.	CONCRETE
CMP	CORRUGATED METAL PIPE
ELEV.	ELEVATION
EXIST.	EXISTING
HYD.	HYDRANT
INV.	INVERT
FL	FLOW LINE
FF	FIRST FLOOR
LAT.	LATERAL
MH	MANHOLE
PVC	POLYVINYL CHLORIDE PIPE
RCP	REINFORCED CONCRETE PIPE
SAN.	SANITARY
SDWK.	SIDEWALK
SEW.	SEWER
STM.	STORM
TYP.	TYPICAL

HOLT PLAZA
TACO BELL TENANT BUILD-OUT
150-160 W HOLT AVENUE
MILWAUKEE, WI 53207


[illegible]

	DRAWN BY:
	RAL
	CHECKED BY:
	RAL
	JOB NO.
	B5541-001
	SET TYPE
	PRELIMINARY
	ISSUE DATE

SEPTEMBER 2014
PARKING LOT
RENOVATIONS

SHEET NO.
C101

ARCHITECT/ENGINEER:

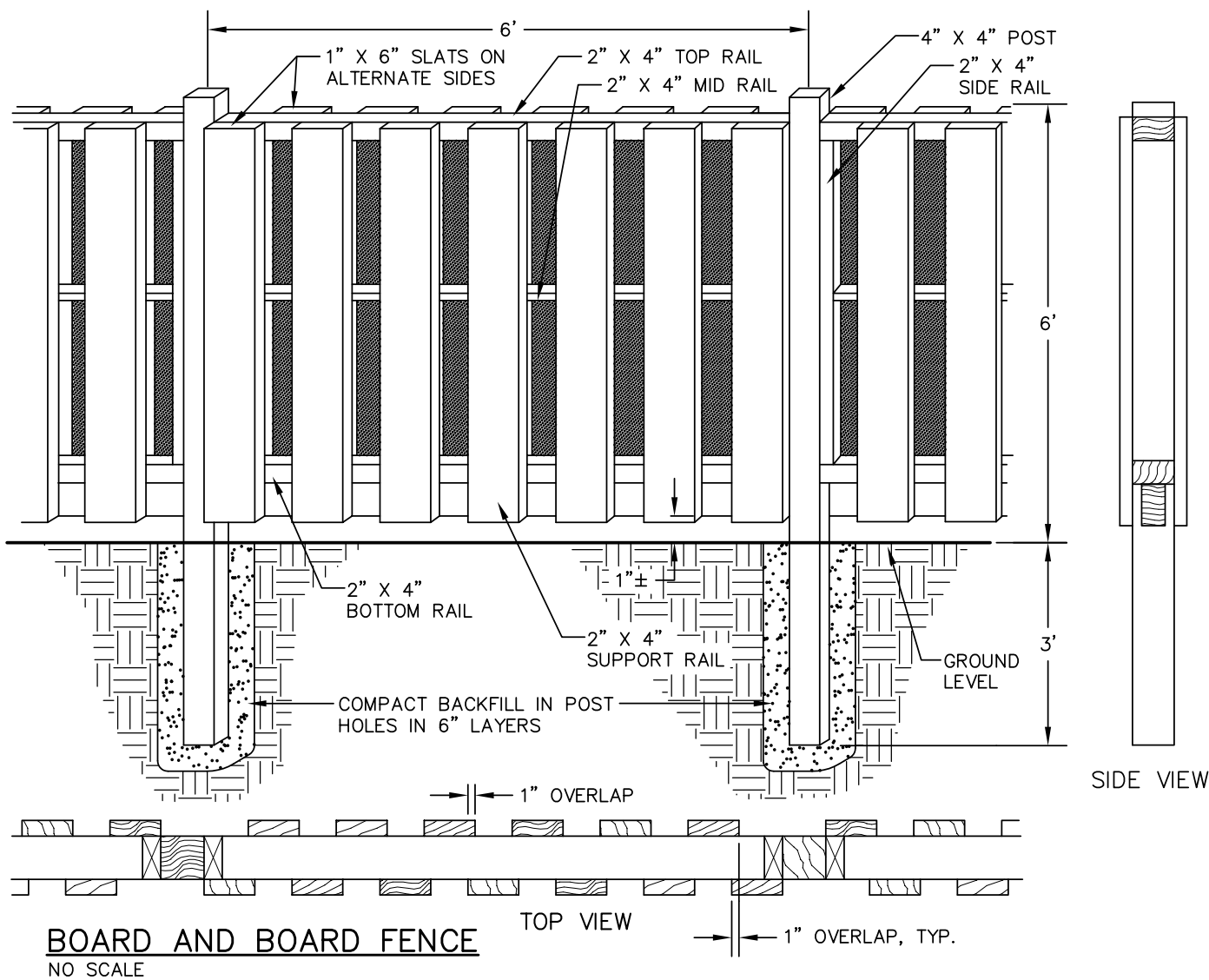


800-472-7372
www.cedarcorp.com

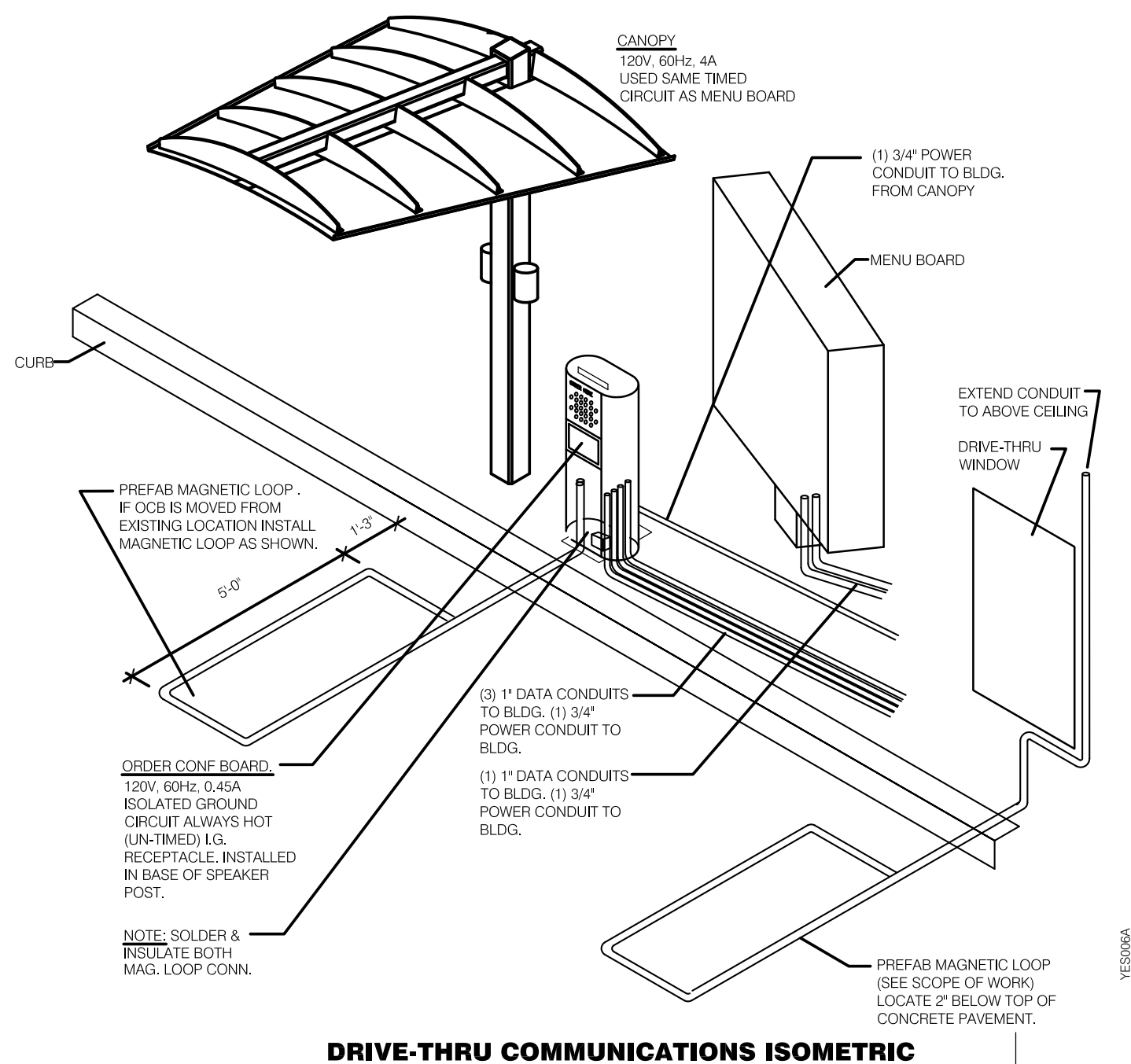
• MENOMONIE

MENOMONIE

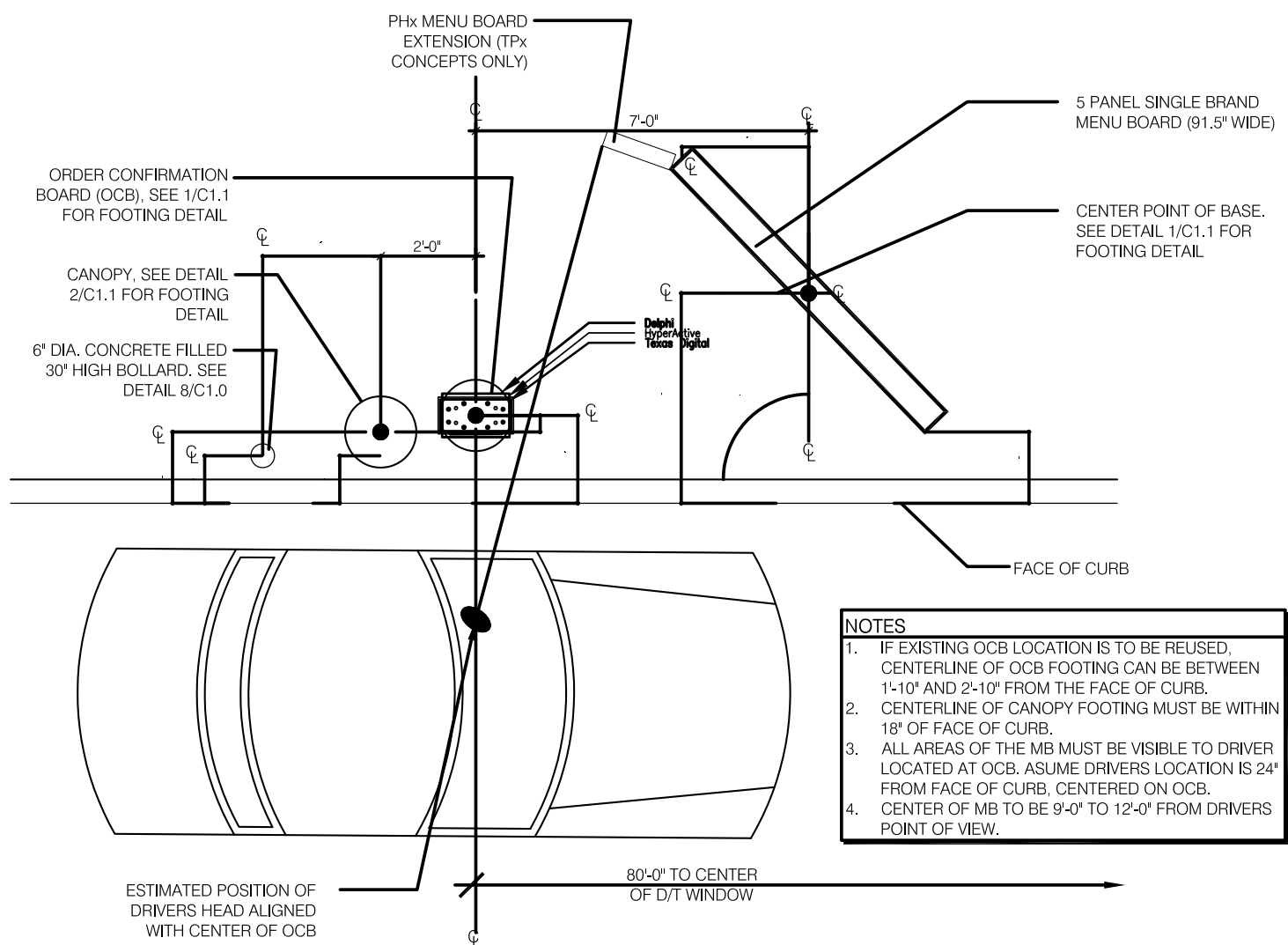
engineers • architects • planners • environmental specialists
land surveyors • landscape architects • interior designers



- NOTES:
- ALL WOOD RAILS & POSTS SHALL BE BROWN IN COLOR, PRESSURE TREATED IN ACCORDANCE WITH AASHTO DESIGNATION M 133.
 - ALL NAILS & FASTENERS SHALL BE HOT-DIP GALVANIZED IN ACCORDANCE WITH WITH ASTM A153 STANDARDS.
 - PROVIDE CONCRETE IN WOOD POST HOLES AT THE BEGINNING, END, AND CORNERS OF EACH WOOD POST RUN.
 - 204' TOTAL LINEAR FEET OF BOARD AND BOARD FENCE.
 - CONTRACTOR SHALL COORDINATE LOCATION OF FENCE W/ OWNER.



