

The Hills Luxury Commons: Block B

1937 N. Hubbard Street
Milwaukee, WI 53202

Amendment to the Detailed Plan Development known as
Brewer's Hill Commons Phase VI, File 160114



Table Of Contents

• Project Team	3
• Owner's Statement of Intent	4
• Detailed Plan Project Description	5
• Vicinity Map	6
• Site Images	7
• Arhitectural Site Plan	8
• Civil Site Survey	9
• Civil Site Plan	11
• Civil Site Details	12
• Civil Site Grading Plan	16
• Civil Site Utility Plan	17
• Civil Landscape Plan + Details	18
• Architectural Building Elevations	20
• Elevation Bay Studies	26
• Project Renderings	27

Project Team

OWNER



ARCHITECT



CIVIL & LANDSCAPE



CONSTRUCTION MANAGER



Kevin Newell
CEO/President
710 N. Plankinton Ave, Suite 1200
Milwaukee, WI 53203
p: 414.847.6275
Email: kevin.newell@royal-cg.com

Terrell Walter
Operations & Project Manager
710 N. Plankinton Ave, Suite 1200
Milwaukee, WI 53203
p: 414.847.6275
Email: terrell.walter@royal-cg.com

Jason Korb AIA LEED AP
President
648 N. Plankinton Ave, Suite 240
Milwaukee, WI 53203
p: 414.988.7430
Email: jkorb@kaa-arch.com

Ajay Singh
Vice President
3636 N. 124th St.
Milwaukee, WI 53222
p: 262.821.1171

Kevin Mantz AIA
President
710 N. Plankinton Ave, Suite 1100
Milwaukee, WI 53203
p: 414.274.2816
Email: kevin.mantz@zilber.com

Owner's Statement of Intent & Detailed Plan Project Description

Owners Statement of Intent:

Brewers Hill DPD - File No. 160114, Phase VI (Block B)

The Brewers Hill neighborhood is the benefactor of a strategic General Planned Development (GPD). Initiated in 1999, the GPD (File No. 990181, and subsequently amended in 2003 as File No. 030976) encompassed the revitalization and repurpose of former manufacturing sites in the near downtown area. The housing plan called for the development of single family, town homes, and multifamily apartments/condos to be constructed in a series of 7 phases, 4 of which have been constructed (Phases I, II, III and IV). The success of the GPD has created a vibrant neighborhood full of diversity, energy, and economic activity. In 2004, a Detailed Plan Development (DPD) was approved for the parcel located on the SW corner of Hubbard/Brown (Phase VI-Block B, File No. 030624). The current development team, Royal Capital Group, is proposing an amendment to the GPD (File No. 160113 - to allow an increase in number of units and other site-related factors) and the Phase VI DPD to approve a new site plan and building elevations for the undeveloped site known as phase VI of the Brewers Hill Commons (Block B).

Phase VI-Block B

The development team is proposing a change to the Detailed Development Plan (DDP) for the parcel(s) located at the SW Corner of Hubbard and Brown. The amended DDP will include (84) residential units with 1 and 3 bedroom unit types, and at least one parking space per residence. Maintaining the same character of the approved DDP (file number 030624), the proposed development will feature two buildings (East & West), with up to fifty (50) covered parking spaces located at-grade, and up to forty-one (41) surface parking spaces located between the two buildings. Each of the buildings will be four (4) stories tall with up to 25 parking spaces at grade (up to 50 covered spaces). Both the East and West buildings will feature four (4) direct-entry walk-up units on Brown street, along with a grand entrance to access the units on floors 2-4. The development will include high end finishes including stainless steel appliances, luxury wood style plank floors, quartz/granite counter tops, private balconies, roof top terraces, a club/ party room, fitness center, and enclosed heated parking.

Planned Development Project Description

Uses:

Multi-family dwelling, parking lot accessory use, parking structure accessory use.

Space Between Structures:

At the midblock condition along Brown Street, the two buildings dogleg towards each other to create a more urban streetwall. The gap between the building at this condition is 50'-0". At the parking court, the gap between the buildings is 173'.

Setbacks:

The East building is zero lot line building along Brown Street, and is set back three feet from the Hubbard Street property line to allow for a landscape buffer. The West building's primary structure is set back five feet from the Brown street property line, allowing for patios with garden walls along the main facade. The West building is set back approximately three feet from the Palmer Street property line to allow for a landscape buffer.

Screening:

All utility and HVAC equipment, with the possible exception of the electrical transformer, will not be visible from the street. They will be housed in the building or located on the roof. If possible, the transformer will be located in the parking court and screened appropriately.

Open Spaces:

The primary open space for the project is the parking courtyard that is created between the east and west buildings. Although primarily a parking lot, there are opportunities for usable green space in this area. The other main open space is a roof terrace on the South end of each parking structure.

Circulation, Parking and Loading:

Each building contains an enclosed, heated garage at ground level, with up to 25 parking stalls in each building. These garages are accessed from Hubbard and Palmer Streets respectively. There is a central surface parking lot, accessed from Brown Street, with one way in and out dual curb cuts mid block.

The main pedestrian entrance of each building is centrally located on the Brown street facades. Each building lobby is flanked by two walk up units on each side; there are ten total entrances on Brown Street.

Bicycle parking will be located internal to the parking structures at the north end(s), with overflow racks outdoors if needed.

Refuse for both structures is handled via internal trash rooms in the interior parking areas. Dumpsters will be rolled out for collection through the parking entrances. Move in and move out are anticipated to occur on Brown Street due to elevator proximity.

Landscaping:

The landscape theme developed for The Hill- Block B is a rather simple approach. The clean, linear lines of the architecture dictate the simple, block-massing of perennials, grasses and shrubs. New street trees are introduced on the public fronts of the project, fully integrating this new building to the block. The project features an assortment of raised planters and garden walls along the three (3) public sides. These planters will aid in lessening and navigating the slope of the site (North to South). These planters will serve as step/retaining walls at the various unit entries. One of the proposed planter/ garden wall area (the North side of the east Building) is contingent upon the receipt of a special privilege, which the developer will apply for. The site is buffered from the adjoining south property with an evergreen/ornamental tree screen/buffer.

Block B has a small drive opening in the mid-block area of East Brown Street for safe parking lot access. The actual parking lot served by this access drive is set back behind/between the proposed buildings of Block B. The parking lot landscaping on this project will follow the Type A landscaping (per 295-405 of the Milwaukee Zoning Code). All required vegetation and plantings in the interior areas shall be of a quality consistent of the American Association of Nurserymen (ANSO 260.1). All required vegetation shall be maintained on an ongoing basis, including seasonal tree and plant replacement.

Lighting:

Adequate lighting shall be provided for both structures along the North elevation, as well as along the East and West elevations. The lighting shall comply with requirements outlined in section 295-409.2 of the City of Milwaukee City Charter and Code of Ordinances.

Utilities:

All utility lines shall be installed underground if allowed, otherwise existing poles will remain in place.. Transformers and substations will be installed within buildings or otherwise screened from view.

Signs:

Building signage for Phase VI will include up to two wall mounted address signs located at the northeast and northwest corners of the site, as well as address signs located at the entrances to the eight walkup units, and an additional address sign at the shared lobby of each building. Address signs will be either surface mounted raised metal characters or frosted glass. Signs will be Type A (only letters and logos illuminated) and constructed with high quality building materials that match the building. Signs will not exceed approximately 4 feet in height and 36 square feet overall. Temporary signage during construction and leasing will consist of up to two (2) 4 foot by 8 foot banners with a printed graphic of the project and contact information attached to the construction fence.

Block B (Phase VI) Overview:

Total lot square footage: 57,247 SF (1.31 Acres)

Maximum amount of land covered by Principal Structures: 26,706 SF - 47%

Maximum amount of land devoted to Parking structures: 16,340 SF - 29%

Maximum amount of land devoted to Parking lot and drives: 15,478 SF - 27%

Maximum amount of land devoted to Landscaped open Space: 14,951 SF - 26%

Proposed number of buildings: Two

Number of dwelling units: 84

Bedrooms per unit: One and Three - Total bedroom count: 92

Parking spaces provided: Up to 88: Approx. one per dwelling unit

Block B density: 682 SF/ Dwelling unit





Block B - Brown Street



Block B - Brown & Palmer



Block B - Hubbard Street



Block B



Block B



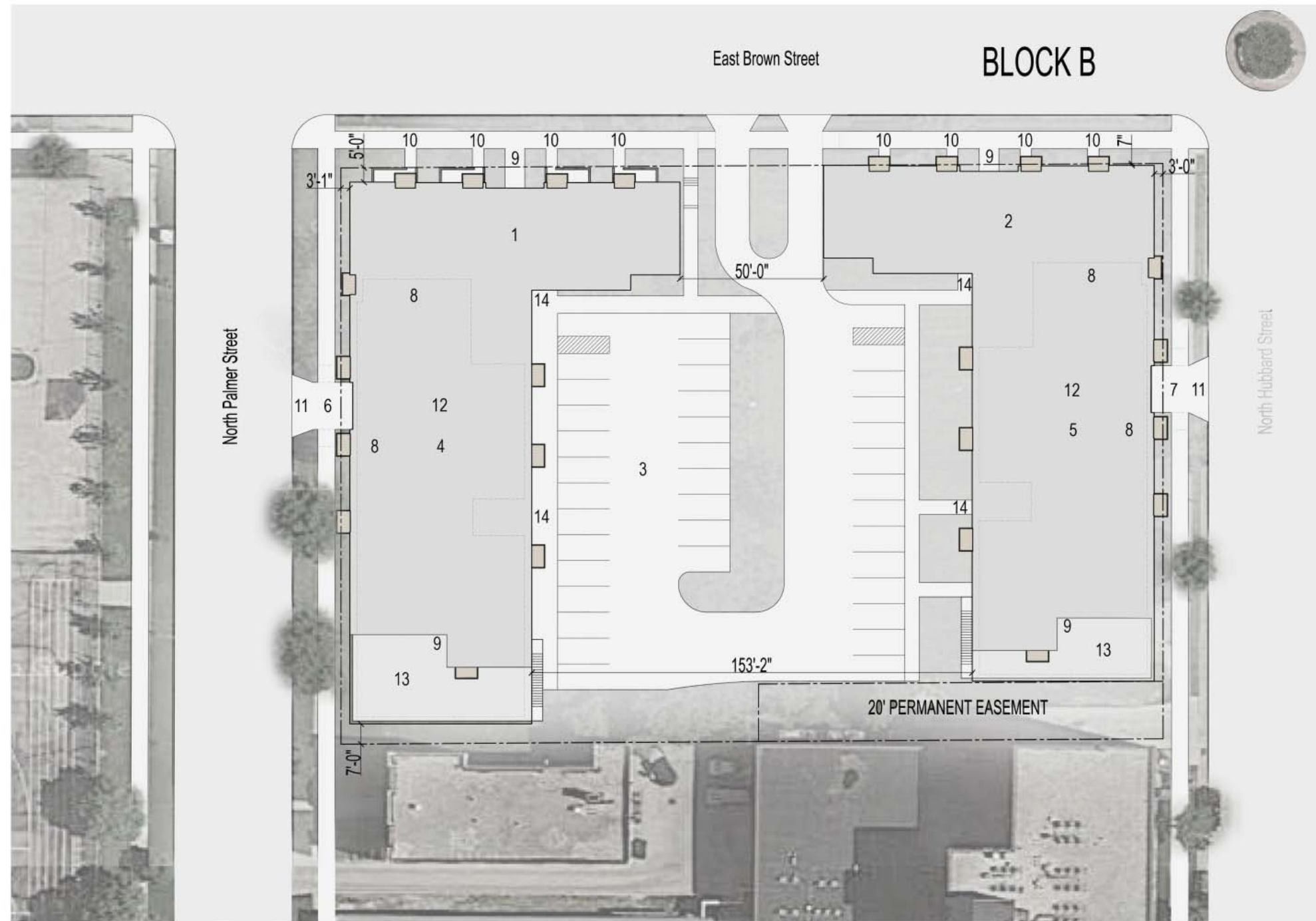
Block B

SITE PLAN KEY

1. BUILDING 1 (FOUR FLOORS)
2. BUILDING 2 (FOUR FLOORS)
3. SURFACE PARKING
4. BUILDING 1 PARKING GARAGE
5. BUILDING 2 PARKING GARAGE
6. BUILDING 1 GARAGE ENTRANCE
7. BUILDING 2 GARAGE ENTRANCE
8. INTERIOR BICYCLE PARKING
9. MAIN PEDESTRIAN ENTRANCE
10. WALK UP UNITS
11. REFUSE COLECTION
12. LOADING FACILITY
13. COMMUNITY DECK (ONE FLOOR)
14. PEDESTRIAN ENTRY

88 PARKING SPACES

- 38 SPACES- SURFACE PARKING
- 25 SPACES- GARAGE 1
- 25 SPACES- GARAGE 2



ALTA/NSPS LAND TITLE SURVEY

SITUATED ON E. BROWN STREET
LOTS 1, 2, 3, 4, 5, 6, 7 AND 8, IN BLOCK 31, TOGETHER WITH THE EAST 500 FEET OF VACATED N. PALMER STREET ADJACENT TO LOTS 2, 3, 4 AND 7, IN SHERMAN'S ADDITION, IN THE NORTHEAST 1/4 OF SECTION 26, IN TOWNSHIP 7 NORTH, RANGE 22 EAST, IN THE CITY OF MILWAUKEE, COUNTY OF MILWAUKEE, STATE OF WISCONSIN.

MAY 3, 2016 BROWN STREET I, LLC SURVEY NO. 4992
BROWN STREET II, LLC

NOTES:

- A. BEARINGS ARE BASED ON THE NORTH LINE OF THE LOT 1 IN CERTIFIED SURVEY MAP NO. 6980, WHICH IS ASSUMED TO BEAR N 89° 36' 30" E.
- B. THIS SURVEY WAS PREPARED BASED ON FIRST AMERICAN TITLE INSURANCE COMPANY, TITLE COMMITMENT NO. NCS-745287-MKE, EFFECTIVE DATE OF MARCH 23, 2016, REVISED APRIL 22, 2016, WHICH LIST THE FOLLOWING EASEMENTS AND/OR RESTRICTIONS:

- 1-3 AFFECTS SITE IF ANY, SHOWN.
- 4-11,14-15 NOT SURVEY RELATED, NOT SHOWN.
- 12. TERMS, PROVISIONS AND CONDITIONS SET FORTH IN EASEMENT AGREEMENT DATED OCTOBER 1, 1999, AND RECORDED ON OCTOBER 9, 1999, IN REEL 4665, IMAGE 1927, AS DOCUMENT NO. 7818.232 (AS TO PARCEL 6, AFFECTS SITE, SHOWN).
- 13. RIGHTS OF ENTRANCE TO, MAINTENANCE, CONSTRUCTION, OR REPAIR OF ANY UTILITY STRUCTURES, IMPROVEMENTS OR SERVICES WHICH MAY BE UNDER THE SURFACE OF THE PORTION THE LAND LYING WITHIN VACATED NORTH PALMER STREET, PURSUANT TO SECTION 66.1005(2) (A) WISCONSIN STATUTES AND CERTIFIED COPY OF RESOLUTION VACATION-FILE NO. 991923 RECORDED ON AUGUST 10, 2001, AS DOCUMENT NO. 8115163. (AS TO PARCEL 6, AFFECTS SITE, SHOWN).

- C. ACCORDING TO FLOOD INSURANCE RATE MAP OF THE COUNTY OF MILWAUKEE, COMMUNITY PANEL NO. 55079C0091E, EFFECTIVE DATE OF SEPTEMBER 26, 2008, THIS SITE FALLS IN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN).
- D. THE BASIC ZONING INFORMATION LISTED BELOW IS TAKEN FROM MUNICIPAL CODES AND DOES NOT REFLECT REGULATIONS THAT MAY APPLY-SITE IS ZONED PD PLANNED DEVELOPMENT DISTRICT.

SETBACKS. A PLANNED DEVELOPMENT EXCEEDING 5 ACRES IN SIZE SHALL PROVIDE A SETBACK OF AT LEAST 25 FEET AROUND THE PERIMETER OF THE SITE, UNLESS A SMALLER SETBACK IS APPROVED BY THE COMMON COUNCIL, BECAUSE ADJACENT BUILDINGS HAVE SETBACKS THAT ARE LESS THAN 25 FEET.

- E. THERE ARE NO REGULAR AND NO HANDICAPPED PARKING SPACES MARKED ON THIS SITE.

TO:
ROYAL CAPITAL GROUP, LLC
BROWN STREET I, LLC AND BROWN STREET II, LLC
FIRST AMERICAN TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, INCLUDES ITEMS 1, 2, 3, 4, 6, 7(a), 7(c), 8, 9, 10 AND 11 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON MAY 3, 2016.

