



LIVING WITH HISTORY

Certificate of Appropriateness

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

Property 3002 W. STATE ST. **Concordia Historic District**
Description of work Spot repair stucco to match original texture as needed. Tear off existing shingle roof and replace it with Landmark series dimensional shingles in weathered wood color.
Date issued 2/25/2013 **PTS ID 85744 COA, new roof and stucco repair**

In accordance with the provisions of Section 320-21 (11) and (12) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

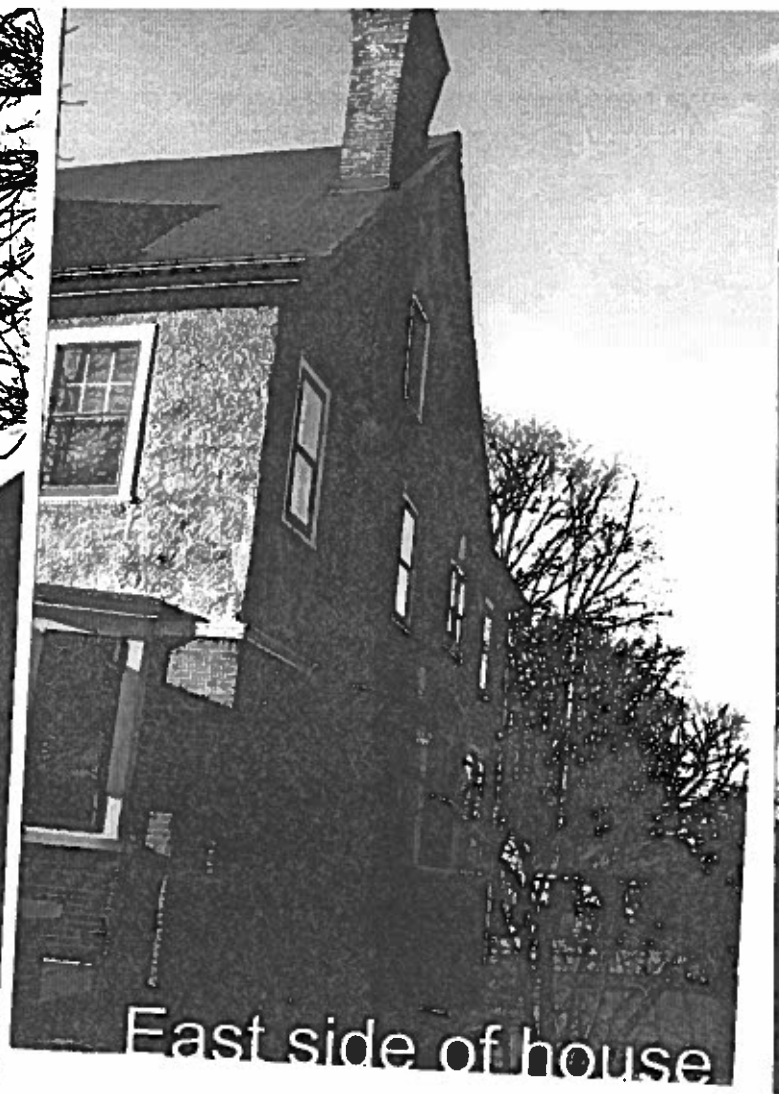
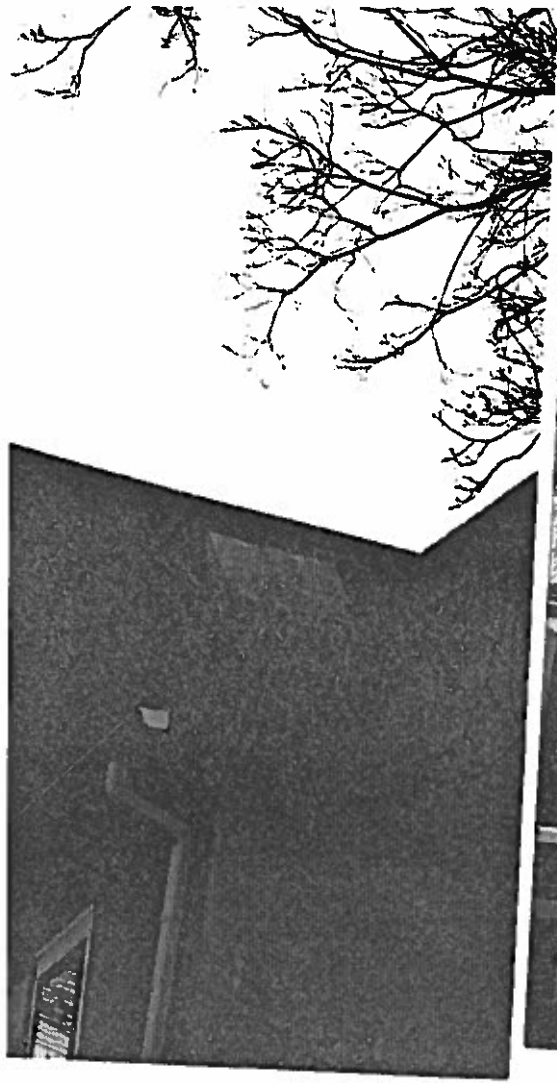
A continuous ridge vent may be installed provided that it runs the full length of the ridge or ridges. If box vents are installed they must be on a slope that is not visible from the street. No other features of the roof will be disturbed or altered. Stucco patch must match original texture and must be Portland-cement based. No Exterior Insulation and Finish System (EIFS) is allowed. Stucco can be painted upon completion of repairs because it was painted in the past.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-3004 E-mail: pjakub@milwaukee.gov.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.milwaukee.gov/build, or call (414) 286-8210.