DRIVE-THRU COMMUNICATIONS ISOMETRIC

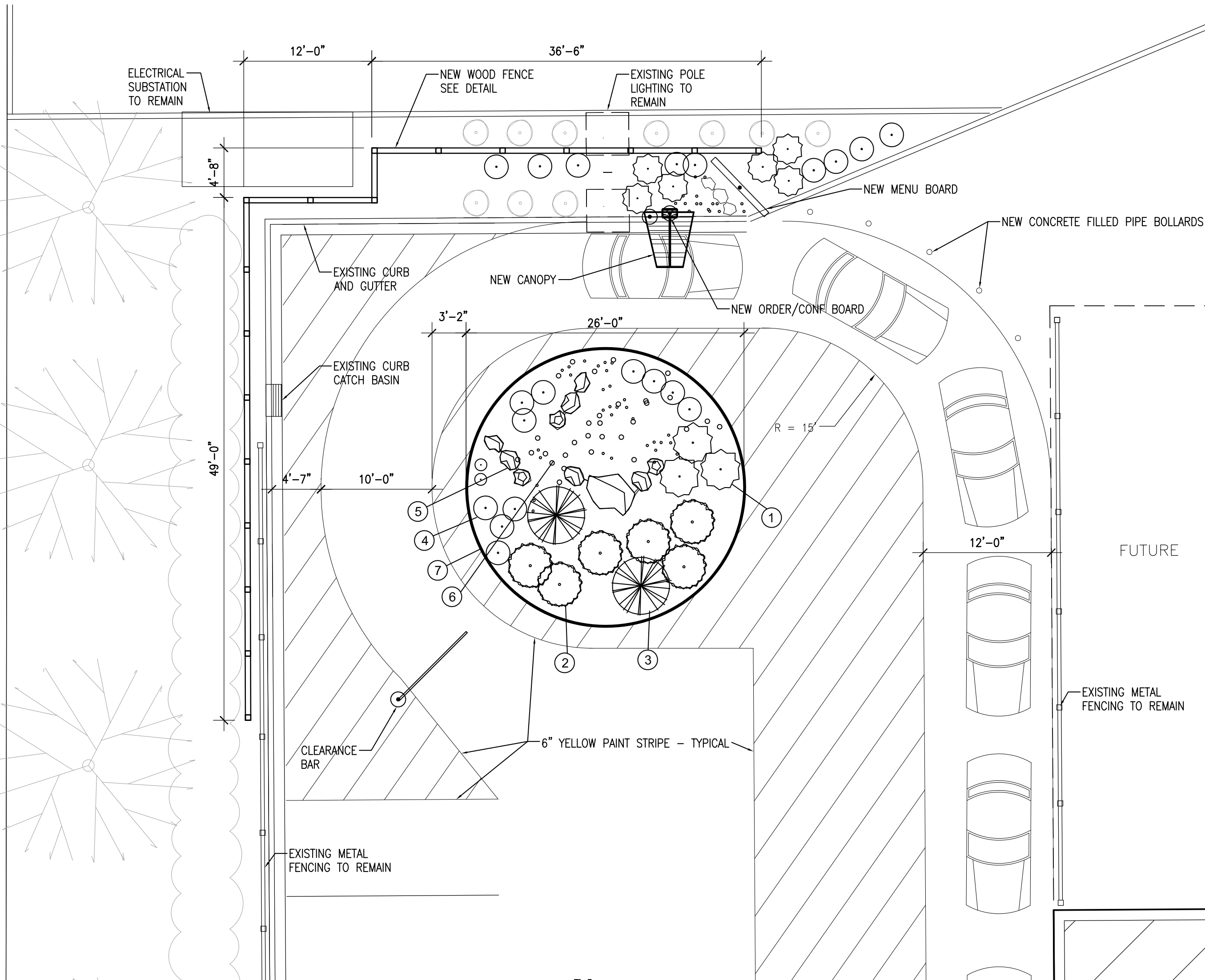


ENLARGED MENU BOARD DETAIL @ CURB

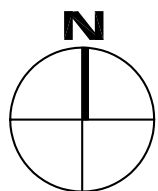
PRELIMINARY
Not for Construction

S. 3RD STREET

EXISTING SIDEWALK



1 ENLARGED SITE PLAN
1/8" = 1'-0"



REGION 5 - MIDWEST						REGION 6 - NORTH					
	MATERIAL	QTY	SIZE	HGT.	SP	MATERIAL	QTY	SIZE	HGT.	SP	
1	BLUE FESCUE FESTUCA GLAUCA	PER PLAN	3 GAL.	12"	12"	BLUE FESCUE FESTUCA GLAUCA	PER PLAN	3 GAL.	12"	12"	
2	JAPANESE BARBERRY BERBERIS THUNBERGII	PER PLAN	3 GAL.	15"	15"	CRANBERRY BUSH VIBURNUM OPIULUS	PER PLAN	3 GAL.	15"	15"	
3	SOAPWEED YUCCA GLAUCA	PER PLAN	5 GAL.			ADAM'S NEEDLE YUCCA FILAMENTOSA	PER PLAN	5 GAL.			
4	DWARF GOLDEN ARBORVITAE THUJA OCCIDENTALIS 'RHEINGOLD'	PER PLAN	5 GAL.	24"	24"	DWARF GOLDEN ARBORVITAE THUJA OCCIDENTALIS 'RHEINGOLD'	PER PLAN	5 GAL.	24"	24"	
5	LIMESTONE BOULDER SAND - GREY - 6" TO 24"	PER PLAN	6"-24"	N/A		LIMESTONE BOULDER SAND - GREY - 6" TO 24"	PER PLAN	6"-24"	N/A		
6	GRAVEL MULCH LIMESTONE - 3" AGGREGATE	PER PLAN	3"	N/A		GRAVEL MULCH LIMESTONE - 3" AGGREGATE	PER PLAN	3"	N/A		
7	STEEL EDGING	PER PLAN	N/A	3" AFG 6" BFG	N/A	STEEL EDGING	PER PLAN	N/A	3" AFG 6" BFG	N/A	

MATERIALS LEGEND						LANDSCAPE NOTES					
	1		4		7	1.	GRAVEL MULCH SHALL BE CONTINUOUS TO EDGE OF STEEL BORDER & CONCRETE CURB. ALSO UNDER ALL PLANTS				
	2		5			2.	PROVIDE WEED BARRIER UNDER GRAVEL MULCH				
	3		6			3.	PROVIDE A INDUSTRY STANDARD DRIP IRRIGATION SYSTEM APPROPRIATE FOR THE SELECTED REGION AND PLANTING TYPES				
						4.	PLANTS SHALL BE PLANTED PER REGIONAL BEST PRACTICES INCLUDING BUT NOT LIMITED TO SUPPORT, DEPTH/WIDTH OF PLANTING HOLE AND SOIL AMMEDEMENTS				
						5.	SEE SHEET C1.0 AND C1.1 FOR ADDITIONAL TACO BELL SPECIFIC DETAILS INCLUDING THE MENU BOARD, ENTRY PORTALL AND OCB/CANOPY.				