DATE OF PLAT OR MAP: MAY 17, 2016

PAUL A. KUBICEK
WISCONSIN PROFESSIONAL LAND SURVEYOR NO. S-2232



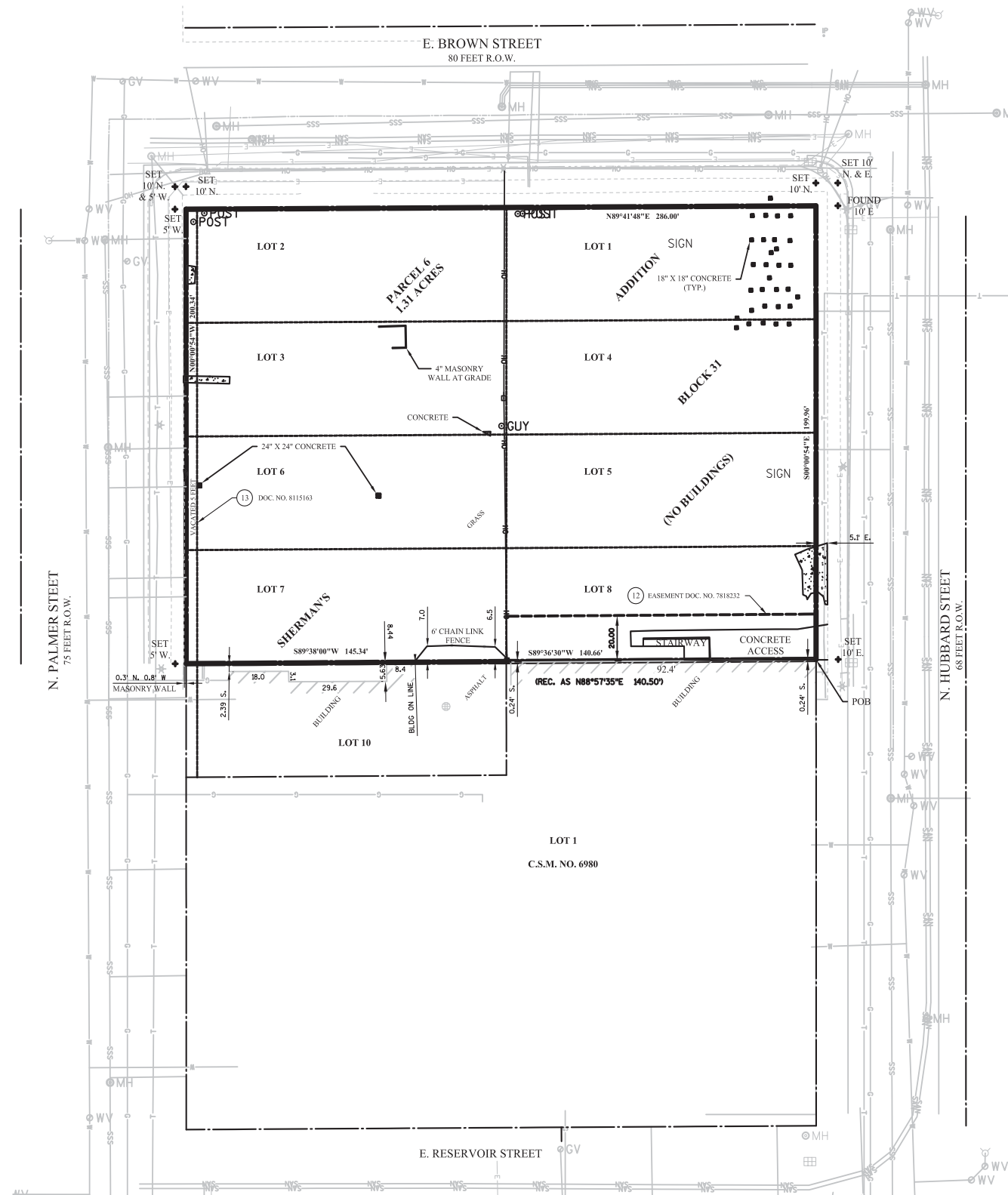
VICINITY MAP
NOT TO SCALE

- IRON PIPE
- IRON
- MANHOLE
- ROUND INLET
- INLET
- METER
- GUY POLE
- GAS VALVE
- WATER VALVE
- POWER POLE
- LIGHT POLE
- CHIMNEYS
- UG ELECTRIC
- UG WATER
- OVERHEAD
- UG FIBER OPTIC
- UG TELEPHONE
- UG GAS LINE
- UG MANHOLE
- UG COMBINED SEWER
- CONCRETE BUILDING

LEGEND
NOT TO SCALE



0 15 30 60
GRAPHIC SCALE 1"=30'



TITLE: ALTA/NSPS LAND TITLE SURVEY
PROJECT TITLE: BREWER HILL DEVELOPMENT - BLOCK B
CLIENT: ROYAL CAPITAL GROUP, LLC
PROJECT LOCATION: SITUATED ON NORTH BROWN STREET

TITLE:
PROJECT TITLE:
CLIENT:
PROJECT LOCATION:

REVISIONS	DATE	DESCRIPTION

DRAWN BY KMA	DATE 05/17/2016
CHECKED BY PAK	DATE 05/17/2016

SHEET TITLE
ALTA/NSPS LAND TITLE SURVEY

AS101D30

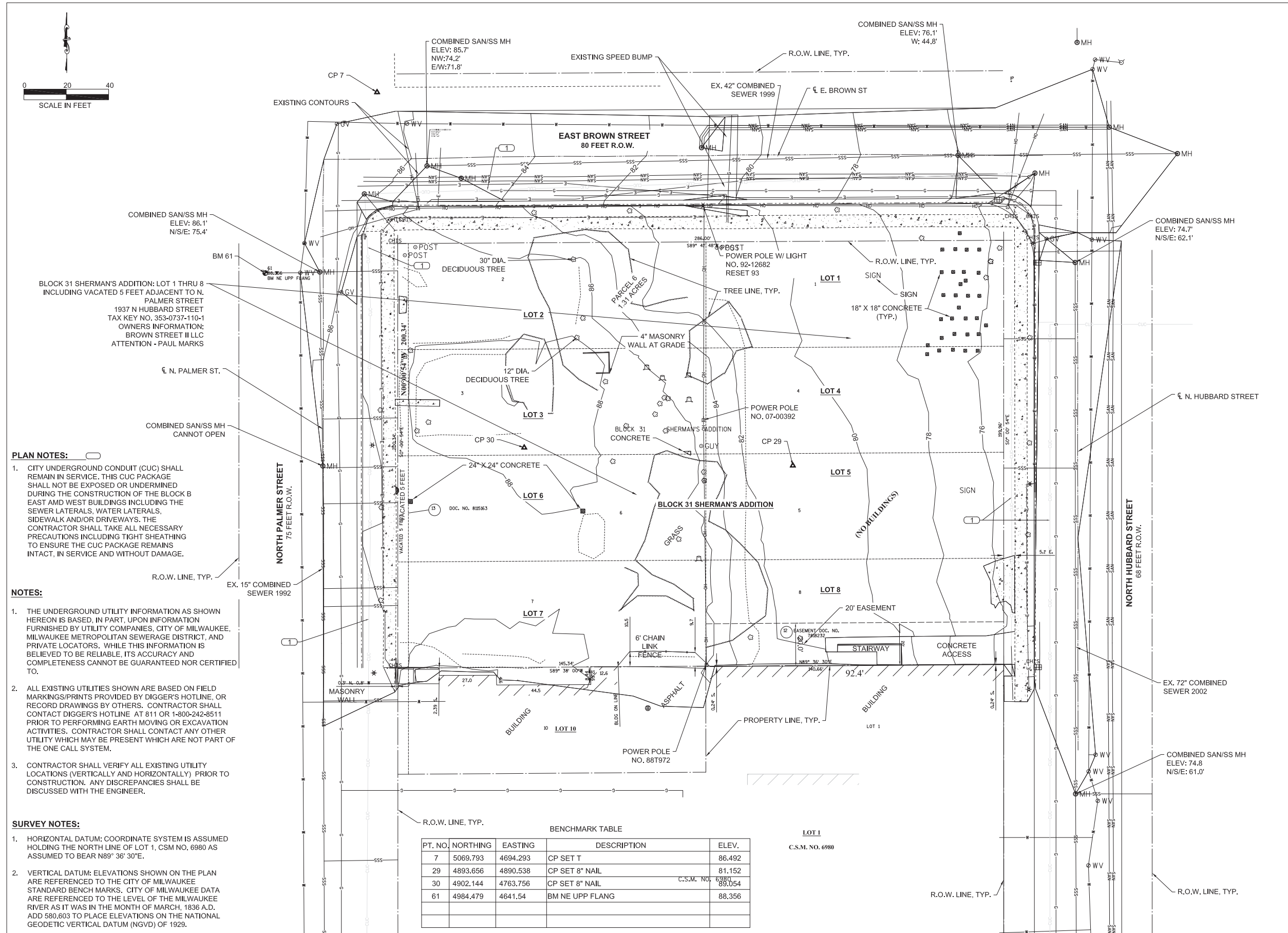
TITLE: BLOCK B EXISTING CONDITIONS
PROJECT TITLE: THE HILLS LUXURY COMMONS
CLIENT: ROYAL CAPITAL GROUP, LLC
PROJECT LOCATION: EAST BROWN ST. MILWAUKEE, WI

REVISIONS	DATE	DESCRIPTION

DRAWN BY	DATE
JAF	06/20/2016
CHECKED BY	DATE
APS	06/20/2016

EXISTING CONDITIONS
BLOCK B
(NORTH BLOCK)

C002B



BENCHMARK TABLE

PT. NO.	NORTHING	EASTING	DESCRIPTION	ELEV.
7	5069.793	4694.293	CP SET T	86.492
29	4893.656	4890.538	CP SET 8" NAIL	81.152
30	4902.144	4763.756	CP SET 8" NAIL	83.054
61	4984.479	4641.54	BM NE UPP FLANG	88.356

- PLAN NOTES:**
- CITY UNDERGROUND CONDUIT (CUC) SHALL REMAIN IN SERVICE. THIS CUC PACKAGE SHALL NOT BE EXPOSED OR UNDERMINED DURING THE CONSTRUCTION OF THE BLOCK B EAST AND WEST BUILDINGS INCLUDING THE SEWER LATERALS, WATER LATERALS, SIDEWALK AND/OR DRIVEWAYS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS INCLUDING TIGHT SHEATHING TO ENSURE THE CUC PACKAGE REMAINS INTACT, IN SERVICE AND WITHOUT DAMAGE.

- NOTES:**
- THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, UPON INFORMATION FURNISHED BY UTILITY COMPANIES, CITY OF MILWAUKEE, MILWAUKEE METROPOLITAN SEWERAGE DISTRICT, AND PRIVATE LOCATORS. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
 - ALL EXISTING UTILITIES SHOWN ARE BASED ON FIELD MARKINGS/PRINTS PROVIDED BY DIGGER'S HOTLINE, OR RECORD DRAWINGS BY OTHERS. CONTRACTOR SHALL CONTACT DIGGER'S HOTLINE AT 811 OR 1-800-242-8511 PRIOR TO PERFORMING EARTH MOVING OR EXCAVATION ACTIVITIES. CONTRACTOR SHALL CONTACT ANY OTHER UTILITY WHICH MAY BE PRESENT WHICH ARE NOT PART OF THE ONE CALL SYSTEM.
 - CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY LOCATIONS (VERTICALLY AND HORIZONTALLY) PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE DISCUSSED WITH THE ENGINEER.

- SURVEY NOTES:**
- HORIZONTAL DATUM: COORDINATE SYSTEM IS ASSUMED HOLDING THE NORTH LINE OF LOT 1, CSM NO. 6980 AS ASSUMED TO BEAR N89° 36' 30"E.
 - VERTICAL DATUM: ELEVATIONS SHOWN ON THE PLAN ARE REFERENCED TO THE CITY OF MILWAUKEE STANDARD BENCH MARKS. CITY OF MILWAUKEE DATA ARE REFERENCED TO THE LEVEL OF THE MILWAUKEE RIVER AS IT WAS IN THE MONTH OF MARCH, 1836 A.D. ADD 580.603 TO PLACE ELEVATIONS ON THE NATIONAL GEODETIC VERTICAL DATUM (NGVD) OF 1929.



3636 North 124th Street
Wauwatosa, WI 53222
262-821-1171

CONSULTANT

CONSULTANT

CONSULTANT

TITLE: BLOCK B SITE PLAN
PROJECT TITLE: THE HILLS LUXURY COMMONS
CLIENT: ROYAL CAPITAL GROUP, LLC
PROJECT LOCATION: EAST BROWN ST., MILWAUKEE, WI

REVISIONS	DATE	DESCRIPTION

DRAWN BY JAF	DATE 06/20/2016
CHECKED BY APS	DATE 06/20/2016

SITE PLAN
BLOCK B
(NORTH BLOCK)

C200B

SHEET 1 of SHEET 1

GENERAL NOTES:

- ALL CURB RADII ARE TO THE FACE OF CURB, EDGE OF PAVEMENT, FACE OF BUILDING OR PROJECT WORK LIMIT; UNLESS STATED OTHERWISE.
- CONTRACTOR TO ENSURE THAT ALL EXTERIOR CONCRETE SLABS ARE BROOM FINISHED.
- REFER TO LANDSCAPE PLANS FOR RESTORATION IN LANDSCAPED AREAS.

BUILDING USE & HEIGHT:

BUILDING AA USE = XXX
BUILDING AA HEIGHT = XXX

BUILDING AREA:

FIRST FLOOR AREA: 26,998 S.F.

SITE DATA:

TOTAL AREA OF LOTS = 57,247 S.F. = 1.31 ACRES
TOTAL DISTURBED AREA (PROJECT LIMITS) = 60,328 S.F. = 1.39 ACRES
IMPERVIOUS AREA BEFORE CONSTRUCTION = 0.00 S.F. = 0.00 ACRES
IMPERVIOUS AFTER CONSTRUCTION = 42,219 S.F. = 0.97 ACRES
IMPERVIOUS INCREASE =

GREEN SPACE:

LOT:
AREA = 57,247 S.F.
GREEN SPACE = 15,028 S.F.
26% GREEN SPACE

PARKING DATA:

TOTAL SURFACE PARKING SPACES = 43
HANDICAP ACCESSIBLE PARKING SPACES = 4

PARCEL ADDRESS:

1937 N. HUBBARD
MILWAUKEE, WI 53202

ZONING:

CURRENTLY: XXXXXX ZONING
PROPOSED: XX

LEGEND

- CONCRETE
- HOT MIX ASPHALT (HMA) PAVEMENT

PLAN NOTES:

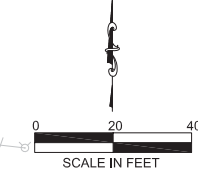
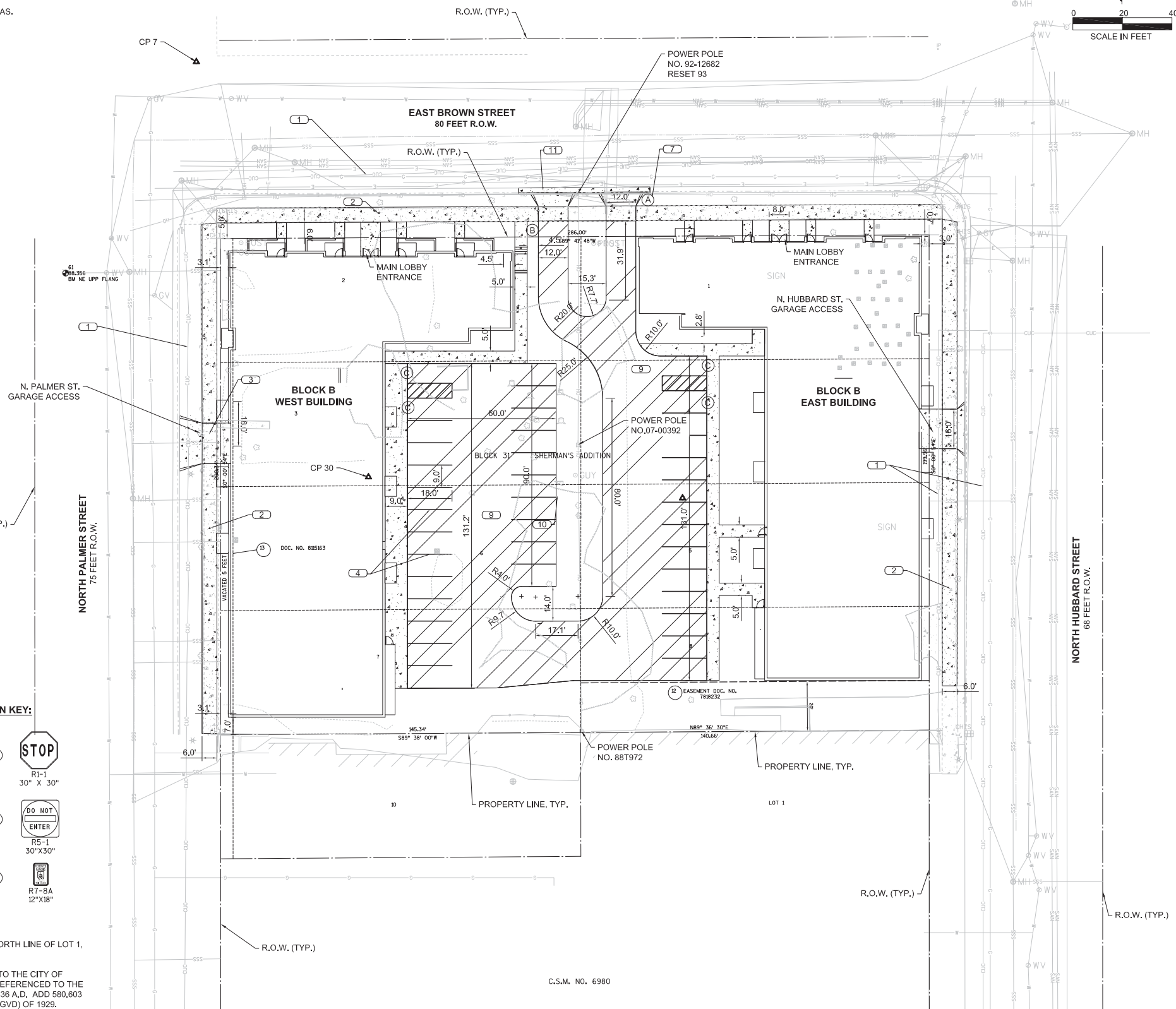
- CITY UNDERGROUND CONDUIT (CUC) SHALL REMAIN IN SERVICE. THIS CUC PACKAGE SHALL NOT BE EXPOSED OR UNDERMINED DURING THE CONSTRUCTION OF THE BLOCK B EAST AND WEST BUILDINGS INCLUDING THE SEWER LATERALS, WATER LATERALS, SIDEWALK AND/OR DRIVEWAYS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS INCLUDING TIGHT SHEATHING TO ENSURE THE CUC PACKAGE REMAINS INTACT, IN SERVICE AND WITHOUT DAMAGE.
- 5" CONCRETE SIDEWALK, SEE DETAIL 3, SHEET C501.
- 7" THICK CONCRETE SLABS AT DRIVEWAY APPROACHES, SEE DETAIL 8, SHEET C501
- PAVEMENT MARKING 4-INCH WHITE, TYP.
- PAVEMENT MARKING 8-INCH WHITE, TYP.
- PAVEMENT MARKING ARROW, WHITE, TYP.
- R1-1 STOP SIGN SIZE 6, TUBULAR STEEL POST, SEE DETAIL 1, SHEET C502
- R7-8A RESERVED PARKING SIGN, TUBULAR STEEL POST, SEE DETAIL 1, SHEET C503
- HMA PAVEMENT CONSISTS OF 4" OF ASPHALTIC PAVEMENT TYPE E-1 ON 4" OF DENSE GRADED 1 1/4-INCH ON 8" DENSE GRADED 3-INCH, SEE DETAIL 1, SHEET C501
- 18" CONCRETE CURB AND GUTTER, TYP., SEE DETAIL 4, SHEET C501
- 31" CONCRETE CURB AND GUTTER, TYP., SEE DETAIL 4, SHEET C501
- CURB RAMPS, SEE DETAIL 7, SHEET C501
- END SECTION CURB & GUTTER, SEE DETAIL 6, SHEET C501

SIGN KEY:

- (A) STOP
R1-1
30" X 30"
- (B) DO NOT ENTER
R5-1
30" X 30"
- (C) R7-8A
12" X 18"

SURVEY NOTES:

- HORIZONTAL DATUM: COORDINATE SYSTEM IS ASSUMED HOLDING THE NORTH LINE OF LOT 1, CSM NO. 6980 AS ASSUMED TO BEAR N89° 36' 30"E.
- VERTICAL DATUM: ELEVATIONS SHOWN ON THE PLAN ARE REFERENCED TO THE CITY OF MILWAUKEE STANDARD BENCH MARKS. CITY OF MILWAUKEE DATA ARE REFERENCED TO THE LEVEL OF THE MILWAUKEE RIVER AS IT WAS IN THE MONTH OF MARCH, 1836 A.D., ADD 580.603 TO PLACE ELEVATIONS ON THE NATIONAL GEODETIC VERTICAL DATUM (NGVD) OF 1929.



FILE NAME: P:\4692 BREWERS HILL DEVELOPMENT\SITE CIVIL\CADD\SHEETS PLAN\BLOCK B\C200B - SITE PLAN BLOCK B.DWG

PLOT DATE: 7/11/2016 1:04 AM PLOT BY: CLIFTON JANSEN

C.S.M. NO. 6980



3636 North 124th Street
Wauwatosa, WI 53222
262-821-1171

CONSULTANT

CONSULTANT

CONSULTANT

TITLE: BLOCK B GENERAL NOTES AND LEGEND
 PROJECT TITLE: THE HILLS LUXURY COMMONS
 CLIENT: ROYAL CAPITAL GROUP, LLC
 PROJECT LOCATION: EAST BROWN ST. MILWAUKEE, WI

REVISIONS	DATE	DESCRIPTION

DRAWN BY JAF	DATE 05/24/2016
CHECKED BY APS	DATE 05/24/2016

**GENERAL NOTES AND
LEGEND
BLOCK B**

C001B

SHEET 1 of SHEET 1

GENERAL

1. THE LOCATION OF ALL STRUCTURES, OBSTACLES, AND EXISTING FACILITIES SHALL NOT BE TAKEN AS CONCLUSIVE. IT SHALL BE ASSUMED THAT THE CONTRACTOR HAS VERIFIED SAID LOCATIONS AS A CONDITION OF HIS BID AND THEREFORE THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES RESULTING FROM HIS ACTIVITIES.

2. ALL CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS NECESSARY TO CARRY OUT THEIR WORK.

3. THE CONTRACTOR SHALL SUBMIT FOR APPROVAL BY THE OWNER A LIST OF ALL MATERIALS PROPOSED TO BE USED PRIOR TO ORDERING OR DELIVERY.

4. ALL CONTRACTORS SHALL HAVE A COMPETENT FOREMAN, SUPERINTENDENT, OR OTHER REPRESENTATIVE AT THE SITE AT ALL TIMES WHO HAS AUTHORITY TO ACT FOR THE CONTRACTOR.

5. A PRE CONFERENCE WILL BE HELD PRIOR TO CONSTRUCTION START UP.

6. CONTRACTORS SHALL BE RESPONSIBLE FOR ADEQUATELY BARRICADING AREAS AND ERECTING A CONSTRUCTION FENCE AROUND THE PERIMETER OF THE SITE OF CONSTRUCTION TO PROTECT AGAINST PERSONAL INJURY AS WELL AS WARN TRAFFIC OF THE CONSTRUCTION SITE WHERE NECESSARY. SIGNING SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) MOST RECENT VERSION WITH WISDOT SUPPLEMENT. ALL OTHER SIGNS MUST BE PRE-APPROVED BY OWNER.

7. ALL DIMENSIONS ARE TO THE EDGE OF FACE OF CURB, PAVEMENT, FACE OF BUILDING OR PROJECT WORK LIMIT LINE UNLESS OTHERWISE NOTED.

8. ALL ROAD AND PAVING CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION - 2016 EDITION, HEREIN REFERRED TO AS THE STANDARD SPECIFICATIONS, EXCEPT AS MODIFIED HEREIN.

9. WHERE SPECIFIC PORTIONS OF THESE PLANS & SPECIFICATIONS ARE IN CONFLICT WITH THE WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, 2016 EDITION, THESE PLANS & SPECIFICATIONS SHALL GOVERN.

10. CONSTRUCTION WORK AND STORAGE OF EQUIPMENT OR MATERIALS WILL NOT BE ALLOWED IN WETLAND AREAS.

11. A STREET EXCAVATION PERMIT WILL BE REQUIRED FOR WORK WITHIN THE PUBLIC RIGHT OF WAY/EASEMENTS. APPLICABLE PERMIT FEES WILL BE DETERMINED UPON RECEIPT OF THE PERMIT APPLICATION. COORDINATE PERMIT APPLICATION WITH XXXXXXXX, CITY OF MILWAUKEE DPW ENGINEERING INSPECTOR, AFTER FINAL PLAN APPROVAL.

12. CITY OF MILWAUKEE PUBLIC WORKS INSPECTION IS NEEDED FOR ALL WORK WITHIN THE PUBLIC RIGHT OF WAY/EASEMENTS. CONTACT XXXXXXXX, INSPECTION SUPERVISOR 72 HOURS PRIOR TO SCHEDULING WORK.

GRADING

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTING THE PROPOSED ROADS, SIDEWALKS, CONCRETE SLAB, STORMWATER MANAGEMENT FACILITIES AND EROSION CONTROL DEVICES TO THE PROPOSED GRADE ELEVATIONS AND LOCATIONS SHOWN ON THE GRADING PLAN.

2. THE CONTRACTOR SHALL STRIP AND REMOVE TOPSOIL FOUND WITHIN THE GRADING LIMITS. GRADE LANDSCAPE AREAS LOW TO ALLOW FOR PLACEMENT OF TOPSOIL, SEED, MULCH AND PLANTINGS BY LANDSCAPE CONTRACTOR PER THE LANDSCAPE SPECIFICATIONS AND PLANS.

3. THE SUB GRADE FOR THE ROAD SHALL BE PREPARED IN ACCORDANCE WITH SECTION 31

22 16.15 OF THE CONTRACT SPECIFICATIONS. OPERATION OF SPREADING AND HAULING EQUIPMENT WILL NOT BE CONSIDERED AS ADEQUATE COMPACTION.

4. THE BASE COURSE SHALL BE PLACED ONLY ON SUB GRADE THAT HAS BEEN PROOF-ROLLED.

5. GRADING CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF EXISTING PROPERTY CORNERS AND PERTINENT AREAS WITHIN ALL EASEMENTS.

PAVING

1. THE PAVING CONTRACTOR SHALL BE RESPONSIBLE FOR PLACING THE CRUSHED STONE BASE ON THE ROAD TO THE DEPTHS INDICATED.

2. BASE COURSE IN PROPOSED ASPHALT PAVEMENT AREAS SHALL BE IN ACCORDANCE WITH THE SITE PLAN AND THE TYPICAL PAVEMENT SECTION SHOWN ON THE DETAIL DRAWING. THE CRUSHED STONE SHALL MEET THE REQUIREMENTS OF SECTION 305, 1 1/4-INCH GRADATION OF THE STANDARD SPECIFICATIONS. THE BASE COURSE SHALL BE COMPACTED USING ROLLERS, VIBRATORY ROLLERS, OR A COMBINATION OF BOTH AS DETAILED IN SECTION 305 OF THE STANDARD SPECIFICATIONS.

3. PRIOR TO PLACING THE ASPHALT PAVEMENT, THE SURFACE OF THE CRUSHED STONE BASE COURSE SHALL BE GRADED TO PROPER ELEVATION AND CROWN AND COMPACTED IN ACCORDANCE WITH SECTION 305.3.2 OF THE STANDARD SPECIFICATIONS.

4. EQUIPMENT UTILIZED IN THE MIXING, TRANSPORT, LAYING AND COMPACTING OF THE ASPHALT BINDER AND SURFACE COURSES SHALL COMPLY WITH SECTION 450 OF THE STANDARD SPECIFICATIONS. SUFFICIENT EQUIPMENT IN GOOD OPERATING CONDITION SHALL BE MAINTAINED AT THE SITE AT ALL TIMES TO PERFORM THE WORK WITH NO DELAYS.

5. ASPHALT LOWER LAYER AND UPPER LAYER SHALL BE INSTALLED IN ACCORDANCE PROJECT SPECIFICATIONS AND WITH SECTIONS 455, 460, AND 465 OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, 2016 EDITION.

6. PRIOR TO PLACING THE SURFACE COURSE, THE PAVING CONTRACTOR SHALL REMOVE ALL FOREIGN MATTER FROM THE SURFACE OF THE UPPER LAYER AND REPAIR, BY SAW CUTTING, REMOVAL AND REPLACEMENT, ANY DEPRESSION OR SIGNS OF FAILURE AND ALL SURFACE IRREGULARITIES AS DIRECTED BY THE ENGINEER. A TACK COAT SHALL BE APPLIED PRIOR TO PLACEMENT OF THE SURFACE COURSE.

7. TO AVOID HAVING LONGITUDINAL JOINTS IN THE UPPER LAYER, THE UPPER LAYER SHALL BE PLACED WITH PASS WIDTHS SUCH THAT THE LONGITUDINAL JOINTS ARE OFFSET A MINIMUM OF ONE FOOT. JOINTS SHALL BE TACKED PRIOR TO LAYING NEW ASPHALT.

SIDEWALK AND MISCELLANEOUS

1. WHERE INDICATED ON THE PLANS, INSTALL CONCRETE SIDEWALK IN ACCORDANCE WITH CONTRACT SPECIFICATION 32 16 00.

2. ALL SURPLUS EXCAVATED MATERIAL SHALL BE COORDINATED WITH THE GENERAL CONTRACTOR FOR ITS TEMPORARY LOCATION.

SANITARY AND WATER SERVICES

1. ALL SANITARY AND WATER SERVICE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CONTRACT SPECIFICATIONS AND CITY OF MILWAUKEE STANDARDS. REFERENCES ARE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (2003 EDITION; ADDENDUM NO. 1 AND NO. 2, 2004), REGULATIONS OF THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES (DSPS) (SPS 382) FOR PRIVATE DEVELOPMENT WORK.

2. ALL PIPE MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FOLLOWING; SEE CONTRACT SPECIFICATIONS FOR DETAILS.

A. SANITARY LATERAL- SECTION 33 30 00 FOR PVC PIPE, ASTM D3034, SDR 35.

B. HYDRANT LEADS - SECTION 33 10 00 FOR PVC PIPE, AWWA C-900, CLASS 235 (DR-18).

C. WATER SERVICE - SECTION 33 10 00 FOR PVC PIPE, AWWA C-900, CLASS 235 (DR-18).

3. ALL SANITARY PIPE JOINT CONNECTIONS SHALL BE PUSH-ON RUBBER GASKET, ALL WATER FITTINGS SHALL CONFORM TO SPECIFICATION SECTION 33 10 00. OFFSET FITTINGS SHALL BE MEGA-LUGS OR EQUAL.

4. WATER VALVES SHALL BE EITHER AFC SERIES 2500, CLOW F-6100, MUELLER 2360-20, KENNEDY KEN-SEAL OR M&H RESILIENT WEDGE GATE VALVES WITH STAINLESS STEEL BOLTS, MEETING THE REQUIREMENTS OF AWWA C-509 AND IN ACCORDANCE WITH SECTION 33 10 00.

5. BACKFILL MATERIAL FOR WATER UTILITIES SHALL BE CRUSHED STONE BACKFILL (CONTRACT SPECIFICATION SECTION 33 10 00) UNDER PAVED SURFACES OR SPOIL (STANDARD SPEC SECTION 8.43.5) UNDER LANDSCAPED AREAS.

6. HYDRANTS SHALL BE EITHER CLOW MEDALLION, MUELLER CENTURIAN, WATEREUS PACER, OR KENNEDY GUARDIAN, MEETING THE REQUIREMENTS OF AWWA C-502 AND IN ACCORDANCE WITH SECTION 33 10 00 OF CONTRACT SPECIFICATIONS. HYDRANTS SHALL HAVE BRONZE ON BRONZE SEAT, BRONZE UPPER VALVE PLATE, BREAK AWAY FLANGE, OIL OR GREASE RESERVOIR, 5-1/2 INCH VALVE OPENING, TWO 2-1/2 INCH HOSE NOZZLES AND ONE 4-1/2 INCH PUMPER NOZZLE. STAINLESS STEEL BOLTS SHALL BE USED UNDERGROUND.

7. IF APPLICABLE, SHELL-TYPE CUTTER WITH MULTIPLE CUTTING TEETH SHALL BE USED FOR TAPPING SERVICE CONNECTIONS, AS FOLLOWS:

A. CORPORATION STOPS SHALL NOT BE LOCATED CLOSER THAN ONE (1) FOOT FROM PIPE JOINTS. INSERTIONS ON OPPOSITE SIDES OF THE MAIN SHALL BE SEPARATED BY MIN. OF ONE (1) FOOT.

B. TEFLON TAPE SHALL BE PLACED ON THE CORPORATION STOP THREADS PRIOR TO INSTALLATION.

8. CONTRACTOR SHALL INSTALL TRACER WIRE WITH ALL NON-METALLIC WATER UTILITIES IN ACCORDANCE WITH SECTION 33 10 00 OF SPECIFICATIONS. THIS INCLUDES ALL LATERALS, SERVICES AND BOXES.