Paul Jakubovich
City of Milwaukee Historic Preservation

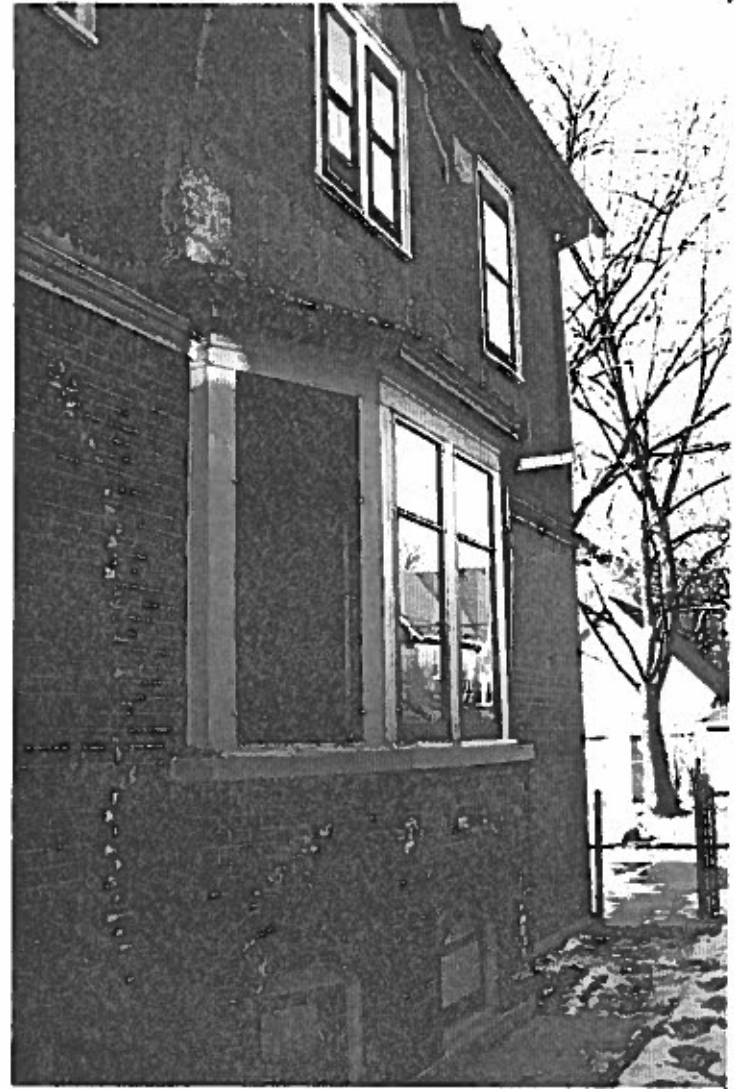
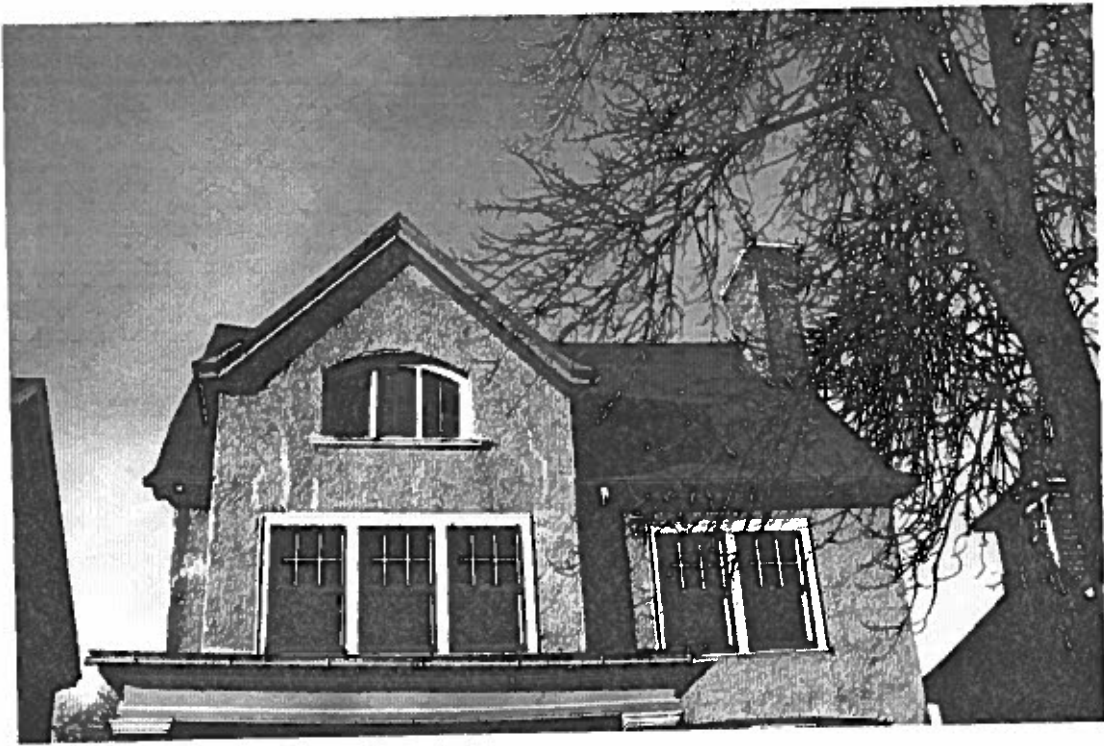
Copies to: Development Center, Ald. Robert Bauman, Inspector Adam Roder (286-2538), Inspector Heidi Weed.