ARCHITECT/ENGINEER:

CONSULTANT:

800-472-7372
www.cedarcorp.com

GREEN BAY

MADISON

MEMORONIE

Cedar
corporation

engineers • architects • planners • environmental specialists
land surveys • landscape architects • interior designers

HOLT PLAZA

TACO BELL TENANT BUILD-OUT

150-160 W HOLT AVENUE

MILWAUKEE, WI 53207

REVISIONS		
NO.	DATE	DESCRIPTION

DRAWN BY:

RAL

CHECKED BY:

RAL

JOB NO.

B5541-001

SET TYPE

PRELIMINARY

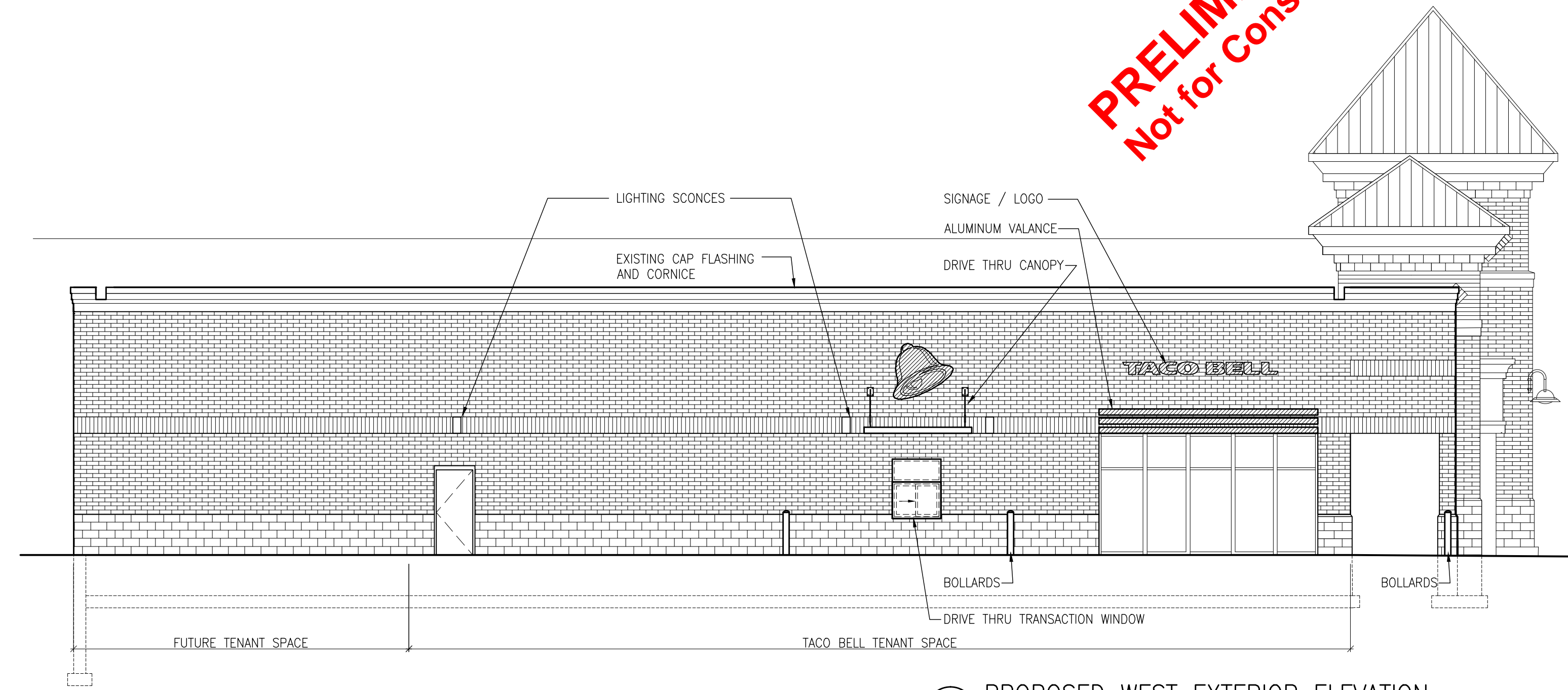
ISSUE DATE

SEPTEMBER 2014

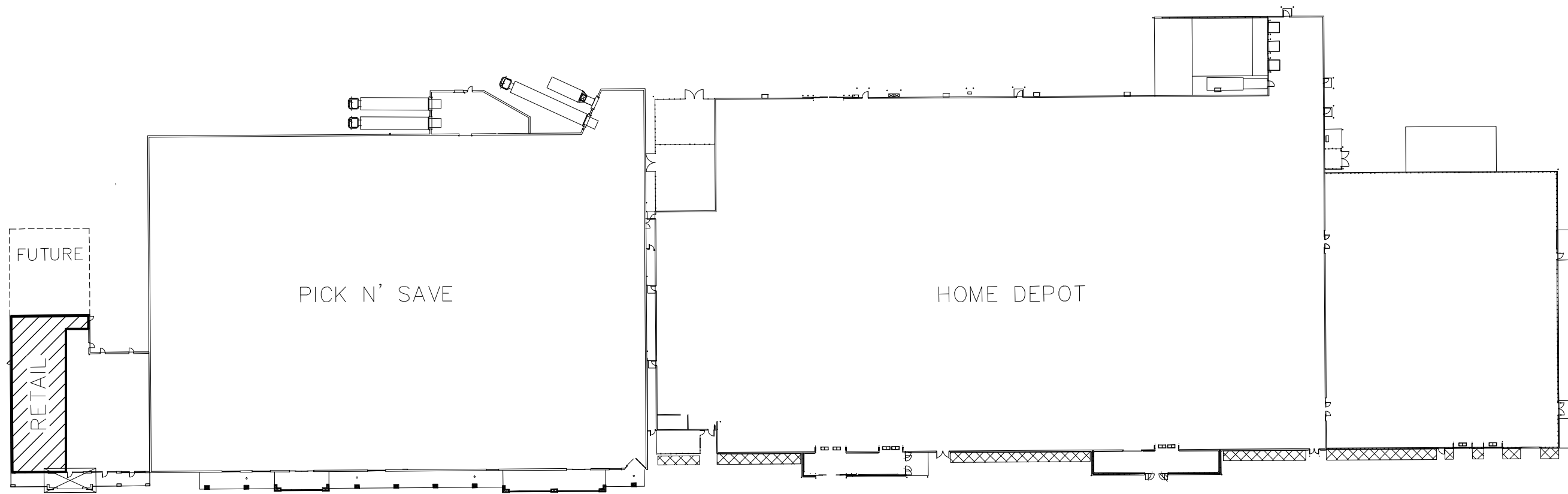
**PARKING LOT
DETAILS**

SHEET NO.

C102



4
A401
PROPOSED WEST EXTERIOR ELEVATION
1/8" = 1'-0"



KEY PLAN



3
A401
PROPOSED ALTERNATE SOUTH EXTERIOR ELEVATION
1/8" = 1'-0"



2
A401
PROPOSED SOUTH EXTERIOR ELEVATION
1/8" = 1'-0"



1
A401
EXISTING SOUTH EXTERIOR ELEVATION
1/8" = 1'-0"

REVISIONS		
NO.	DATE	DESCRIPTION