UTILITY CONTACTS:
CITY OF MILWAUKEE (WATER & SEWER)
CITY OF MILWAUKEE (INSPECTION SUPERVISOR)
CITY OF MILWAUKEE (DPW ENGINEERING INSPECTOR)
CITY OF MILWAUKEE (CITY ENGINEER)
WE ENERGIES
EMERGENCY CONTACT
1-800-261-5325

HATCHING PATTERNS

	PROPOSED HMA PAVEMENT
	PROPOSED CONCRETE SIDEWALK
	REMOVE EXISTING ASPHALTIC PAVEMENT
	REMOVE EXISTING CONCRETE PAVEMENT/SIDEWALK
	GRAVEL
	RIP RAP
	STAGING AND STOCKPILE AREA
	STRUCTURE DEMOLITION
	STABILIZED CONSTRUCTION ENTRANCE
	LANDSCAPING

ABBREVIATIONS

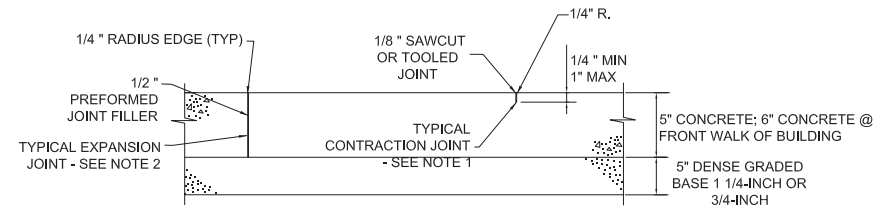
AGG	- AGGREGATE
B/C	- BACK OF CURB
BIT	- BITUMINOUS/ASPHALT
CE	- COMMERCIAL ENTRANCE
CIP	- CAST IRON PIPE
CO	- CLEANOUT
CONC	- CONCRETE
CMP	- CORRUGATED METAL PIPE
CSP	- CONCRETE SEWER PIPE
DIA	- DIAMETER
DIP	- DUCTILE IRON PIPE
EMD	- ELECTRICAL MANHOLE DRAIN
EXTG	- EXISTING
EOP	- EDGE OF PAVEMENT
F&C	- FRAME AND COVER
F/C	- FACE OF CURB
F-F	- FACE TO FACE
F/G	- FINISHED GRADE
FES	- FLARED END SECTION
INV	- INVERT
L	- LENGTH OF CURVE
LF	- LINEAR FT
LT	- LEFT
NG	- NATURAL GAS
OH	- OVERHEAD UTILITY
PC	- POINT OF CURVATURE
PE	- POLYETHYLENE PIPE
PI	- POINT OF INTERSECTION
PL	- PROPERTY LINE
PT	- POINT OF TANGENCY
PVC	- POLYVINYL CHLORIDE PIPE
PVI	- POINT OF VERTICAL INTERSECTION
R	- RADIUS
RCP	- REINFORCED CONCRETE PIPE
RIM	- TOP OF CASTING ELEVATION
ROW	- RIGHT OF WAY
RT	- RIGHT
SAN	- SANITARY SEWER
SS	- STORM SEWER
SD	- SUMP DISCHARGE
T/C	- TOP OF CURB
TW	- TOP OF WALL
UD	- UNDERDRAIN
VC	- VERTICAL CURVE
WDNR	- WISCONSIN DEPARTMENT OF NATURAL RESOURCES

LEGEND

EXISTING	PROPOSED	EXISTING	PROPOSED
	+		*****
	●		EROSION MATTING
	○		WETLAND IMPACT
	△	-xxx-	SAW CUT LINE
	□	==	CATCH CURB
	(263.56')	==	REJECT CURB
	263.51'	-o-	PERIMETER SILT FENCE
	●		STRAW BALES
	○	⊠	INLET PROTECTION
	○		STRAW BALE/SILT FENCE INLET PROTECTION
	□	○	CANOPY / SHADE TREE
	△	○	SHRUB
	○	⊛	TREE CONIFEROUS, DECIDUOUS
	○	X	TREE REMOVAL
⊗	⊗	-W-	BURIED WATER MAIN
⊗	⊗	-SAN-	SANITARY SEWER
	⊗	-SS-	STORM SEWER
	⊗	-RD-	ROOF DRAIN
	⊗	-OH-	OVERHEAD WIRES
	⊗	-CATV-	BURIED CABLE TV LINES
	⊗	-E-	BURIED ELECTRIC
	⊗	-T-	BURIED TELEPHONE
	⊗	-FO-	FIBER OPTIC
	⊗	-G-	BURIED GAS MAIN
	⊗	-COMB-	COMBINED SEWER
	⊗	○	CONTOUR
	⊗	×821.25	SPOT ELEVATION
	⊗	⊛	CAUTION
	⊗	---	PROPERTY LINE
	⊗	---	UTILITY EASEMENT
	⊗	---	SETBACK LINE
	⊗	---	EDGE OF WATER
	⊗	---	WETLAND BOUNDARY
	⊗	---	100 YEAR FLOOD BOUNDARY
	⊗	---	TOP OF WALL ELEVATION
	⊗	---	BOTTOM OF WALL ELEVATION
	⊗	△	CONTROL POINT
	○		NOTE:
	○		THIS IS STANDARD LEGEND. NOT ALL OF THE INFORMATION SHOWN ON THIS LEGEND IS NEEDED IN THESE CONTRACT DRAWINGS.
○	○		
○	○		
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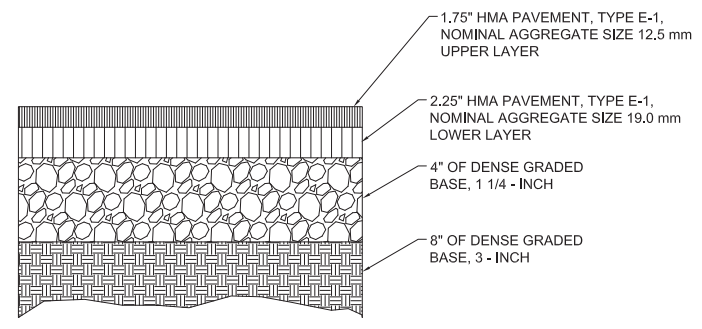
INDEX OF SHEETS

C001	- GENERAL NOTES
C002	- EXISTING CONDITIONS
C100	- DEMOLITION PLAN
C110	- EROSION CONTROL PLAN
C111	- EROSION CONTROL DETAILS
C200	- SITE PLAN
C300	- GRADING PLAN
C400	- UTILITY PLAN
C500	- STORM SEWER PLAN
C501-504	- CONSTRUCTION DETAILS

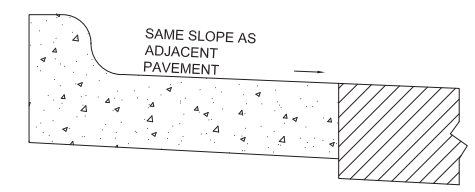


- NOTE:**
- CONTRACTION JOINTS TO BE SPACED 5'-0" O.C. MAXIMUM EACH DIRECTION.
 - EXPANSION JOINTS TO BE SPACED AT 50' MAXIMUM EACH DIRECTION AND WHERE SIDEWALK MEETS BUILDINGS, CURBS, AND EXISTING SIDEWALKS WHICH REMAIN IN PLACE.
 - LONGITUDINAL SLOPES TO MATCH PROPOSED GRADE, CROSS SLOPE OF NEW SIDEWALK SHALL BE 1.5%, MAX 2.0%.

3 UNREINFORCED CONCRETE SIDEWALK
C501 NTS

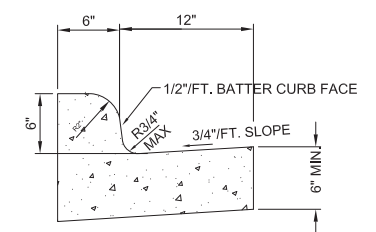


11 MEDIUM DUTY HOT MIX ASPHALT PAVEMENT
C8 NTS



NOTE: WHEN REVERSE SLOPE GUTTER IS REQUIRED, THE LOCATIONS WILL BE SHOWN ELSEWHERE IN THE PLAN.

19 REVERSE SLOPE GUTTER
C8 NTS

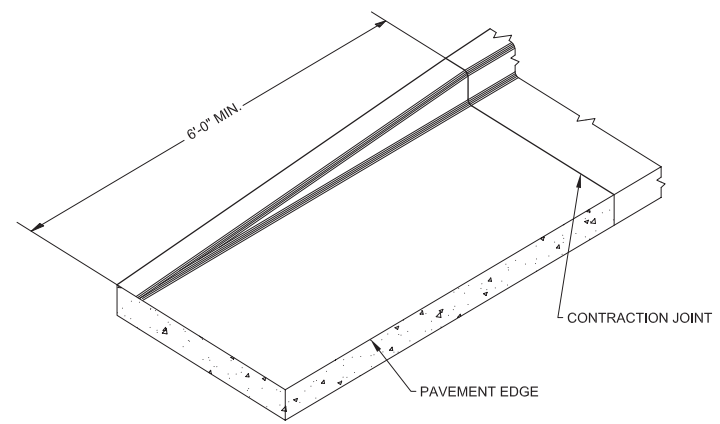


GENERAL NOTES:
LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15' NOR LESS THAN 6' IN LENGTH. THE JOINTS SHALL BE A MINIMUM OF 3" IN DEPTH.

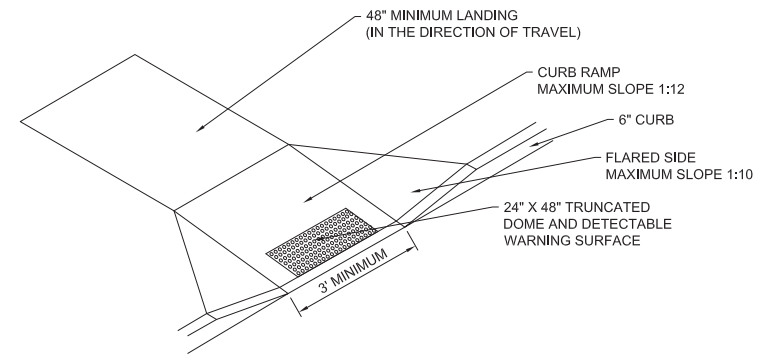
EXPANSION JOINTS SHALL BE PLACED TRANSVERSLY AT RADIUS POINTS ON CURVES OF RADIUS OF 200' OR LESS, AND AT ANGLE POINTS, OR AS DIRECTED BY THE ENGINEER. THE EXPANSION JOINT SHALL BE A ONE PIECE ASPHALTIC MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 1/2" THICK.

IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED CRUSHED AGRREGATE BASE COURSE (MIN. 6"). AN EXPANSION JOINT ONE(1) INCH IN WIDTH SHALL BE CONSTRUCTED BETWEEN VERTICAL CURB AND STRUCTURES.

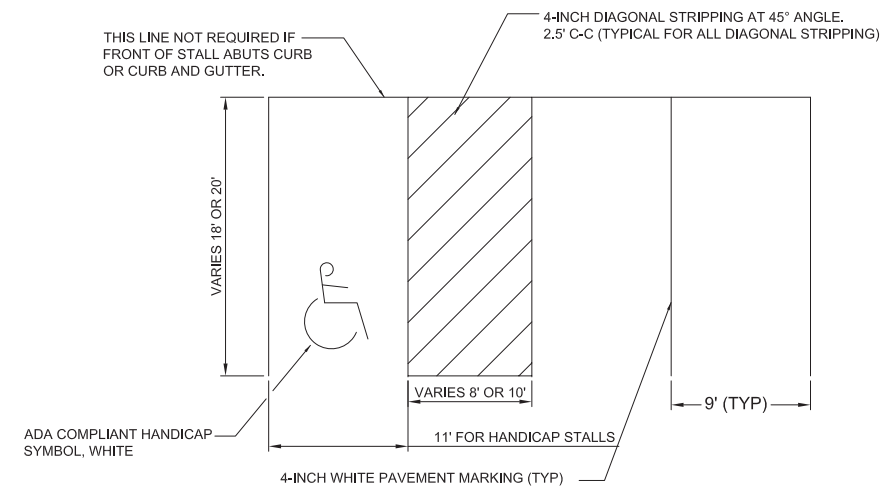
20 CONCRETE CURB & GUTTER 18"
C8 NTS



6 END SECTION CURB & GUTTER
C501 NTS



7 CURB RAMP DETAIL
C501 NTS



21 PAVEMENT MARKING
C8 NTS

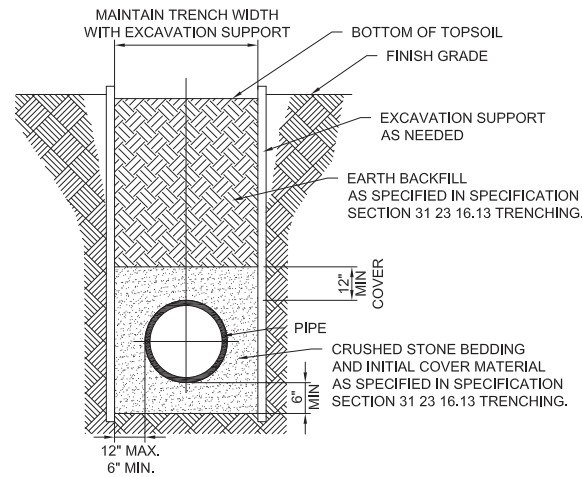
TITLE: BLOCK B CONSTRUCTION DETAILS
PROJECT TITLE: THE HILLS LUXURY COMMONS
CLIENT: ROYAL CAPITAL GROUP, LLC
PROJECT LOCATION: EAST BROWN ST., MILWAUKEE, WI

REVISIONS	DATE	DESCRIPTION

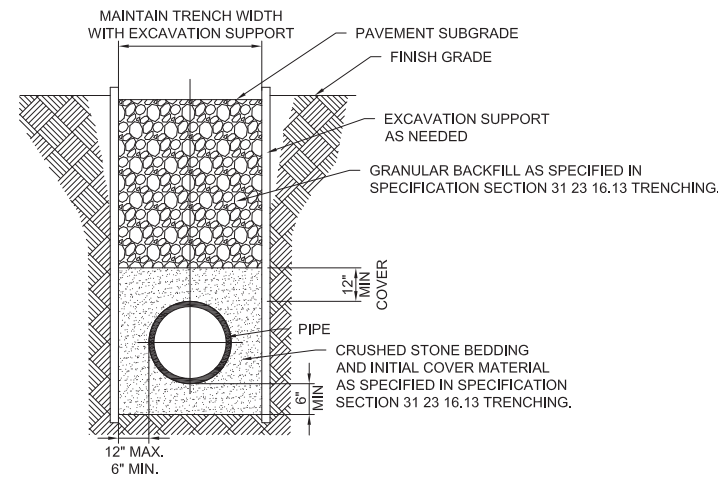
DRAWN BY JAF	DATE 05/24/2016
CHECKED BY APS	DATE 05/24/2016

**CONSTRUCTION DETAILS
BLOCK B
(NORTH BLOCK)**

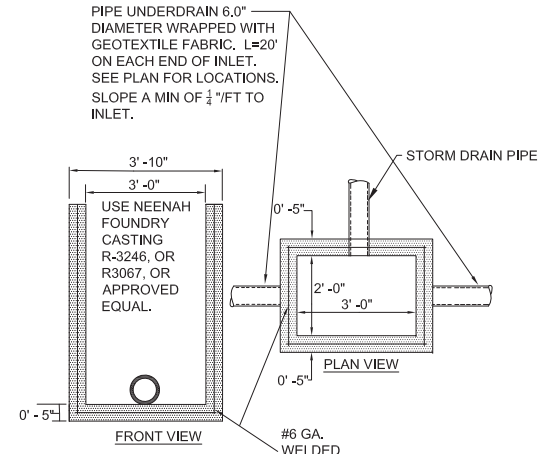
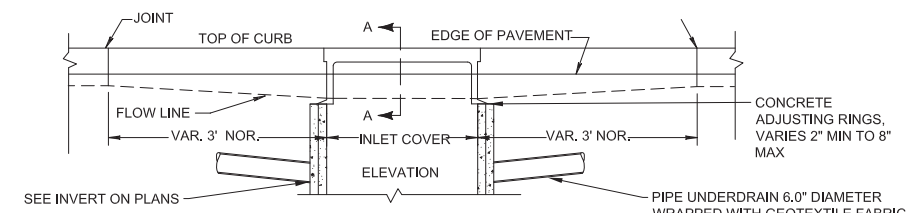
C501B



