



LIVING WITH HISTORY

Certificate of Appropriateness

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

Property 2042 E. LAFAYETTE PL. North Point South Historic District
Description of work A new deck will be built at the north east corner of the house between the house and the garage, looking toward E Windsor Pl. The deck is not covered.
Date issued 06/02/2016 PTS ID 111229 COA

In accordance with the provisions of Section 320-21 (11) and (12) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All parts of the deck should be built of naturally decay resistant wood such as domestic Spanish cedar, western red cedar or redwood. The use of Ponderosa pine or western white pine for finish material is not allowed because it can decay rapidly in an exterior setting often in as little as three to five years. Wood should be smooth and free of knots and sapwood. The product Woodlife may be applied to new finish wood and trim before priming and painting. All new wood must be painted or stained upon completion. Please note that formal research has shown that when new, bare wood is exposed to the exterior elements for a period of only a week or two, the life of the paint job subsequently applied to it will be decreased.

All porch foundations must extend below the frost line, which would be a minimum of 48 inches deep in southeastern Wisconsin, according to the State of Wisconsin's Uniform Dwelling Code. A typical deck foundation system consists of a poured in place concrete pad, called a footing, usually between 12 and 20 inches in diameter, located directly beneath each deck column. To tie the post and the concrete together, a few protruding galvanized bolts near the bottom of the post should be installed.

The lattice work or skirting boards enclosing the area under a porch should be designed with generous openings that will promote a good circulation of air to carry off some of the moisture. Pressure-treated wood with relatively few knots, cedar lumber which is graded "#3 and better" are recommended. Common, untreated pine construction lumber, even if painted, is not recommended. To improve the durability of any wooden skirting, the individual boards should be thoroughly coated or soaked with a quality wood preservative, including the cut ends of pressure-treated lumber, and then primed and painted before installation. Diagonal and rectangular lattice work is made of 2 by 8 or 4 by 8 feet pieces nailed to a 1 by 6 inch lumber as the skirting frame.

Stairs should be out of wood. Based on the State of Wisconsin Uniform Building Code, the rise or height of a step must not exceed 8 inches; however risers are most commonly between 7 and 7 1/2 inches high. Variations in height between porch steps should not exceed 3/16 of an inch

Deck posts that are buried in or placed directly on top of soil should be pressure-treated. A typical porch post is made out of pressure-treated yellow pine, secured in a poured concrete footing. Posts should be made from impeccably straight, nominal 6 by 6 lumbers, which actually measures 5-1/2 inches square. Do not use the more common 4 by 4 posts which are actually 3-1/2 inches square.

The upper rail on the guardrail and the handrail is graspable and in bread-loaf shape, as it has been proposed in the drawings by the applicant. The footrail (bottom rail) should be made of at least 2-inch-thick stock. The footrail should have tapered or sloped sides to shed water. In order to attach the handrails and footrails to newels and porch posts, using a special nutlike fastener called a Tite Joint® and a common metal dowel screw is recommended. Decks 24-inches or more above ground level must be equipped with guardrails as specified in the State of Wisconsin building code.

All work to be carried out per application.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Carlen Hatala of the Historic Preservation staff as follows: Phone: (414) 286-5722 Fax: (414) 286-3004 E-mail: carlen.hatala@milwaukee.gov.