DRAWN BY:	XXX
CHECKED BY:	XXX
JOB NO.	B5541-001
SET TYPE	PRELIMINARY
ISSUE DATE	SEPTEMBER 2014
EXTERIOR ELEVATIONS	

SHEET NO.	A401
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Elle
NAILS & SPA

EAT CLIPS

JIMMY
JOHN'S

NOW
OPEN



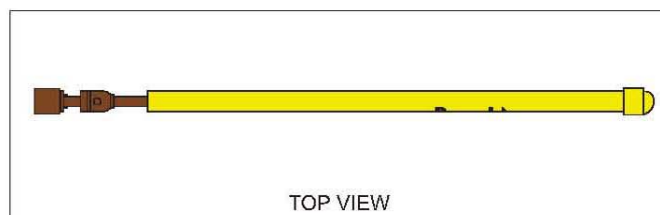








V-331



SPECIFICATIONS

DESIGN PARAMETERS:

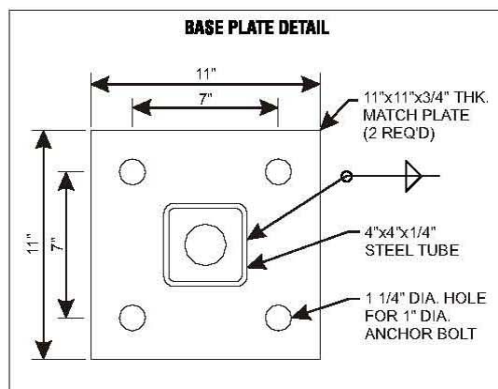
- **Structural adequacy shall be the manufacturer's responsibility using the following criteria:**
- 100 MPH 3 second gust wind speed, Exposure C, Category II. Components & Cladding, Zone 5.
- Snow load as required.
- 300 PSF per foot of depth allowable lateral soil bearing pressure.
- Compliant with national building codes and standards (IBC 2009, AISC 13th Edition, ASCE 7-05, ACI & Aluminum Design Manual).
- Refer to written documentation for material specifications.