East side of house

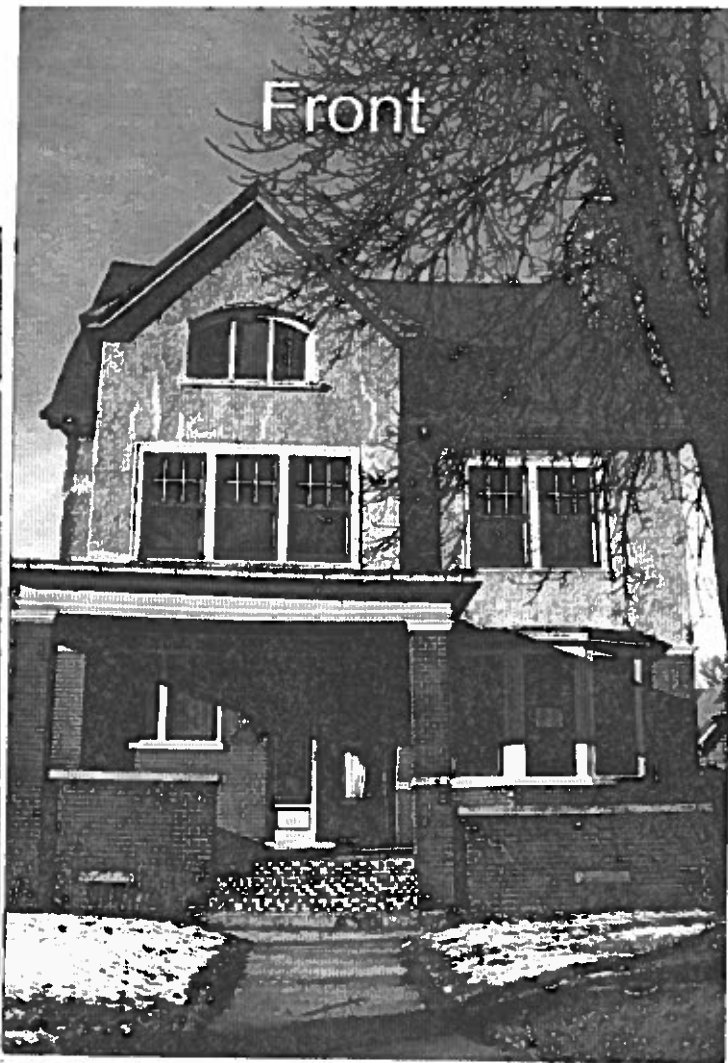


West side front

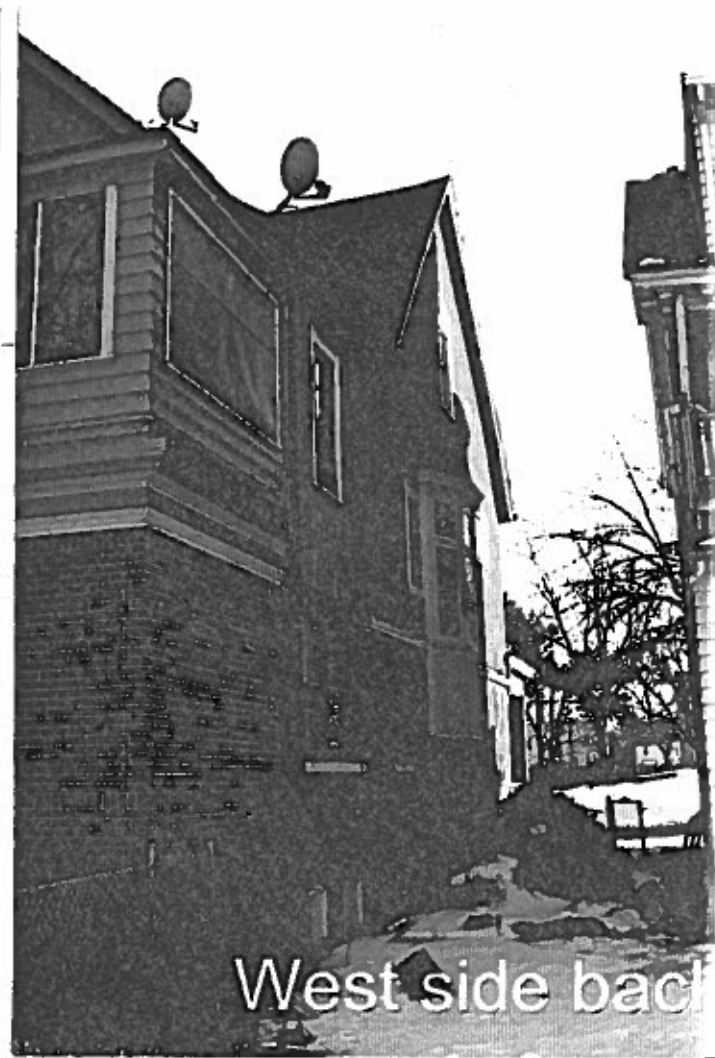




of house north



Front



West side back



1921 S. West Ave., Waukesha, WI 53189 Ph: 262-650-5040 Fax: 262-650-9049



Project Quotation

Patrick Kennelly
3002 W State Street
Milwaukee, WI 53233

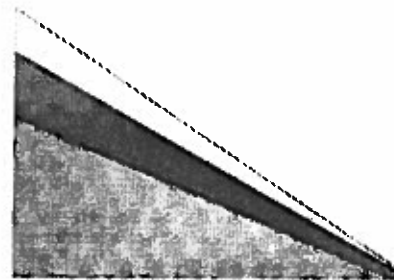
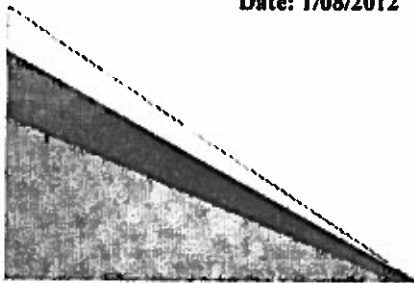
Respectfully Submitted By: Jake Krygier

Date: 1/08/2012

A Trusted Partner

We at Infinity Exteriors appreciate the time and interest you are showing our team. Infinity understands that every project is different and requires an experienced contractor to avoid pitfalls and guarantee a successful outcome. Infinity Exterior's team has a wealth of knowledge with a multitude of products. We have customer base of over 5,000, certifications to offer top notch warranties, and awards to prove our quality installation and customer service.