1 TYPICAL PIPE/UTILITY TRENCH BELOW LANDSCAPING
C504 NTS



2 TYPICAL PIPE/UTILITY TRENCH UNDER PAVEMENT
C504 NTS



TOP OF MANHOLE TO BE FLUSH WITH ADJACENT SURFACE

MANHOLE CASTING AND LID
NEENAH FOUNDRY R-3246 OR R3067 WITH TYPE L GRATE (WISDOT TYPE H) OR APPROVED EQUAL

TOP REINF. TO BE #4 BARS AT 6" O.C. EA. WAY

CONCRETE ADJUSTING RINGS, VARIES 2" MIN TO 8" MAX

PRECAST CONCRETE WALLS AND BASE

PRECAST CONCRETE INTEGRAL BASE SECTION

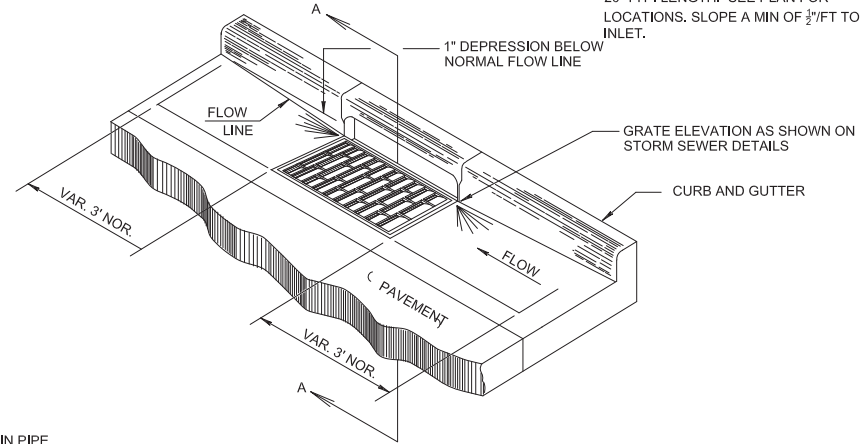
NOTES:

1. ALL MANHOLES SHALL INCLUDE STEPS ON 16" CENTERS WHEN DEPTH (GRATE TO BOTTOM) IS 4.0' OR GREATER.

PROVIDE ALL STORM SEWER FRAMES, GRATINGS AND COVERS AS FOLLOWS:

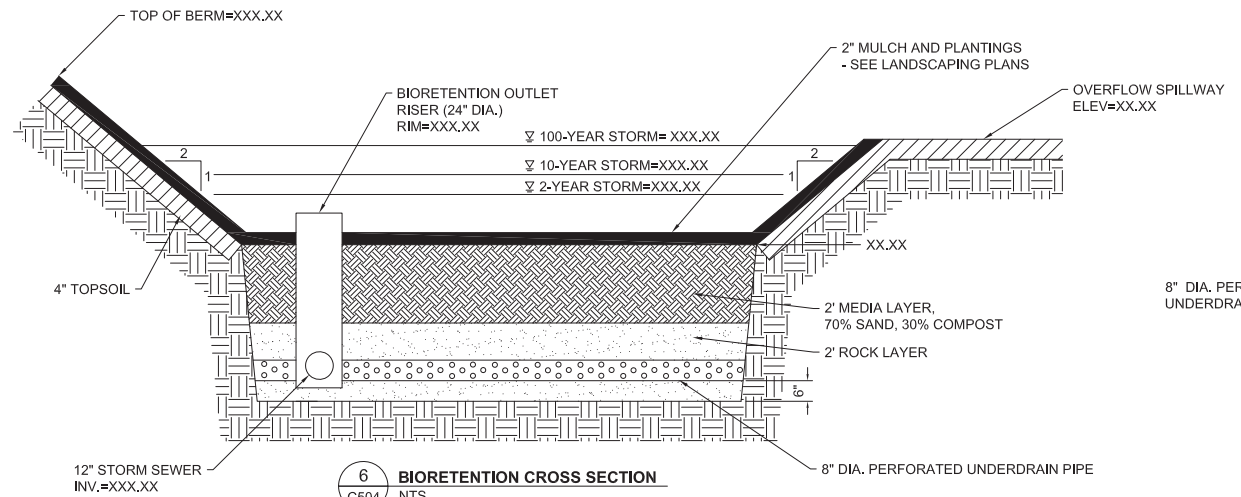
1. STORM MANHOLE: NEEHAH R-1500 OR EQUAL. WORDING "STORM" IN 2-INCH HIGH LETTERS CAST INTO COVER.
2. STORM INLETS: 2'X3' RECTANGULAR: NEEHAH R-3246, OR R3067, OR EQUAL WITH TYPE L GRATE (WISDOT TYPE H)
3. MANHOLE FIELD INLETS: NEEHAH R-2560-E2 OR EQUAL
4. MANHOLE CURB INLETS: NEEHAH R-3246, OR R3067, OR EQUAL WITH TYPE L GRATE (WISDOT TYPE H)
5. MANHOLE CATCH BASINS: NEEHAH R-2502, TYPE G GRATE, (WISDOT TYPE C)

4 STORM MANHOLE TYPICAL DETAIL
C504 NTS

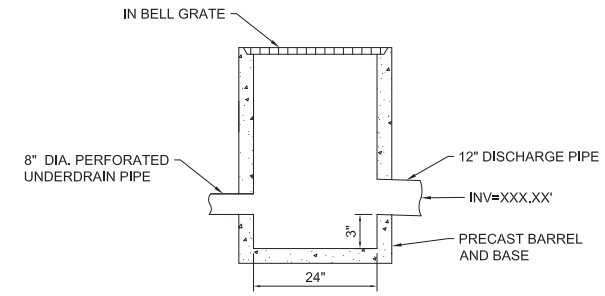


18 CURB & GUTTER AT INLET
C201 NTS

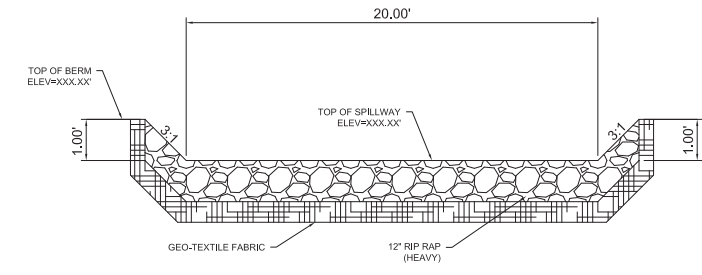
3 INLET
C504 NTS



6 BIORETENTION CROSS SECTION
C504 NTS



7 BIORETENTION OUTLET RISER DETAIL
C504 NTS



8 OVERFLOW SPILLWAY
C504 NTS

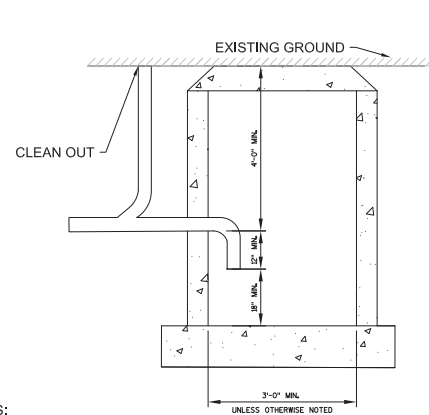
TITLE: BLOCK B CONSTRUCTION DETAILS
PROJECT TITLE: THE HILLS LUXURY COMMONS
CLIENT: ROYAL CAPITAL GROUP, LLC
PROJECT LOCATION: EAST BROWN ST. MILWAUKEE, WI

REVISIONS	DATE	DESCRIPTION

DRAWN BY: JAF DATE: 05/24/2016
CHECKED BY: APS DATE: 05/24/2016

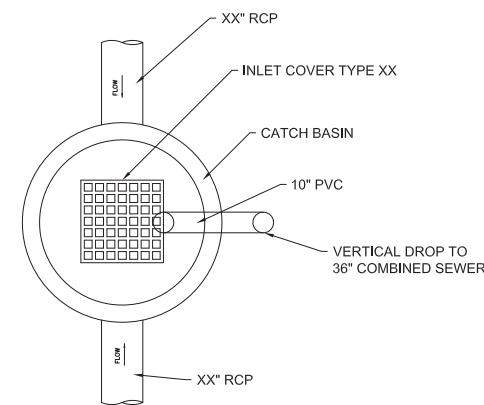
CONSTRUCTION DETAILS
BLOCK B
(NORTH BLOCK)

C502B

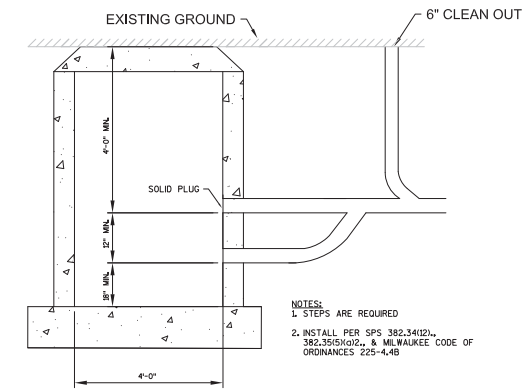


NOTES:

1. INSTALL PER SPS 382.34(12), 382.35(5)(a)2., & MILWAUKEE CODE OF ORDINANCES 225-4.4B



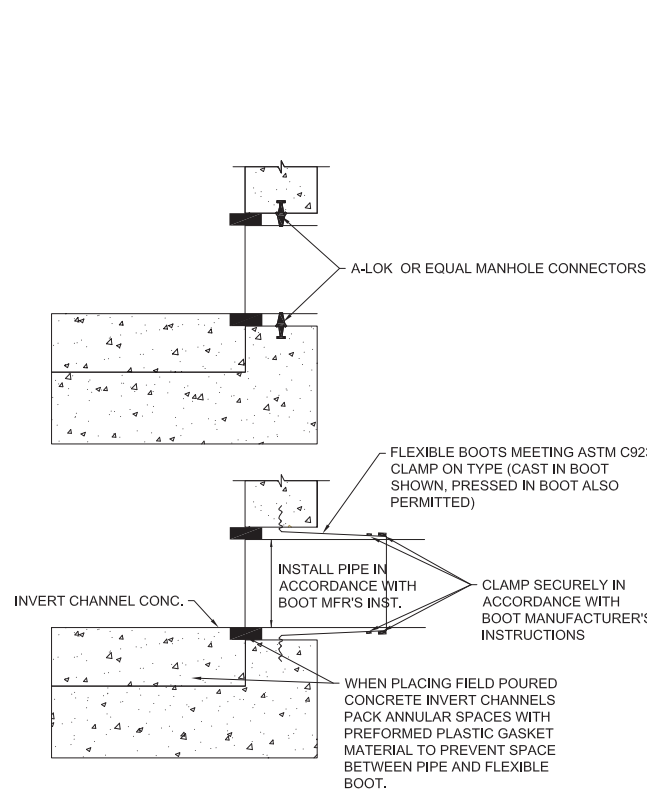
TRAPPED CATCH BASIN WITH EXTERIOR DROP CONNECTION (PLAN VIEW)



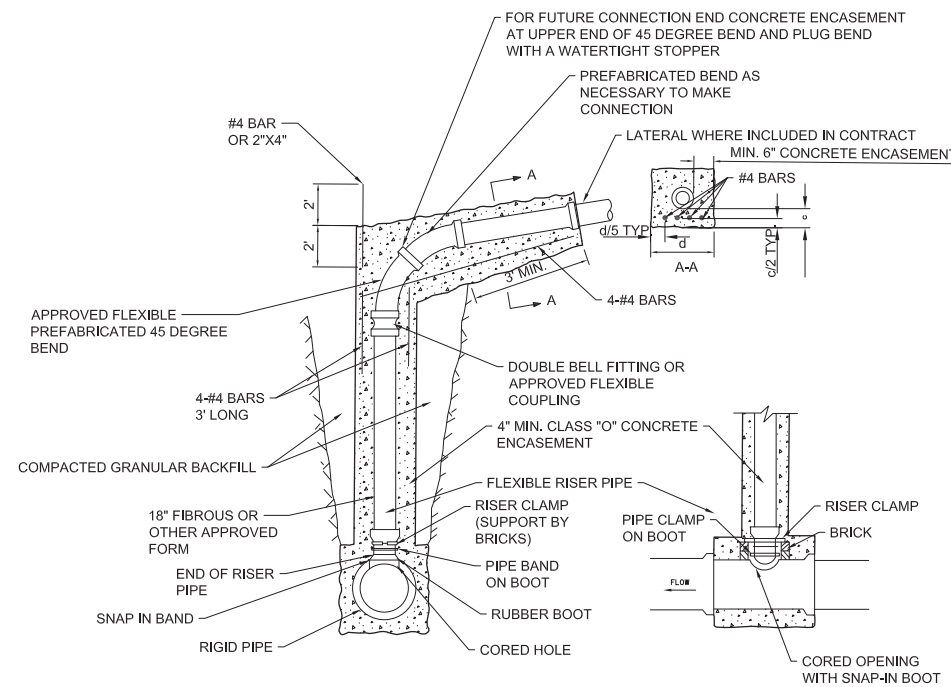
INSTALL PER SPS 382.34(12), 382.35(5)(a)2., & MILWAUKEE CODE OF ORDINANCES 225-4.4B

COMBINED CATCH BASIN OR EXTERIOR SAND INTERCEPTOR FOR 12" OR LARGER PIPING.

20 COMBINED CATCH BASIN OR EXTERIOR SAND INTERCEPTOR
C201 NTS



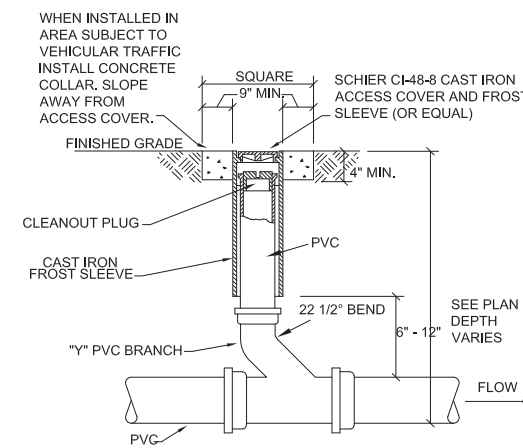
18 MANHOLE PIPE CONNECTION DETAIL
C201 NTS



NOTES:

1. RISER CLAMP SUPPORTED ON BRICKS TO PREVENT THE PUSH THRU OF RISER PIPE WHEN CONCRETE IS PLACED.
2. PLEASE SEE RISER DETAIL "TYPE C" FLEXIBLE RISER TO RIGID MAIN (ALTERNATIVE B) FOR MORE DETAILS.
3. CONCRETE ENCASEMENT OF SEWERS 24" OR LARGER NOT REQUIRED.

DROP CONNECTION
N.T.S.



NOTE:

CONCRETE COLLAR NOT REQUIRED IF CLEANOUT IS INSTALLED IN CONCRETE PAVEMENT, SIDEWALK OR LANDSCAPE AREA.

15 SANITARY CLEANOUT
C9 NTS

TITLE: BLOCK B CONSTRUCTION DETAILS

PROJECT TITLE: THE HILLS LUXURY COMMONS

CLIENT: ROYAL CAPITAL GROUP, LLC

PROJECT LOCATION: EAST BROWN ST. MILWAUKEE, WI

REVISIONS	DATE	DESCRIPTION

DRAWN BY JAF	DATE 05/24/2016
CHECKED BY APS	DATE 05/24/2016

**CONSTRUCTION DETAILS
BLOCK B
(NORTH BLOCK)**

C503B

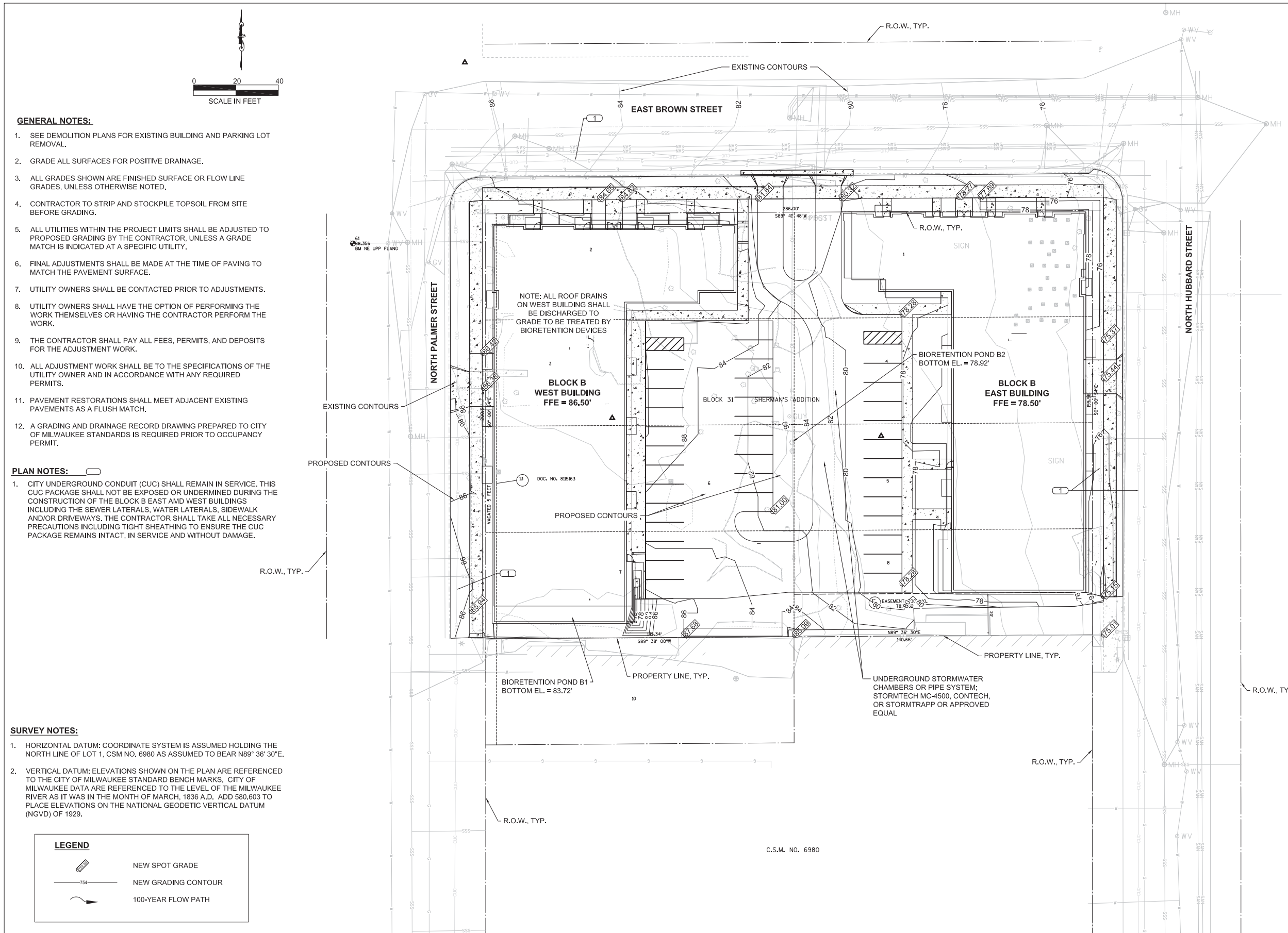
TITLE: BLOCK B GRADING PLAN
PROJECT TITLE: THE HILLS LUXURY COMMONS
CLIENT: ROYAL CAPITAL GROUP, LLC
PROJECT LOCATION: EAST BROWN ST. MILWAUKEE, WI