CANOPY:

- 4"x4"x1/4" steel tube column
- Adjustable mounting plate and hinge assembly for clearance bar
- 4" PVC tube sleeved over 2"x3" steel tube for clearance bar

GRAPHIC & COLOR SPECIFICATIONS:

- 1 TB Bronze Tiger Drylac 49-68230 C33
- 2 Plum PMS 2685U
- 3 Amber Wave SW-6857 PMS 138U
- 4 PMS 131U
- 5 PMS 139U
- 6 Yellow PMS 108U
- 7 Pantone Process Magenta U
- 8 Pantone Violet U
- 9 Pantone Black
- 10 Benjamin Moore Bavarian Creme White #2148-70
- 11 Violet 3M Vinyl 3630-9126
- 12 White Matte - Cabinet Interior



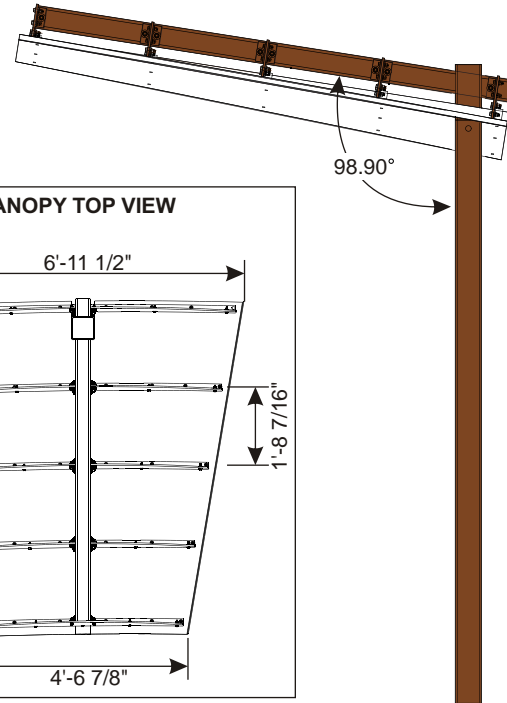
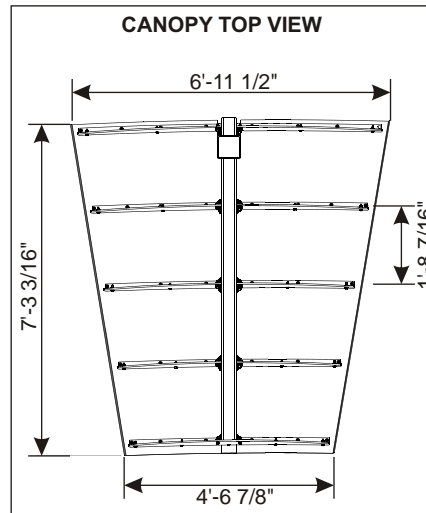
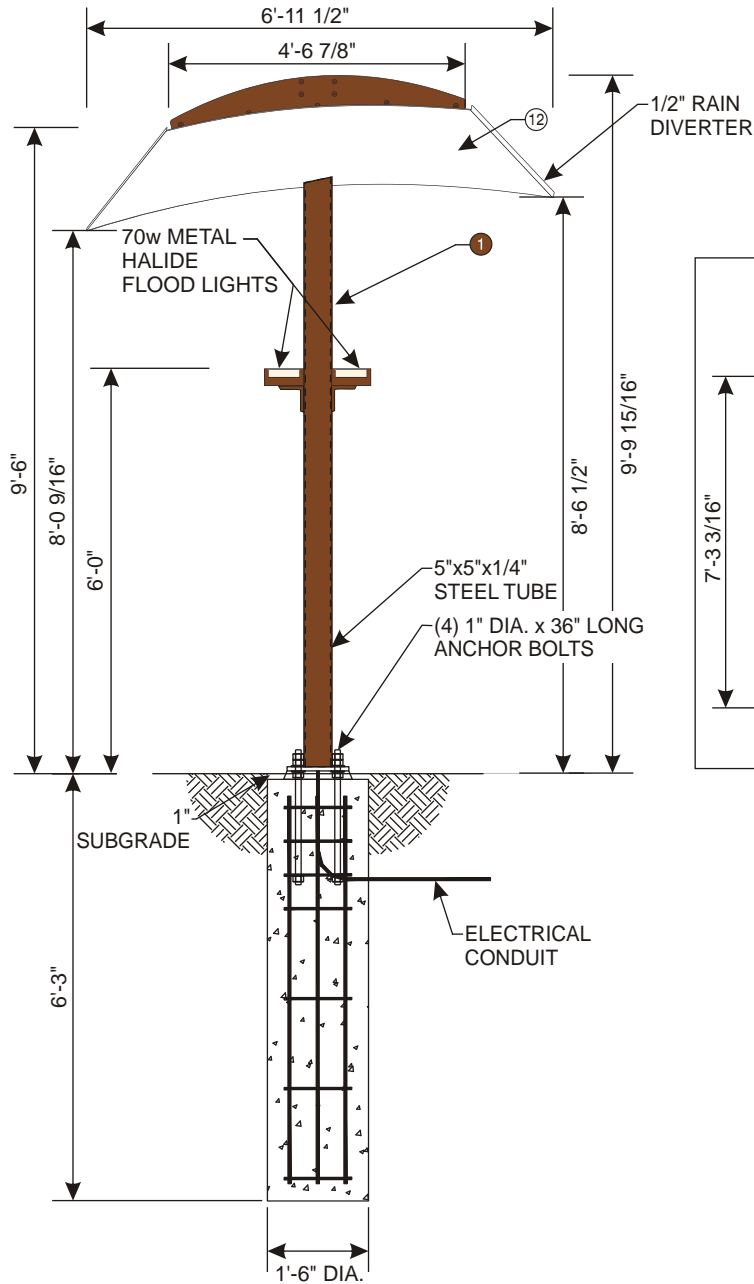
NOT FOR CONSTRUCTION
DECEMBER 2012