Below you will find an estimate for three different roof system options with varying warranties and installation techniques. Please review the proposal and feel free to contact us with any questions. Included is also a brief description of the products and some installation techniques.





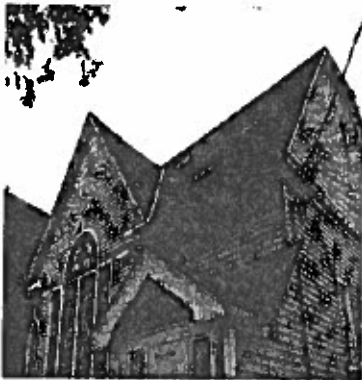
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The Process

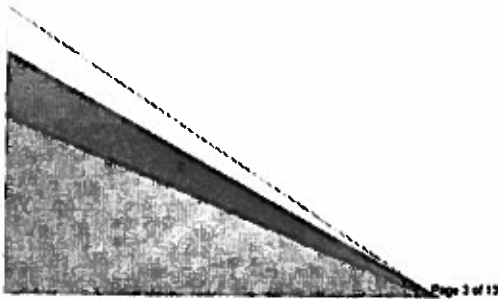
FACT: 90% of all roofs installed today will not pass a warranty inspection. Inadequately vented, improperly nailed, and otherwise poorly installed roof systems will fail long before they are supposed to.

Solution: Hire well trained, competent installers with a proved track record of success. Hire Infinity!