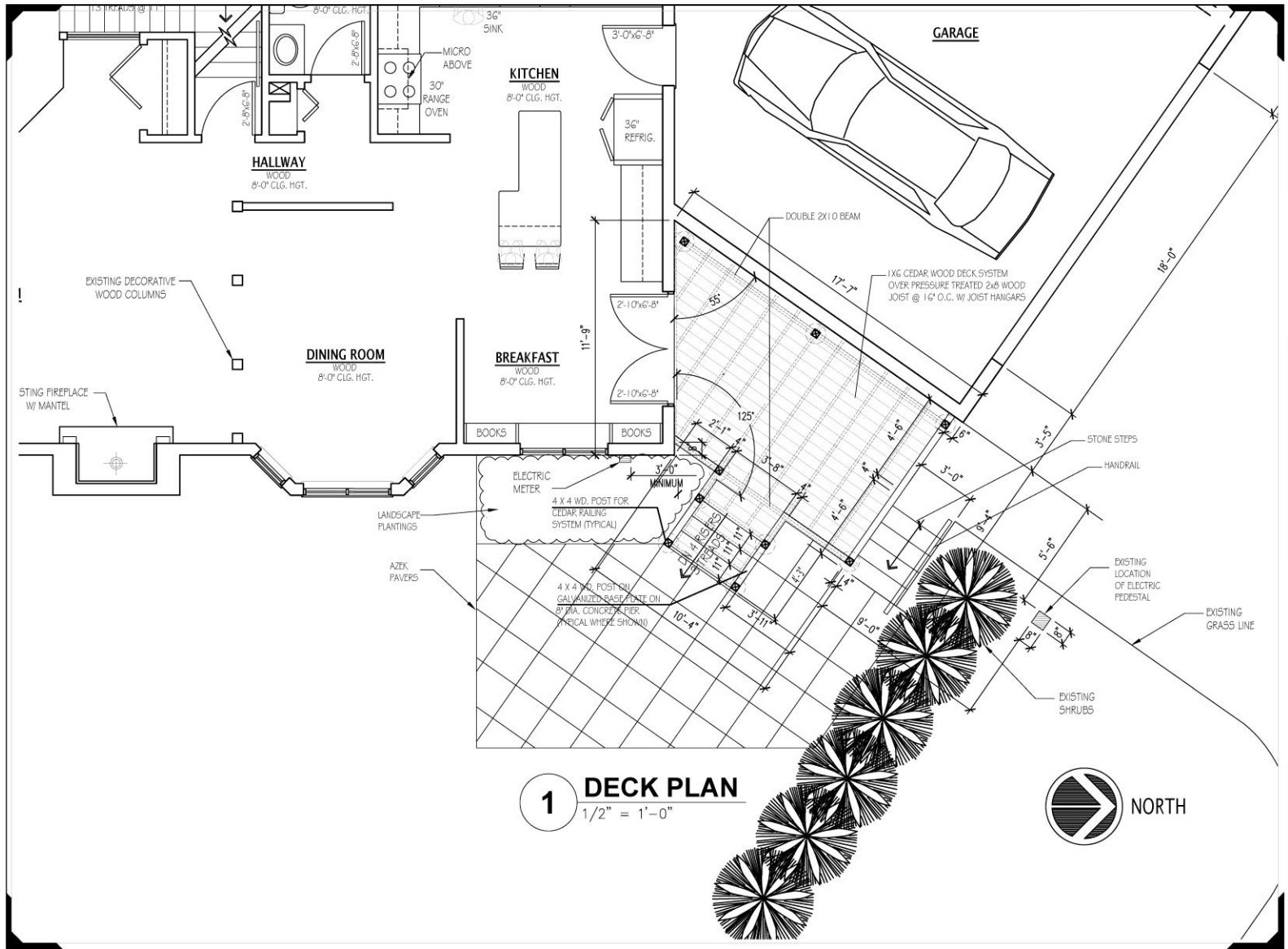
If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.milwaukee.gov/build, or call (414) 286-8210.



City of Milwaukee Historic Preservation Staff

Copies to: Development Center, Ald. Nik Kovac, Contractor, Inspector Paul Wolfgramm (286-2590)





1 DECK PLAN
 1/2" = 1'-0"



File: E:\Documents\CD -- Docume
 Sheet# for invalid reference
CONSTRUCTION DOCUMENTS
3453 S 80TH STREET
MILWAUKEE
WISCONSIN, 53140
 COPYRIGHT 2014 - ALL RIGHTS RESERVED

Project:
JAY OSTEMA - REMODEL
2042 E. LAFAYETTE PLACE
MILWAUKEE
WISCONSIN 53202

Notes:

REVISIONS	DATE	PROJECT NO.	DATE
			02-27-16

SHEET
A1.6



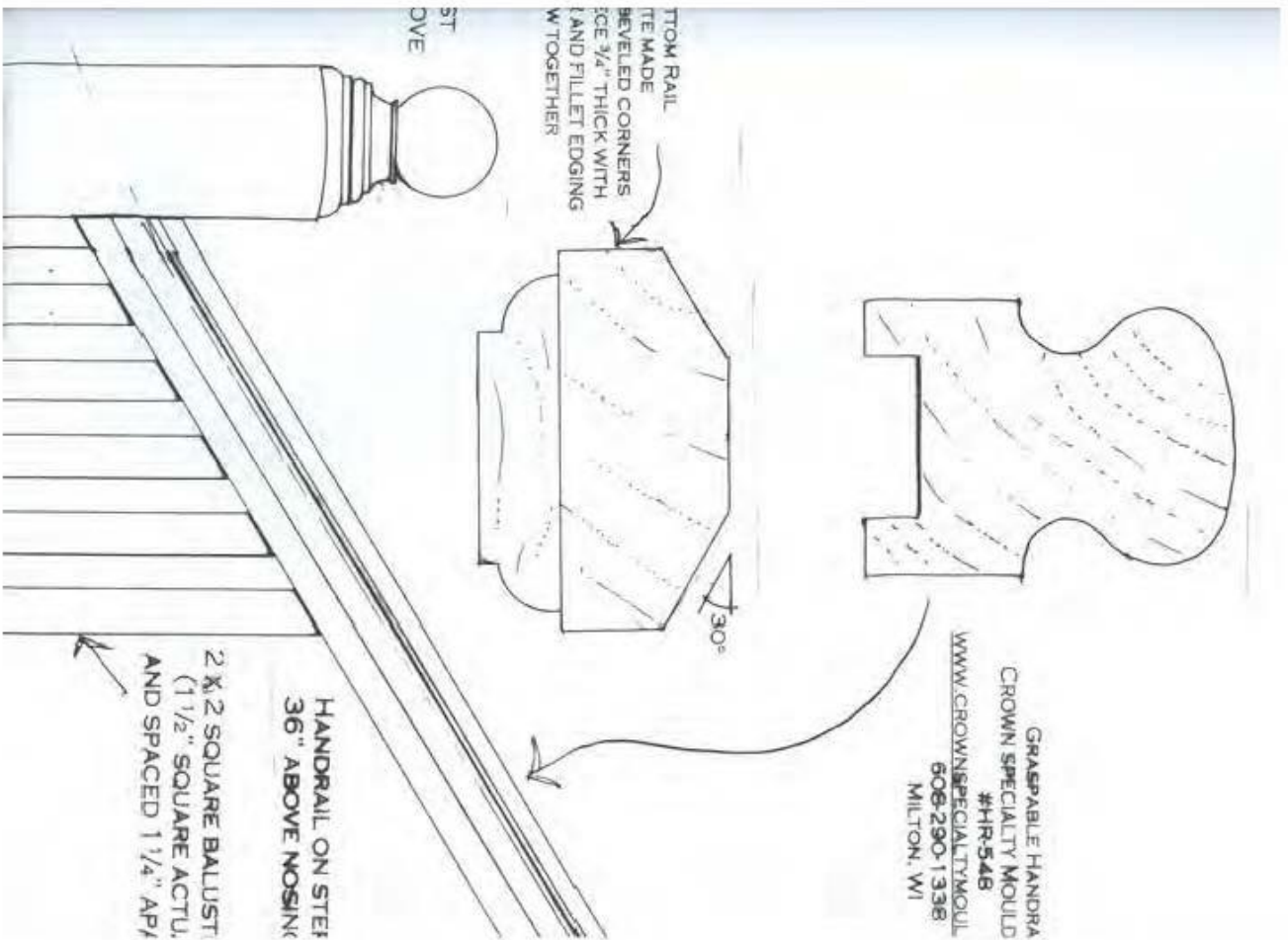
Ostema Residence, 2042 E. Lafayette Place, Milwaukee, WI 53202



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Example of Eco Wood Treatment applied to a cedar deck.
www.ecowoodtreatment.com



Example of railing elements to be used.