REVISIONS	DATE	DESCRIPTION

DRAWN BY JAF	DATE 06/20/2016
CHECKED BY APS	DATE 06/20/2016

**GRADING PLAN
BLOCK B
(NORTH BLOCK)**

C300B



REVISIONS	DATE	DESCRIPTION

DRAWN BY JAF	DATE 08/20/2016
CHECKED BY APS	DATE 08/20/2016

**UTILITY PLAN
BLOCK B
(NORTH BLOCK)**

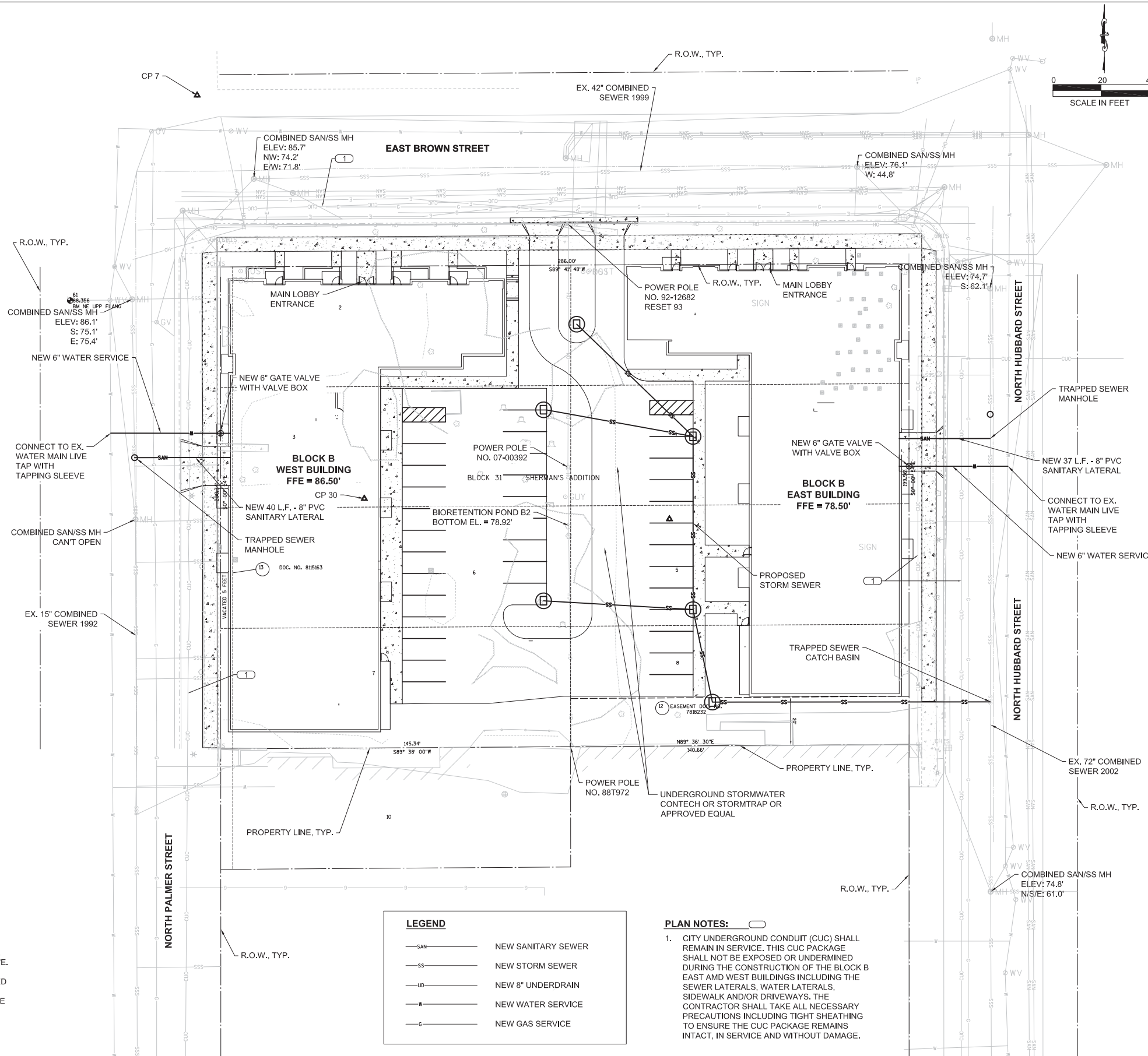
C400B

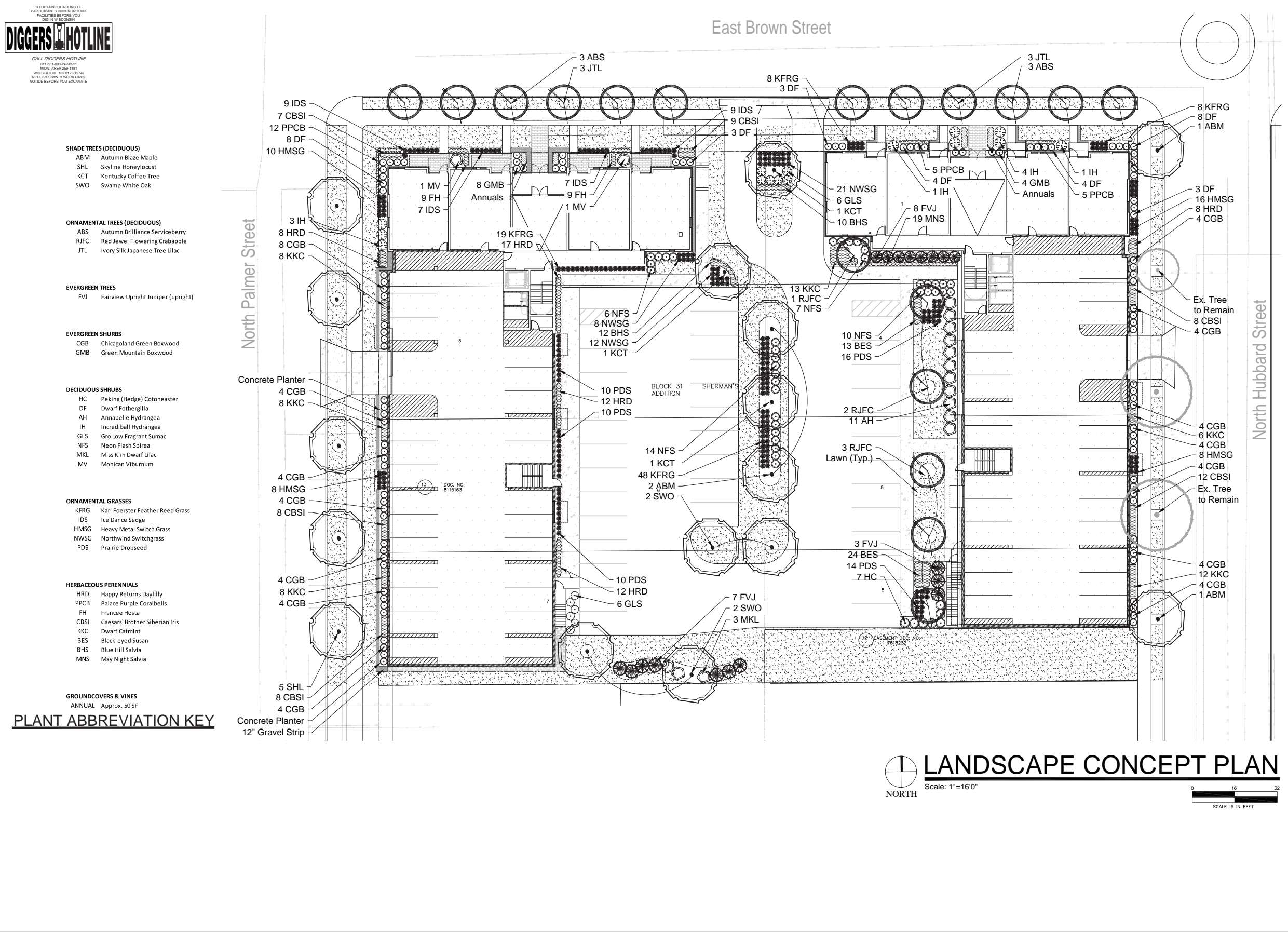
GENERAL NOTES:

- PIPE LENGTHS ARE TO CENTER OF STRUCTURE, UNLESS OTHERWISE NOTED.
- SEWER INSTALLATION SHALL PROCEED FROM DOWNSTREAM TO UPSTREAM.
- CONTRACTOR SHALL ADJUST ALL EXISTING AND NEW UTILITY CASTINGS, MANHOLES, CLEANOUTS, AND ACCESS BOXES TO PROPOSED GRADING.
- CONNECT SANITARY SERVICE IN ACCORDANCE WITH THE REQUIREMENTS OF CITY OF MILWAUKEE. EXISTING LATERAL TO BE REUSED SHALL BE INSPECTED AND TELEVIEWED PRIOR TO REUSE AND CONNECTION TO BUILDING. DEFECTS SHALL BE REPAIRED PER CITY OF MILWAUKEE STANDARDS.
- ALL EXISTING LATERALS NOT SHOWN AS REUSED SHALL BE ABANDONED AT THE MAIN PER CITY OF MILWAUKEE STANDARDS.
- MAINTAIN PROPER DRAINAGE AT ALL TIMES DURING CONSTRUCTION.
- SEE SHEET C500 FOR STORM SEWER PLAN. SEE DETAIL SHEETS FOR SITE AND UTILITY DETAILS.
- SANITARY LATERALS SHALL BE PVC, ASTM D-3034, SDR 35 IN CONFORMANCE WITH SECTION 8.10.0 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, CURRENT EDITION.
- WATER SERVICE SHALL BE PVC, AWWA C-900, CLASS 235 (DR-18).
- CONTRACTOR SHALL VERIFY EXISTING PIPE INVERT, PIPE MATERIAL, PIPE SIZE AND LOCATION PRIOR TO CONSTRUCTION OF THE UTILITIES. ANY DISCREPANCIES SHALL BE DISCUSSED WITH THE OWNER.
- SANITARY SEWER AND WATER MAIN SHALL BE CONSTRUCTED PER PROJECT SPECIFICATIONS AND IN ACCORDANCE WITH THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND THE CITY OF MILWAUKEE.
- SEE DEMOLITION PLANS FOR PIPE ABANDONMENT AND REMOVAL.
- A MINIMUM OF 6.0 FEET OF COVER SHALL BE MAINTAINED OVER ALL WATER MAIN.
- A MINIMUM OF 6.0 FEET OF COVER SHALL BE MAINTAINED OVER ALL SANITARY SEWER.
- PER DSDS 382.40 (8) (b) PRIVATE WATER MAINS AND WATER SERVICES SHALL BE INSTALLED AT LEAST 5 FEET HORIZONTALLY FROM ANY SANITARY SEWER.
- NO PRIVATE WATER MAIN OR WATER SERVICE MAY BE INSTALLED WITHIN 6 INCHES OF A STORM SEWER.
- CLEANOUTS SHALL BE LOCATED NOT MORE THAN 100 FEET APART. THE CLEANOUT NEAR THE BUILDING SHALL BE WITHIN 5 FEET OF WHERE THE BUILDING DRAIN AND BUILDING SEWER CONNECTS. THE CLEANOUT MAY BE LOCATED EITHER INSIDE OR OUTSIDE OF BUILDING.
- GENERALLY, FOR WATER SERVICE 4-INCHES OR LARGER, DEFLECTION WILL NOT BE ALLOWED AND CONTRACTOR SHALL USE 11.25, 22.5, 45 AND 90 DEGREE BENDS WHEN NEEDED. CONTRACTOR SHALL NOT EXCEED 5 DEGREES PER PIPE OR AS RECOMMENDED BY MANUFACTURER.
- PROVIDE TRACER WIRE FOR NON-METALLIC WATER SERVICE. SEE SPECIFICATIONS. TRACER WIRE FOR POTABLE WATER PIPE SHALL BE BLUE.
- ALL STORM SEWER PIPE MATERIAL SHALL MEET WISDOT CLASS III-A UNLESS SPECIFIED HEREIN. REFER TO WISDOT STANDARD SPECIFICATIONS, 2016 EDITION, SECTION 608.2. CONTRACTOR SHALL FURNISH CORRUGATED POLYETHYLENE (CPE) PIPE, CORRUGATED POLYPROPYLENE (CPP) PIPE OR REINFORCED CONCRETE PIPE (RCP) UNDER LANDSCAPED AREAS. FURNISH CLASS III-A UNDER PAVEMENT WITH A MINIMUM COVER OF 1.5 FEET FROM TOP OF PIPE TO TOP OF SUBGRADE. FURNISH RCP WISDOT CLASS IV WITH LESS THAN 1.5 FEET UNLESS CONTRACTOR PROVIDES WRITTEN APPROVAL FROM PIPE MANUFACTURER, CITY OF MILWAUKEE, AND OWNER.
- CONTRACTOR SHALL PROVIDE OWNER SHOP DRAWINGS ON STORM SEWER STRUCTURES, STORM SEWER PIPE AND FURNISH COST BREAKDOWN COMPARISON ON THE STORM SEWER PIPE MATERIAL PRIOR TO ORDERING MATERIAL.

SURVEY NOTES:

- HORIZONTAL DATUM: COORDINATE SYSTEM IS ASSUMED HOLDING THE NORTH LINE OF LOT 1, CSM NO. 6980 AS ASSUMED TO BEAR N89° 36' 30"E.
- VERTICAL DATUM: ELEVATIONS SHOWN ON THE PLAN ARE REFERENCED TO THE CITY OF MILWAUKEE STANDARD BENCH MARKS. CITY OF MILWAUKEE DATA ARE REFERENCED TO THE LEVEL OF THE MILWAUKEE RIVER AS IT WAS IN THE MONTH OF MARCH, 1836 A.D. ADD 580.603 TO PLACE ELEVATIONS ON THE NATIONAL GEODETIC VERTICAL DATUM (NGVD) OF 1929.





TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
811 or 1-800-248-8811
MILWAUKEE AREA 259-1181
WEB SITE: WWW.DIGGERSHOTLINE.COM
REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

- SHADE TREES (DECIDUOUS)**
 ABM Autumn Blaze Maple
 SHL Skyline Honeylocust
 KCT Kentucky Coffee Tree
 SWO Swamp White Oak

- ORNAMENTAL TREES (DECIDUOUS)**
 ABS Autumn brilliance Serviceberry
 RJFC Red Jewel Flowering Crabapple
 JTL Ivory Silk Japanese Tree Lilac

- EVERGREEN TREES**
 FVJ Fairview Upright Juniper (upright)

- EVERGREEN SHRUBS**
 CGB Chicagoland Green Boxwood
 GMB Green Mountain Boxwood

- DECIDUOUS SHRUBS**
 HC Peking (Hedge) Cotoneaster
 DF Dwarf Fothergilla
 AH Annabelle Hydrangea
 IH Incredible Hydrangea
 GLS Gro Low Fragrant Sumac
 NFS Neon Flash Spirea
 MKL Miss Kim Dwarf Lilac
 MV Mohican Viburnum

- ORNAMENTAL GRASSES**
 KFRG Karl Foerster Feather Reed Grass
 IDS Ice Dance Sedge
 HMSG Heavy Metal Switch Grass
 NWSG Northwind Switchgrass
 PDS Prairie Dropseed

- HERBACEOUS PERENNIALS**
 HRD Happy Returns Daylily
 PPCB Palace Purple Coralbells
 FH Francee Hosta
 CBSI Caesars' Brother Siberian Iris
 KKC Dwarf Catmint
 BES Black-eyed Susan
 BHS Blue Hill Salvia
 MNS May Night Salvia

- GROUNDCOVERS & VINES**
 ANNUAL Approx. 50 SF

PLANT ABBREVIATION KEY

FILE NAME: C:\USERS\W.DAVID\DOCUMENTS\H&A 2016\K SINGH ENGINEERINGE. RESERVOIR RESIDENCES\SITE CAD A&B STORMWATER\K SINGH LPLAN RESEVOIR RESIDENCES A AND B 2016\0711-2.DWG PLOT DATE: 7/11/2016 8:31 AM PLOT BY: W. DAVID



3636 North 124th Street
 Wauwatosa, WI 53222
 262-821-1171



One Ridewood Court
 Racine, Wisconsin 53402
 ph 262.639.9733
 fx 262.639.9737
 david@wdsdavidheller.com

CONSULTANT

CONSULTANT

CONSULTANT

TITLE: BLOCK B SITE PLAN
 PROJECT TITLE: THE HILLS LUXURY COMMONS
 CLIENT: ROYAL CAPITAL GROUP, LLC
 PROJECT LOCATION: EAST BROWN ST. MILWAUKEE, WI

REVISIONS	DATE	DESCRIPTION

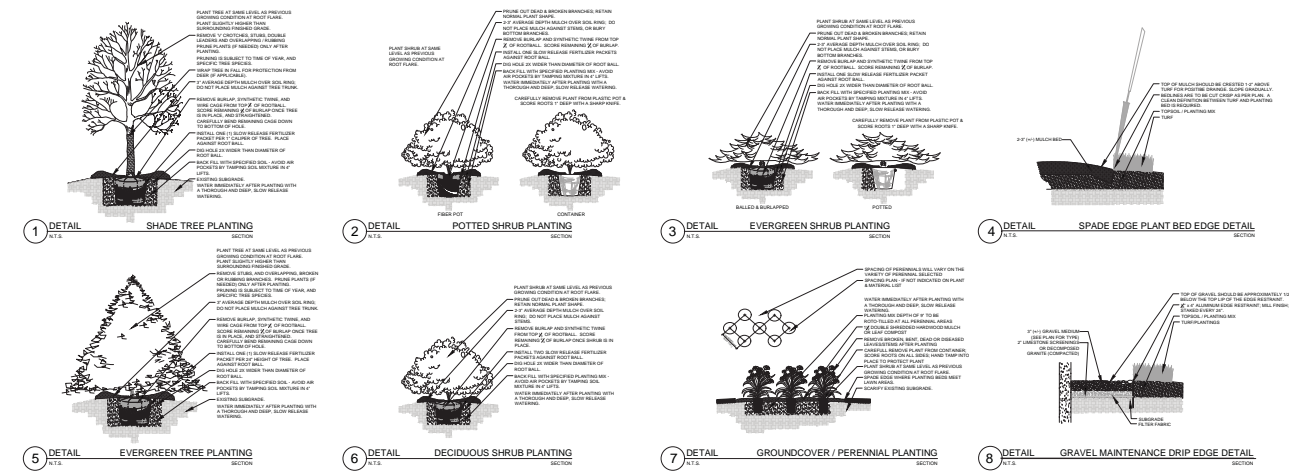
BLOCK "B" LANDSCAPE PLAN

L100

SHEET 1 of SHEET 2

PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	CALIPER SIZE	ROOT	SPECIFICATION / NOTES
Proposed Landscape Materials						
SHADE TREES (DECIDUOUS)						
ABM	4	Acer xfreemanii 'Autumn Blaze'	Autumn Blaze Maple	2.5"	B&B	Straight central leader, full and even crown. Prune only after planting
SHL	5	Gleditsia triacanthos 'Skyline'	Skyline Honeylocust	2.5"	B&B	Straight central leader, full and even crown. Prune only after planting
KCT	3	Gymnocladia dioica	Kentucky Coffee Tree	2.5"	B&B	Straight central leader, full and even crown. Prune only after planting
SWO	4	Quercus bicolor	Swamp White Oak	2.5"	B&B	Straight central leader, full and even crown. Prune only after planting
ORNAMENTAL TREES (DECIDUOUS)						
ABS	6	Amelanchier xgrandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	1.5 - 2"	B&B	Straight central leader, full and even crown. Prune only after planting
RFC	6	Malus xjevonicola	Red Jewel Flowering Crabapple	1.5 - 2"	B&B	Straight central leader, full and even crown. Prune only after planting
JTL	6	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	1.5 - 2"	B&B	Straight central leader, full and even crown. Prune only after planting
EVERGREEN TREES						
FVJ	18	Juniperus scopulorum 'Fairview'	Fairview Upright Juniper (upright)	5-6'	B&B	Evenly shaped tree with branching to the ground
EVERGREEN SHRUBS						
CCB	60	Buxus 'Chicagoland Green'	Chicagoland Green Boxwood	18"	B&B	Full rounded well branched shrub
GMB	12	Buxus 'Green Mountain'	Green Mountain Boxwood	30"	B&B	Full rounded well branched shrub
DECIDUOUS SHRUBS						
HC	7	Cotoneaster acutifolia	Peking (Hedge) Cotoneaster	42"	B&B	Full, well rounded plant with moist rootball and healthy appearance
DF	33	Fothergilla gardenii	Dwarf Fothergilla	24"	B&B	Full, well rounded plant with moist rootball and healthy appearance
AH	11	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	#5	Cont.	Full, well rooted plant, evenly shaped
IH	12	Hydrangea arborescens 'Abetwiv'	Incrediball Hydrangea	#5	Cont.	Full, well rooted plant, evenly shaped
GLS	12	Rhus aromatica 'Gro-Low'	Gro Low Fragrant Sumac	#5	Cont.	Full, well rooted plant, evenly shaped
NFS	37	Spiraea bumalda 'Neon Flash'	Neon Flash Spiraea	24"	Cont.	Full, well rooted plant, evenly shaped
MKL	3	Syringa patula 'Miss Kim'	Miss Kim Dwarf Lilac	24"	Cont.	Full, well rooted plant, evenly shaped
MV	2	Viburnum lantana 'Mohican'	Mohican Viburnum	42"	B&B	Full, well rounded plant with moist rootball and healthy appearance
ORNAMENTAL GRASSES						
KFRG	83	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	#1	Cont.	Full, well rooted plant
IDS	32	Carex mirrorowii 'Ice Dancer'	Carex mirrorowii	#1	Cont.	Full, well rooted plant
HMSG	42	Panicum virgatum 'Heavy Metal'	Heavy Metal Switch Grass	#1	Cont.	Full, well rooted plant
NWSG	41	Panicum virgatum 'Northwind'	Northwind Switchgrass	#1	Cont.	Full, well rooted plant
PDS	60	Sporobolus heterolepis	Prairie Dropseed	#1	Cont.	Full, well rooted plant
HERBACEOUS PERENNIALS						
HRD	57	Hemerocallis 'Happy Returns'	Happy Returns Daylily	#1	Cont.	Full, well rooted plant, evenly shaped
PCB	22	Heuchera micrantha 'Palace Purple'	Palace Purple Coralbells	#7	Cont.	Full, well rooted plant, evenly shaped
FR	18	Hostia fortunei 'Frances'	Frances Hosta	#8	Cont.	Full, well rooted plant, evenly shaped
CSB	52	Iris sibirica 'Caesars Brother'	Caesars' Brother Siberian Iris	#12	Cont.	Full, well rooted plant, evenly shaped
KKC	55	Nepeta faassenii 'Kit Cat'	Dwarf Catmint	#1	Pot	Full, well rooted plant, evenly shaped
BES	37	Rudbeckia fulgida 'Goldsturm'	Black-eyed Susan	#1	Cont.	Full, well rooted plant, evenly shaped
BHS	22	Salvia nemerosa 'Blauhugel'	Blue Hill Salvia	#1	Cont.	Full, well rooted plant, evenly shaped
MNS	19	Salvia xsuperba 'May Night'	May Night Salvia	#1	Cont.	Full, well rooted plant, evenly shaped
GROUNDCOVERS & VINES						
ANNUAL Annuals (Typ.) Approx. 50 SF SF						
SOD 1160 Sod (Fresh Cut, Bluegrass Blend) Approx. 11,650 SF SY Install ONLY in May or Sept. See ALT if sod will not be installed in May or Sept.						
ALT 1 1160 Seed Mix (Reinder's 50/50) w/ haymatt Approx. 11,650 SF SY ALTERNATE TO SOD (if project is installed other than May or Sept.)						
11640 Erosion Matting for sloped seeded areas Approx. 10,930 SF SF EroTex D575 Erosion Control Blanket (or approved equal)						
Hardscape Materials						
3 Heritage River Gravel Mulch (1.0-1.5" pieces) Approx. 255 SF TN 2" depth						
380 Aluminum Edge Restraint (gravel areas) Permaloc ProSlide 3/16"x5.5" Black Duraflex Finish LF						
270 Landscape Fabric Approx. 255 SF SF						
83 Shredded Hardwood Mulch (3" depth) Approx. 8,010 SF CY Bark Mulch; apply Preemergent after installation of mulch						
55 Soil Amendments (2" depth) Approx. 8,010 SF CY						
36 Pulverized Topsoil (2" over lawn areas) Approx. 11,650 SF CY						
55 Pulverized Topsoil (2" over bed areas) Approx. 8,010 SF CY						
*Landscape counts & quantities are provided as a service to the Landscape Contractor. Landscape Contractor is responsible for verifying these counts and quantities in order to provide a complete landscape installation as outlined on this Landscape Master Plan. In the event that a discrepancy occurs between this schedule and the Landscape Master Plan, including the graphics and notations depicted therein, shall govern.						
Seed Compositions:						
Reinder's Deluxe 50 Seed Mix (262-786-3300): Seed at rate of 150-200# per acre						
20% Kentucky Bluegrass (Sod Quality) 15% Quebec Perennial Ryegrass						
15% Newport Kentucky Bluegrass 10% Fiesta III Perennial Ryegrass						
15% Ken Blue Kentucky Bluegrass						
25% Creeping Red Rescue						

LANDSCAPE & HARDSCAPE SCHEDULE



LANDSCAPE & HARDSCAPE DETAILS

FILE NAME: C:\USERS\DW.DAVID\DOCUMENTS\HWA 2016\K SINGH ENGINEERING, RESERVOIR RESIDENCES\SITE CAD A&B STORMWATER\K SINGH LPLAN RESERVOIR RESIDENCES A AND B 2016\0711-2.DWG

- Contractor responsible for contacting Diggers Hotline (811 or 800-242-8511) to have site marked prior to excavation or planting.
- Contractor to verify all plant quantities shown on Plant & Material List and landscape planting symbols and report any discrepancies to Landscape Architect or General Contractor.
- All plantings shall comply with standards as described in American Standard of Nursery Stock - Z60.1 ANSI (latest version). Landscape Architect reserves the right to inspect, and potentially reject any plants that are inferior, compromised, undersized, diseased, improperly transported, installed incorrectly or damaged. No sub-standard "B Grade" or "Park Grade" plant material shall be accepted. Plant material shall originate from nursery(ies) with a similar climate as the planting site.
- Any potential plant substitutions must be approved by Landscape Architect or Owner. All plants must be installed as per sizes indicated on Plant & Material Schedule, unless approved by Landscape Architect. Any changes to sizes shown on plan must be submitted in writing to the Landscape Architect prior to installation.
- Topsoil in Parking Lot Islands (if applicable): All parking lot islands to be backfilled with topsoil to a minimum depth of 18" to insure long-term plant health. Topsoil should be placed within 3" of finish grade by General Contractor / Excavation Contractor during rough grading operations/activity. The landscape contractor shall be responsible for the fine grading of all disturbed areas, planting bed areas, and lawn areas. Crown all parking lot islands a minimum of 6" to provide proper drainage, unless otherwise specified.
- Tree Planting: Plant all trees slightly higher than finished grade at the root flare. Remove excess soil from the top of the root ball, if needed. Remove and discard non-biodegradable ball wrapping and support wire. Removed biodegradable burlap and wire cage (if present) from the top 1/3 of the rootball and carefully bend remaining wire down to the bottom of the hole. Once the tree has been placed into the hole and will no longer be moved, score the remaining 2/3 of the burlap and remove the twine. Provide three slow release fertilizer for each tree planted.
- Tree Planting: Backfill tree planting holes 80% existing soils removed from excavation and 20% plant starter mix. Avoid air pockets and do not tamp soil down. Discard any gravel, rocks, heavy clay, or concrete pieces. When hole is 3/4 full, trees shall be watered thoroughly, and water left to soak in before proceeding to fill the remainder of the hole. Water again to full soak in the new planting. Each tree shall receive a 3" deep, 4-5' diameter (see planting details or planting plan) shredded hardwood bark mulch ring around all trees planted in lawn areas. Do not build up any mulch onto the trunk of any tree. Trees that are installed incorrectly will be replaced at the time and expense of the Landscape Contractor.
- Shrub Planting: All shrubs to be planted in groupings as indicated on the Landscape Plan. Install with the planting of shrubs a 50/50 mix of plant starter with topsoil. Install topsoil into all plant beds as needed to achieve proper grade and displace undesirable soil (see planting detail). Remove all excessive gravel, clay and stones from plant beds prior to planting. When hole(s) are 3/4 full, shrubs shall be watered thoroughly, and water left to soak in before proceeding. Provide slow-release fertilizer packets at the rate of 1 per 24" height/diameter of shrub at planting.
- Mulching: All tree and shrub planting beds to receive a 3" deep layer of high quality shredded hardwood bark mulch (not pigment dyed or enviro-mulch). All perennial planting areas (groupings) shall receive a 2" layer of shredded hardwood bark mulch, and groundcover areas a 1-2" layer of the same mulch. Do not mulch annual flower beds (if applicable). Do not allow mulch to contact plant stems and tree trunks.
- Edging: All planting beds shall be edged with a 4" deep spade edge using a flat landscape spade or a mechanical edger. Bedlines are to be cut crisp, smooth as per plan. A clean definition between landscape beds and lawn is required. Pack mulch against lawn edge to hold in place.
- Plant bed preparation/Soil Amendment composition: All perennial, groundcover and annual areas (if applicable) are required to receive a blend of organic soil (Soil Amendments) amendments prior to installation. Roto-till the following materials at the following ratio, into existing soil beds or installed topsoil beds to a depth of approximately 8"-10". Containerized and balled & burlapped plant material should be back-filled with amended soil:

Per 100 SF of bed area (Soil Amendment composition):
 3/4 CY Peat Moss or Mushroom Compost
 3/4 CY blended/pulverized Topsoil
 1/4 CY composted manure

In roto-tilled beds only, also include in above mixture:
 2 lbs Starter Fertilizer

- Lawn Installation for all sodded turfgrass areas: Contractor to furnish and prepare blended topsoil (2" minimum) and sod bed, removing all debris and stones 1/2" and larger. Apply a 10-10-10 starter lawn fertilizer uniformly throughout areas prior to laying sod. Use only premium sod blend according to TPI (revised 1995) and ASPA Standards. Install sod uniformly with staggered joints, laid tightly end to end and side to side. Roll sod with a walk behind roller and water immediately upon installation to a 3" depth. Stake any sod installed on slopes steeper than 1:3, and in all swale applications. The Landscape Contractor is responsible for the watering and maintenance of sod while onsite performing work. After substantial completion is determined by Landscaper Contractor and Owner /Owner's Representative, the Landscape Contractor shall water and maintain sodded areas for a period of 30 days. Landscape Contractor is responsible to provide a smooth, uniform, healthy turf, and is responsible for the first two mowings of the newly installed turf, and is also responsible for watering during this period
- Warranty and Replacements: All plantings are to be watered thoroughly at the time of planting, through construction and upon completion of project as required. Trees, Evergreens, and Shrubs (deciduous and evergreen) shall be guaranteed (100% replacement) for a minimum of one (1) year from the date of project completion. Perennials, groundcovers, and ornamental grasses shall be guaranteed for a minimum of one (1) growing season. Perennials, groundcovers, and ornamental grasses planted after September 15th shall be guaranteed through May 31st of the following year. Only one replacement per plant will be required during the warranty period, except for losses or replacements due to failure to comply with specified requirements. Watering and general ongoing maintenance instructions are to be supplied by the Landscape Contractor to the Owner upon completion of the project.

- The Landscape Contractor is responsible for the watering and maintenance of all landscape areas for a period of 30 days after the substantial completion of the landscape installation. This shall include all trees, shrubs, evergreens, perennials, ornamental grasses, turf grass, no-mow grass, and native prairie seed mix / stormwater seed mix. Work also includes weeding, edging, mulching (only if required), fertilizing, trimming, sweeping up grass clippings, pruning and deadheading.
- Project Completion: Landscape Contractor is responsible to conduct a final review of the project, upon completion, with the Landscape Architect. Client or Owner / Client Representative, and the General Contractor to answer questions, provide written care instructions for new plantings and turf, and insure that all specifications have been met.