2yr old roof in complete failure



2yr old roof in perfect shape installed by Infinity

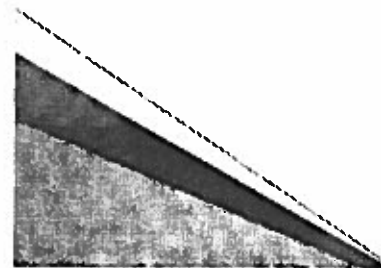
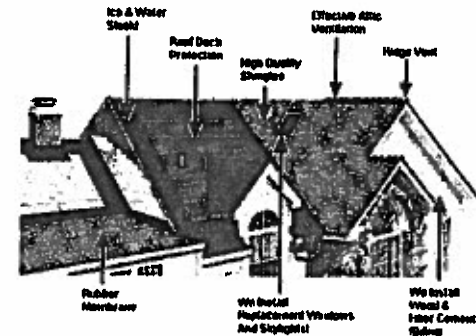


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System Approach

FACT: Most contractors use multiply different suppliers and manufactures when installing your roof. This approach does don't provide a REAL warranty in the event of roof failure

Solution: Install a Roof System from one manufacture and have that system backed by a Full Replacement Workmanship Warranty!



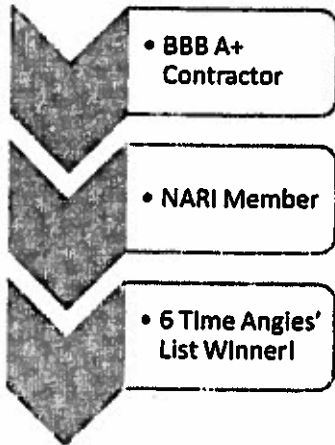


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Track Record of Success

FACT: Roofing is not a commodity. If it were then we would not be replacing 5 and 10yr roofs on a daily basis due to poor installation.

Solution: Hire on proven records.

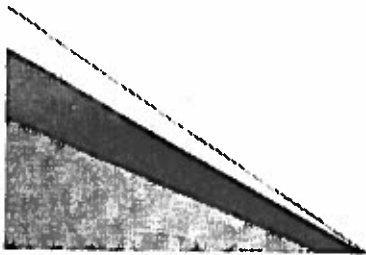
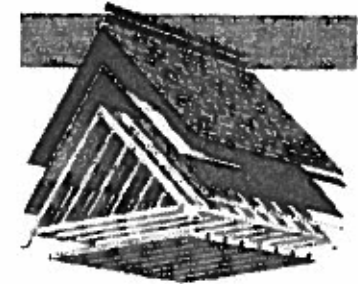


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Standard Roofing System



- High Quality Owens Corning Dimensional Shingles
- 110 mph Wind Resistance
- Standard Ice and Water Barrier
- Standard Felt underlayment
- Limited Lifetime Warranty





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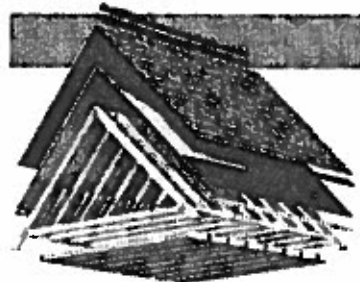
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Preferred Roofing System



CertainTeed

- High CertainTeed Landmark Series Dimensional Shingles
- ✓ 110 mph Wind Resistance
- High Performance Winterguard Ice and Water Barrier
- ✓ Premium Synthetic Waterproof underlayment
- Limited Lifetime Warranty
- ✓ 50yr Sure Start Plus Coverage. - Included full replacement for the duration of 50yrs and cover All Material - Labor - and WORKMANSHIP directly from CertainTeed



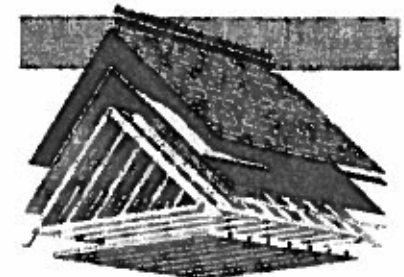
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Ultimate Roofing System



CertainTeed

- ✓ High quality CertainTeed Landmark Pro Series Dimensional Shingles
- ✓ 130 mph Wind Resistance
- ✓ High Performance Winterguard Ice and Water Barrier
- ✓ Premium Synthetic Waterproof underlayment
- 250lb per square
- Limited Lifetime Warranty
- ✓ 50yr Sure Start Plus Coverage. - Included full replacement for the duration of 50yrs and cover All Material, labor and WORKMANSHIP directly from CertainTeed
- ✓ Free yearly roof inspections



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1921 S. West Ave., Waukesha, WI 53189, Ph: 262-650-5040, Fax: 262-650-5049