Taco Bell - DT Canopy

V-332



SPECIFICATIONS

DESIGN PARAMETERS:

- **Structural adequacy shall be the manufacturer's responsibility using the following criteria:**
- 100 MPH 3 second gust wind speed, Exposure C, Category II. Components & Cladding, Zone 5.
- Snow load as required.
- 300 PSF per foot of depth allowable lateral soil bearing pressure.
- Compliant with national building codes and standards (IBC 2009, AISI 13th Edition, ASCE 7-05, ACI & Aluminum Design Manual).
- Refer to written documentation for material specifications.

CANOPY

- 5"x5"x1/4" steel tube column
- 4"x4"x1/4" steel tube horizontal canopy support
- .063 aluminum canopy deck
- 1/4" steel rib plates - rafters

ELECTRICAL SPECIFICATIONS

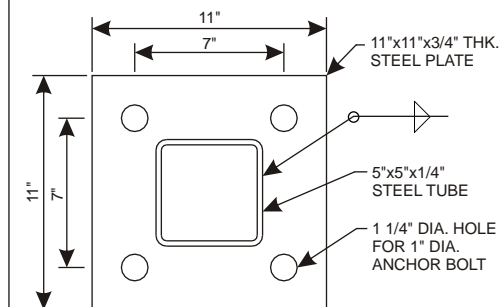
UL & NEC approval required.

Lamp(s): (2) Flood lights - 70W Metal Halide

Total Load: 1.17 amps/120 volts

Circuits(s): (1) 20 amp-120V

BASE PLATE DETAIL



GRAPHIC & COLOR SPECIFICATIONS:

- ① TB Bronze Tiger Drylac 49-66230 C33
- ② Plum PMS 2685U
- ③ Amber Wave SW-6657 PMS 138U
- ④ PMS 131U
- ⑤ PMS 139U
- ⑥ Yellow PMS 108U
- ⑦ Pantone Process Magenta U
- ⑧ Pantone Violet U
- ⑨ Pantone Black
- ⑩ Benjamin Moore Bavarian Creme White #2146-70
- ⑪ Violet 3M Vinyl 3630-9126
- ⑫ White Matte - Cabinet Interior

NOT FOR CONSTRUCTION
DECEMBER 2012



Memo

Re: Drive-Thru Sound Pressure Levels From the Menu Board or Speaker Post

The sound pressure levels from the menu board or speaker post are as follows:

1. Sound pressure level (SPL) contours (A weighted) were measured on a typical HME SPP2 speaker post. The test condition was for pink noise set to 84 dBA at 1 foot in front of the speaker. All measurements were conducted outside with the speaker post placed 8 feet from a non-absorbing building wall and at an oblique angle to the wall. These measurements should not be construed to guarantee performance with any particular speaker post in any particular environment. They are typical results obtained under the conditions described above.
2. The SPL levels are presented for different distances from the speaker post:

Distance from the Speaker (Feet)	SPL (dBA)
1 foot	84 dBA
2 feet	78 dBA
4 feet	72 dBA
8 feet	66 dBA
16 feet	60 dBA
32 feet	54 dBA

3. The above levels are based on factory recommended operating levels, which are preset for HME components and represent the optimum level for drive-thru operations in the majority of the installations.

Also, HME incorporates automatic volume control (AVC) into many of our Systems. AVC will adjust the outbound volume based on the outdoor, ambient noise level. When ambient noise levels naturally decrease at night, AVC will reduce the outbound volume on the system. See below for example:

Distance from Outside Speaker	Decibel Level of standard system with 45 dB of outside noise <u>without</u> AVC	Decibel level of standard system with 45 dB of outside noise <u>with</u> AVC active
1 foot	84 dBA	60 dBA
2 feet	78 dBA	54 dBA
4 feet	72 dBA	48 dBA
8 feet	66 dBA	42 dBA
16 feet	60 dBA	36 dBA

If there are any further questions regarding this issue please contact HME customer service at 1-800-848-4468.

Thank you for your interest in HME's products.