LANDSCAPE GENERAL NOTES

KSingh Engineers Scientists Consultants
 3636 North 124th Street
 Wauwatosa, WI 53222
 262-821-1171

CONSULTANT

HELLER & ASSOCIATES, LLC
 LANDSCAPE ARCHITECTURE
 One Ridewood Court
 Racine, Wisconsin 53402
 ph 262.639.9733
 fx 262.639.9737
 david@wvdesigner.com

CONSULTANT

TITLE: BLOCK B SITE PLAN
 PROJECT TITLE: THE HILLS LUXURY COMMONS
 CLIENT: ROYAL CAPITAL GROUP, LLC
 PROJECT LOCATION: EAST BROWN ST. MILWAUKEE, WI

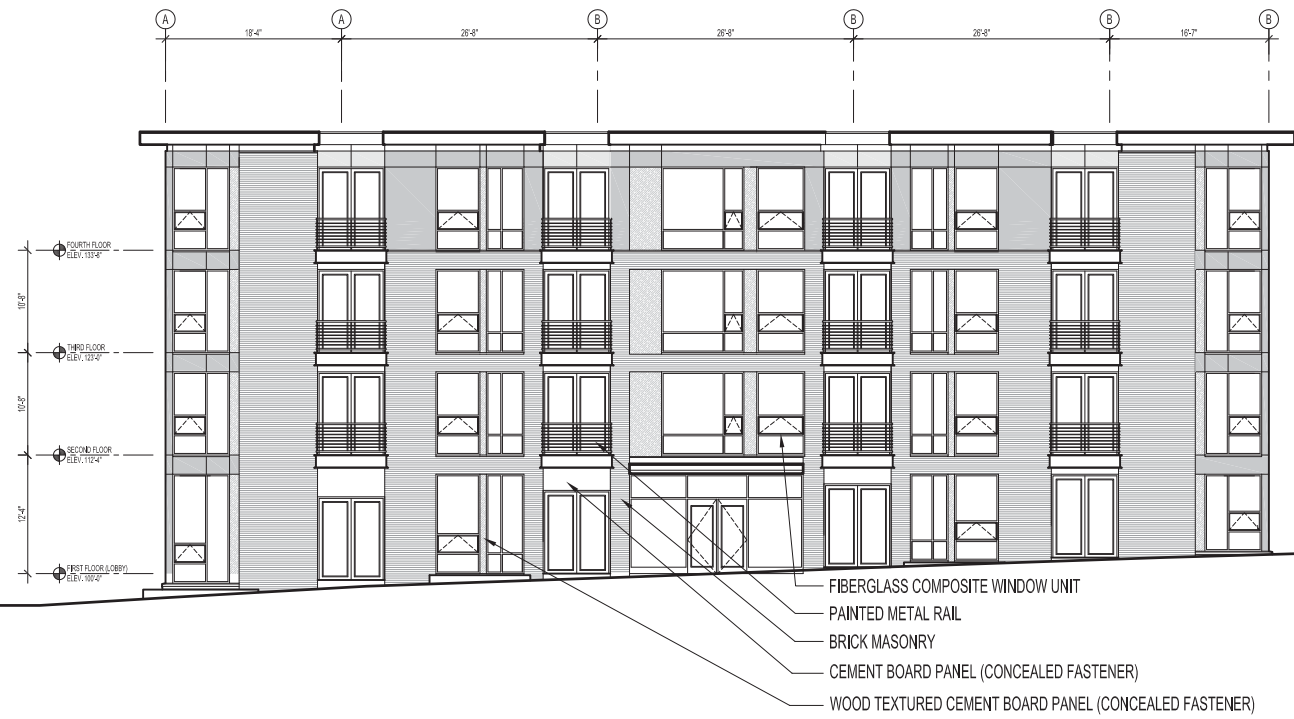
REVISIONS	DATE	DESCRIPTION

DRAWN BY WDH	DATE 07/11/2016
CHECKED BY APS	DATE 07/11/2016

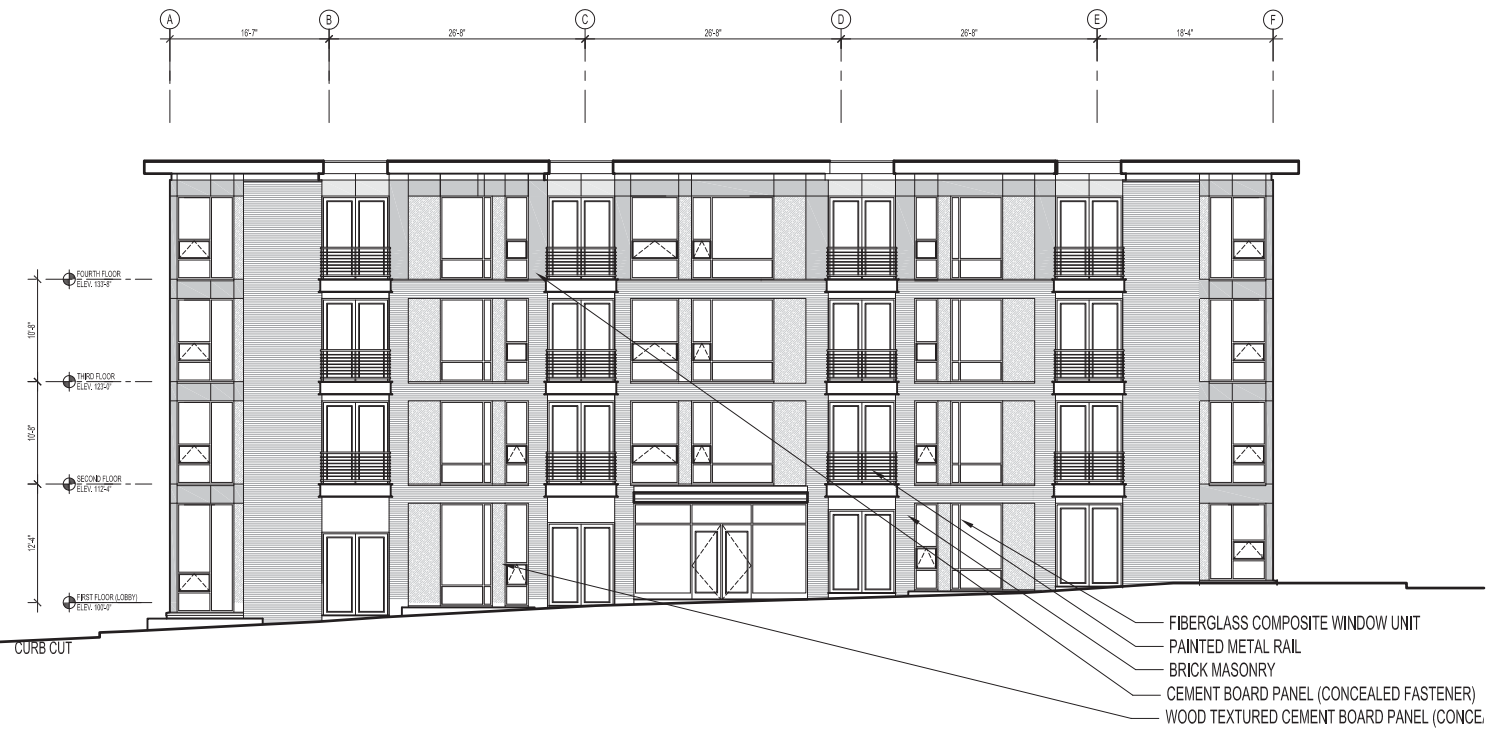
BLOCK "B" LANDSCAPE NOTES

BLOCK B

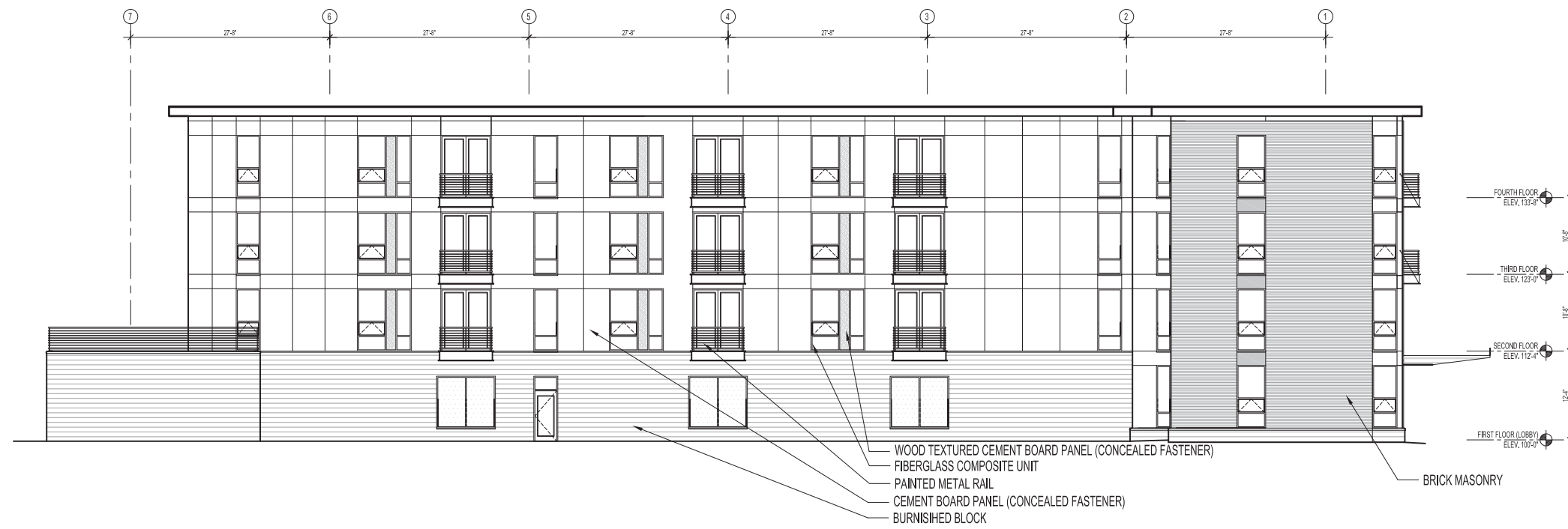
Building 1 & 2 North Elevation: Brown Street



EAST BUILDING



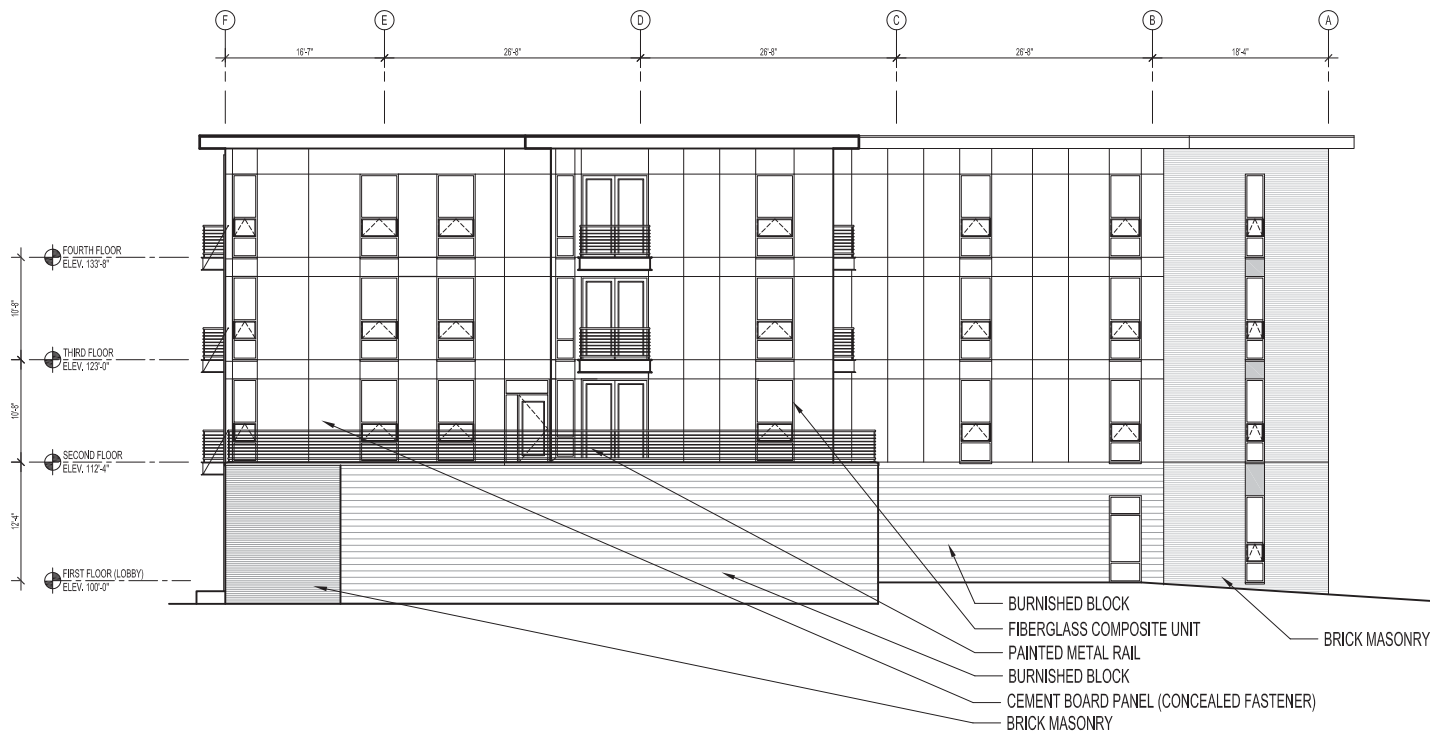
WEST BUILDING



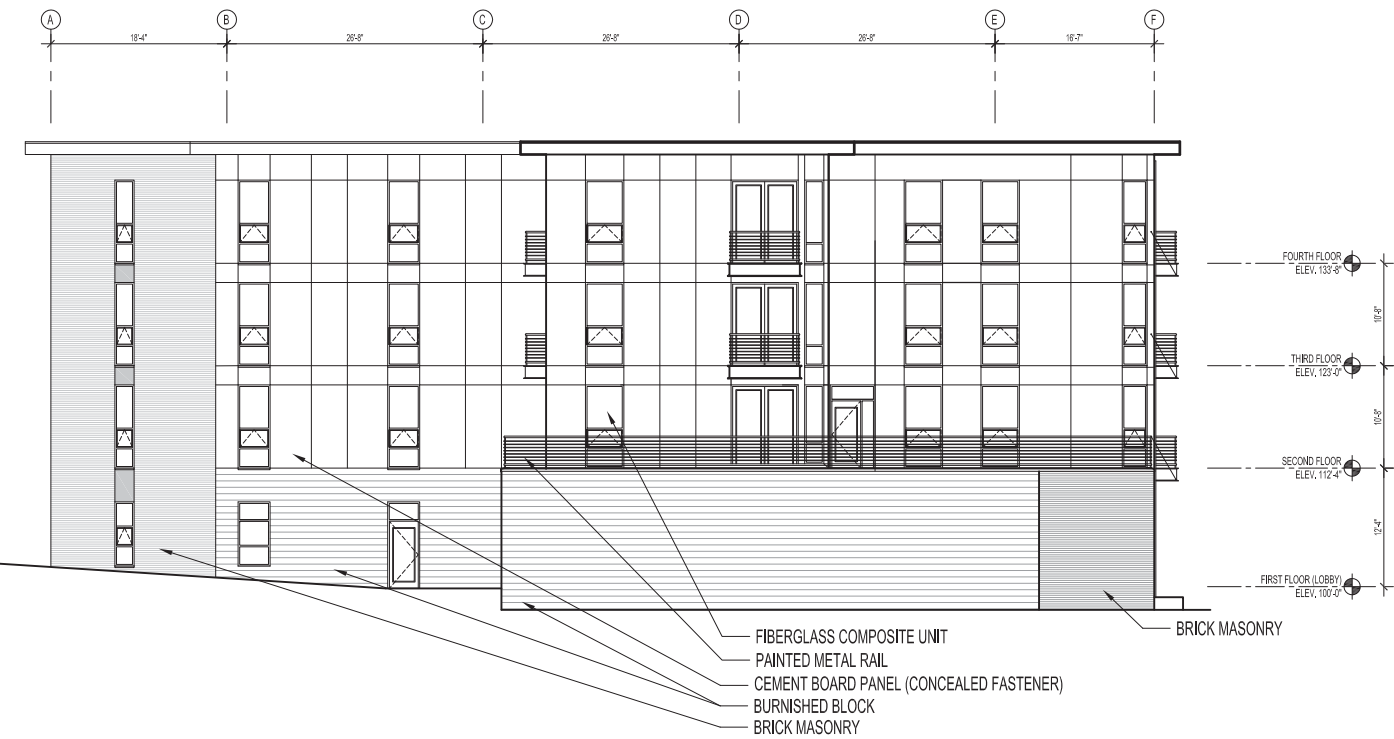


BLOCK B

Building 1 & 2 South Elevation



WEST BUILDING



EAST BUILDING