PREPARED FOR: Patrick Kennelly
3002 W State Street
Milwaukee, WI 53233

Date: January 8, 2013

Project # 105672

1. Roofing Scope of Work: House

- Secure all necessary permits for construction
- Protect property using plywood and tarps
- Tear-off all areas of existing roofing material down to wood deck below.
- Dispose of debris off site while exceeding all OSHA requirements for worker and pedestrian safety. Infinity Exteriors LLC will provide waste removal services. All asphalt shingles will be recycled and not sent to the landfill. Composites will be placed in a tree.
- Inspect all decking and remove/replace any deteriorated wood decking at a rate of \$4 per linear foot of roof boards and \$30 per sheet of OSB. Included in this bid is the replacement of up to 50 linear feet of roof deck and 3 sheets (4x8) of OSB at NO CHARGE
- Furnish and install 3ft of Ice and Water barrier extending from the gutter line up the roof. Ice and Water barrier will also be installed under all valley metal and around all roof penetrations.
- Furnish and install new heavy asphalt saturated roofers underlayment.
- Furnish and install new starter shingles on all gutter edges.
- Furnish and install new soffit vent pipe flashings
- Furnish and install new "W" style valley metal where applicable
- Furnish and install new shingles of your choice (options below) in accordance with printed instructions manual
- Furnish and install new matching cap shingles
- Custom build and install new aluminum chimney flashing
- Furnish and install 8 new 560 style roof vents to MEET BUILDING CODE

2. Gutter Scope of Work

- Furnish and install new larger 2x4in downspouts with two straps per downspout in 4 location total of 8 downspouts. Included in price below

3. EDDM (Flat rubber) Scope of Work:

- Tear off all areas of existing flat roofing systems down wood deck
- Inspect all decking and replace as necessary as described above
- Furnish and install one layer of 1/2in High Density Fiberboard insulation with mechanical attachment over all included roof areas
- Furnish and install a Fully-Adhered 60mil EPDM membrane using solvent based bonding adhesive
- Terminate all details and edges with 2 stage clamping and caulking
- Furnish and install mechanically-attached compression bars in gutter
- RTS will be used on all roof transitions and penetrations

Flat Roof Pricing: \$4,300 (included in options below)

"Tru" Warranty System	
CertainTeed Landmark	
-Lifetime limited warranty	
-50yr Non-prorated FULL REPLACEMENT WARRANTY	
-50 point Follow up inspection	
-Upgrade to Winterguard Ice & Water Barrier	
-Upgrade to Performance Hip and Ridge Shingles	
-2pc fiberless laminated shingles	
-110 MPH wind resistance	
-10yr algae warranty	
Pricing	
Cash/Check	\$14,125.00
Initial for this system	_____



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LIEN NOTICE

AS REQUIRED BY THE WISCONSIN CONSTRUCTION LIEN LAW, INFINITY EXTERIORS LLC HEREBY NOTIFIES OWNER THAT PERSONS OR COMPANIES FURNISHING LABOR OR MATERIALS FOR THE CONSTRUCTION ON OWNER'S LAND MAY HAVE LIEN RIGHTS ON OWNER'S LAND AND BUILDING IF NOT PAID. THOSE ENTITLED TO LIEN RIGHTS, IN ADDITION TO THE UNDERSIGNED INFINITY EXTERIORS LLC, ARE THOSE WHO CONTRACT DIRECTLY WITH THE OWNER OR THOSE WHO GIVE THE OWNER NOTICE WITHIN SIXTY CALENDAR DAYS AFTER THEY FIRST FURNISH LABOR OR MATERIALS FOR THE CONSTRUCTION. ACCORDINGLY, OWNER WILL PROBABLY RECEIVE NOTICES FROM THOSE WHO FURNISH LABOR OR MATERIALS FOR THE CONSTRUCTION AND SHOULD GIVE A COPY OF EACH NOTICE RECEIVED TO THE MORTGAGE LENDER, IF ANY. INFINITY EXTERIORS LLC AGREES TO COOPERATE WITH THE OWNER AND THE OWNER'S

OWNER:

Authorized Signature: _____

Print Name: _____

CONTRACTOR: Infinity Exteriors LLC

Authorized Signature: _____

Print Name: _____ Title: _____

PROJECTED START DATE: _____



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WARRANTY:

LIFETIME WORKMANSHIP WARRANTY - Very simple.....we guarantee that if the products we install ever fails as a result of our installation we will fix it or replace it as necessary to fulfill the warranty of the manufacture.

Total Project Price with Options:

Sub-Total \$ _____

Total Cash/Check \$ _____

Finance for as little as \$ _____ Per Month Investment Total \$ _____

*When you elect a 24-MO Check and Cash discount, Credit Card payments and financing are subject to 2% charge.

GENERAL CONDITIONS

Work. Contractor agrees to fully execute the Work described in the Contract Documents and reasonably inferable by Contractor as required to produce the result intended by the Contract Documents. Contractor is responsible for, and shall have sole control of the construction methods, sequences, and coordination of the Work, unless expressly stated to the contrary.

Commencement of Work. Owner warrants that the structures on which Contractor is to work are in sound condition and capable of withstanding the normal activities of roofing construction, equipment, and operations. Contractor's commencement of the roof work constitutes only that the surface of the structural sufficiency of the roof deck or other trades' work or design.

Construction Materials. All materials and work shall be furnished in accordance with normal industry tolerances for color, variation, thickness, size, weight, amount, finish, texture and performance standards. Excess materials delivered to job site and/or materials not physically attached to the structure after substantial completion of the work contemplated by this Contract shall remain the property of Contractor.

Access to Work and Jobsite. Owner will indemnify Contractor from personal injury and other claims and expenses if Contractor is injured as a result from the presence of concealed electrical conduit and live electrical power. Contractor is not responsible for claims of repair or damages, including disruption of service, resulting from damage to unfurnished or concealed electrical or other utility lines.

Insurance. Contractor shall maintain workers' compensation, automobile liability, commercial general liability and such other insurance as required by laws. Contractor will furnish a Certificate of Insurance evidencing the types and amounts of its coverage, upon request. Owner shall maintain vandalism and malicious mischief, naming Contractor as additional insured.

Owner assumes risk of loss during construction, except for the intentional acts of Contractor, its subcontractors or employees.

Environmental Hazards. Contractor is not responsible for any environmental hazards identified or released at Jobsite. Owner acknowledges that hazardous materials may be released by Contractor during the normal course of Contractor's work. Such hazardous materials may include, without limitation, mold, dust, chimney soot, asbestos, and other particulates that may or may not become airborne. Owner expressly acknowledges ownership of any waste generated at the Jobsite, whether or not such waste contains hazardous materials. Except to the extent of the Contractor's negligent or intentional acts or omissions, Owner shall be solely responsible for all risk, shall indemnify and hold Contractor harmless and free of liability, and shall bear the costs of any removal or correction of environmental materials at the Jobsite.

Asbestos. The Contract is based on Contractor not discovering or coming into contact with asbestos-containing materials ("ACM"). Contractor is not responsible for expenses, claims or damages arising out of the presence, disturbance or removal of ACM. Contractor shall be compensated for additional expenses resulting from the presence of ACM. Owner agrees to indemnify Contractor from and against any liability, damages, loss, claims, demands or citations arising out of the presence of ACM.

Noise, Vibration and Disturbances. Owner is aware that roofing construction produces noise and roofing products emit fumes, vapors and odors during the application process. Some people are more sensitive to these noises and emissions than others. Owner shall hold Contractor harmless from claims from third parties relating to noise, fumes and odors that are omitted during the normal roofing process.

Contract Documents. If the conditions enumerated at the Jobsite are (a) conditions expressly enumerated or generally recognized as inherent in the Work provided for in the Contract Documents, the Contractor shall stop work in the affected area and give prompt notice of the condition to the Owner. Change in the Contract Price or Contract Schedule shall be determined as outlined in the section herein titled Change.

Any Safety. Contractor is not responsible for the safety of persons on the roof other than its subcontractors and employees. Owner agrees to indemnify and hold Contractor harmless from claims for personal injury by persons or entities that Owner has allowed or authorized to be on the roof.

Payment. Owner shall timely make of payments required by this Contract and any other notices that Owner has allowed or authorized to be on the roof. If payment, Owner agrees that, in addition to other remedies available to Contractor, if payment is not timely made, Contractor is entitled to a service charge of 1.5% per month on all past due amounts, plus, if not contrary to any law, all costs of collection including actual attorney's fees. Contractor shall furnish lien waivers to Owner at the time each Progress Payment and the Final Payment is made. Final Payment shall constitute acceptance and approval of all Work, and a waiver of all claims by Owner, except those arising from liens or the warranty included in this Contract. No retention shall apply to any of the work.



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Changes. Contractor may request or the Owner may order changes in the Work or the timing or sequencing of the Work that impacts the Contract Price or the Contract Schedule. Such changes shall be memorialized in a written Change Order to be signed by the Parties prior to Contractor's commencement of any new work. For changes in the Work, Owner and Contractor shall negotiate an adjustment to the Contract Price or the Contract Schedule in good faith and conclude negotiations as expeditiously as possible. Contractor shall be entitled to add a markup to Change Orders of 10% for overhead, supervision, and profit. Where Contractor seeks input and information from Owner prior to issuing a Change Order, Owner shall use reasonable efforts to respond to Contractor's request for information within two (2) business days. Acceptance of a Change Order by Owner shall not be unilaterally withheld.

Work Stoppage. Should work be stopped by any public authority or the Owner for more than thirty calendar days, Contractor may terminate this Contract and collect for the value of all work completed and materials ordered as of the date work is stopped, plus Contractor's associated profit under this Contract. Owner's failure to sign Change Orders or Owner's refusal to make Progress Payments, or any other cause beyond Contractor's sole control, shall also be cause for work stoppage by Contractor.

Delay. Work shall be completed within the number of working days stated in this Contract and the Contract Schedule, unless delay occurs due to work stoppage, adverse weather conditions, labor disputes, changes by Owner, Work was not installed, improper or insufficient maintenance, modifications systems, or materials incorporated into the Work. Any products, equipment, systems, or materials which apply to products, equipment, systems, or materials incorporated into the Work, any products, equipment, systems, or materials which apply to products, equipment, systems, or materials incorporated into the Work, shall be covered and warranted by that warranty. Contractor's warranty as set forth above shall commence on the date Contractor receives final Payment from Owner. The warranty period is not extended by Contractor's correction of defective work, if Owner discovers any defect to which Contractor's warranty applies. Owner shall notify Contractor in writing, identifying the defect and relevant Contract requirements which has been verified, within fourteen (14) days of Owner's discovery of the defect. Contractor shall promptly correct the defect at its own time and cost and bear the expense of additional services required for correction of the defect. If Owner does not provide Contractor notice of a defect within fourteen (14) days of the discovery or does not permit Contractor the opportunity to test or correct the defect as reasonably requested by the Contractor, Owner waives the Contractor's obligation to correct the defect.

Indemnification. To the fullest extent permitted by law, Contractor shall indemnify and hold harmless the Owner and its employees from all claims for bodily injury or property damage, other than to the Work itself and other property insured, including reasonable attorneys' fees, costs and expenses, that may arise from the performance of the Work, but only to the extent caused by the negligent acts or omissions of the Contractor and its employees, subcontractors, and material suppliers. The Contractor shall be entitled to reimbursement of any defense costs paid above the Contractor's percentage of liability for the underlying claim to the extent provided for in this subsection. To the fullest extent permitted by law, the Owner shall indemnify and hold harmless Contractor and its employees, subcontractors, and material suppliers from all claims for bodily injury and property damage, other than claims caused by the negligent acts or omissions of the Owner or its employees. The Owner shall be entitled to reimbursement of any defense costs paid above the Owner's percentage of liability for the underlying claim to the extent provided for in this subsection.

Termination of Contract. In the event of cancellation of the Contract by the Owner, Contractor shall receive compensation from the Owner for all costs of labor and materials and all other expenses incurred through that date plus Contractor's anticipated profit under the Contract. Contractor may make claims relative to the Work. Owner shall remain obligated to pay Contractor for the value of all Work completed and materials ordered as of the date of termination, plus Contractor's anticipated profit under the Contract.

Impeachment of Credit. If the Owner is or becomes insolvent, or is unable to pay its debts as they mature, or files or has filed against it a bankruptcy, insolvency, or similar petition, or fails to pay any debt arising hereunder to Contractor on time, or if Contractor in good faith doubts the ability of the Owner to pay, Contractor may, at its option, either: (a) terminate the work at any time thereafter; and Owner shall thereupon pay for all work performed on a pro-rata basis plus all lost profit; or (b) discontinue work until such time as the Owner has paid Contractor in full for work performed, has agreed to pay Contractor for any additional costs incurred because of such discontinuance, and upon such other terms or conditions as may be imposed by Contractor to ensure the payment for the work.

Protection of Personal Property and Jobsite. Owner agrees to remove or protect any personal property made and outside the Jobsite. Contractor shall make reasonable efforts to avoid damage to existing property. Contractor will make every effort to lease debris and dust down to a bare minimum. Contractor is not responsible for reworking or damages sustained to Owner's personal property during normal construction activities. Contract Interpretation. The Contract Documents and subsequently issued Change Orders are essential parts of this Contract, and a requirement of this Contract is being as though occurring in it. In resolving conflicts, discrepancies, or errors the following order of precedence shall be used: (a) the drawings including modifications by Change Order; (b) these General Conditions; and (c) the drawings, plans or specifications; or (d) the other documents comprising the Contract Documents.

Non-Waiver. Failure by Contractor to insist upon strict performance of any terms or conditions of this Contract or failure or delay in exercising any rights or remedies provided herein or by law shall not be deemed a waiver of any right of Contractor to insist upon strict performance hereof or any of its rights or remedies in the future.

Severability. The provisions of this Contract are severable. If any provision shall be deemed to be illegal or unenforceable, such determination shall have no effect on any other provision hereof, and the remainder of the Contract shall continue in full force and effect as that the purpose and intent of this Contract shall still be met and achieved.

Survival. All terms, conditions and provisions of this Contract, which by their nature are independent of the period of performance, shall survive the completion, termination, expiration, default or abandonment of the Contract.