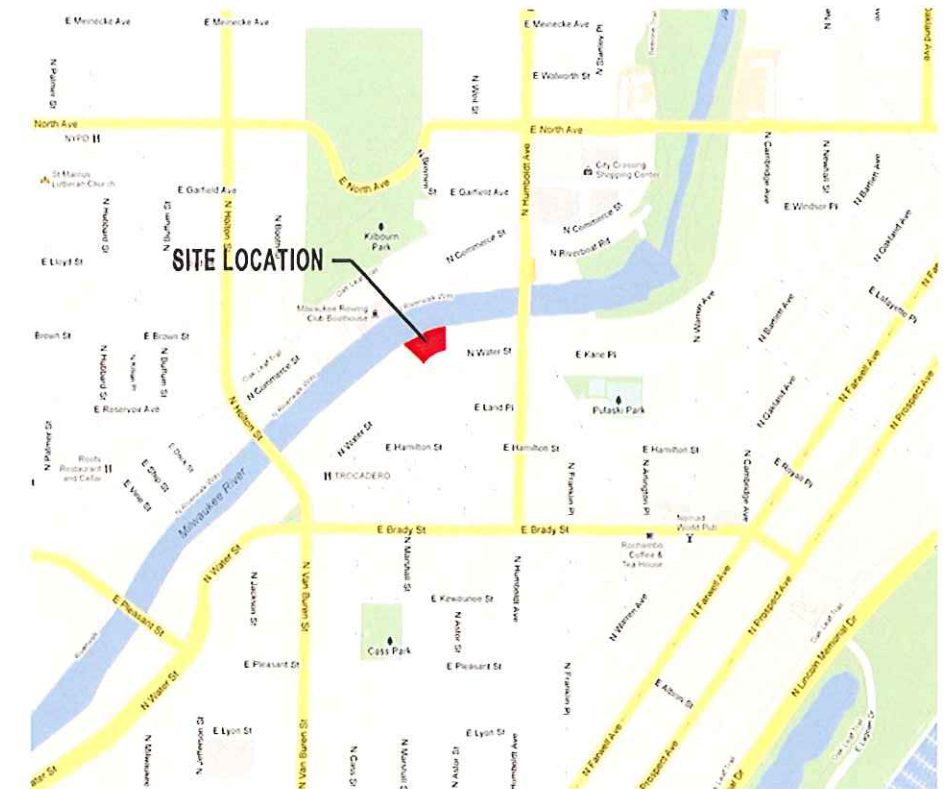




## 1887 WATER STREET



### INDEX

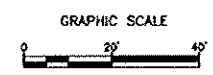
DPD Sheet 000	Title Sheet/Location Map
DPD Sheet 001	Site Survey (Sht. C001)
DPD Sheet 002	Site Preparation and Erosion Control Plan (Sht. C002)
DPD Sheet 003	Site Plan (Sht. C100)
DPD Sheet 004	Utility Plan (Sht. C300)
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DPD Sheet 014	Riverwalk Expansion Option A (Sht. A300)
DPD Sheet 015	Site Photos (A400)
DPD Sheet 016	Sun Study (A500)



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 Madison, Wisconsin 53703  
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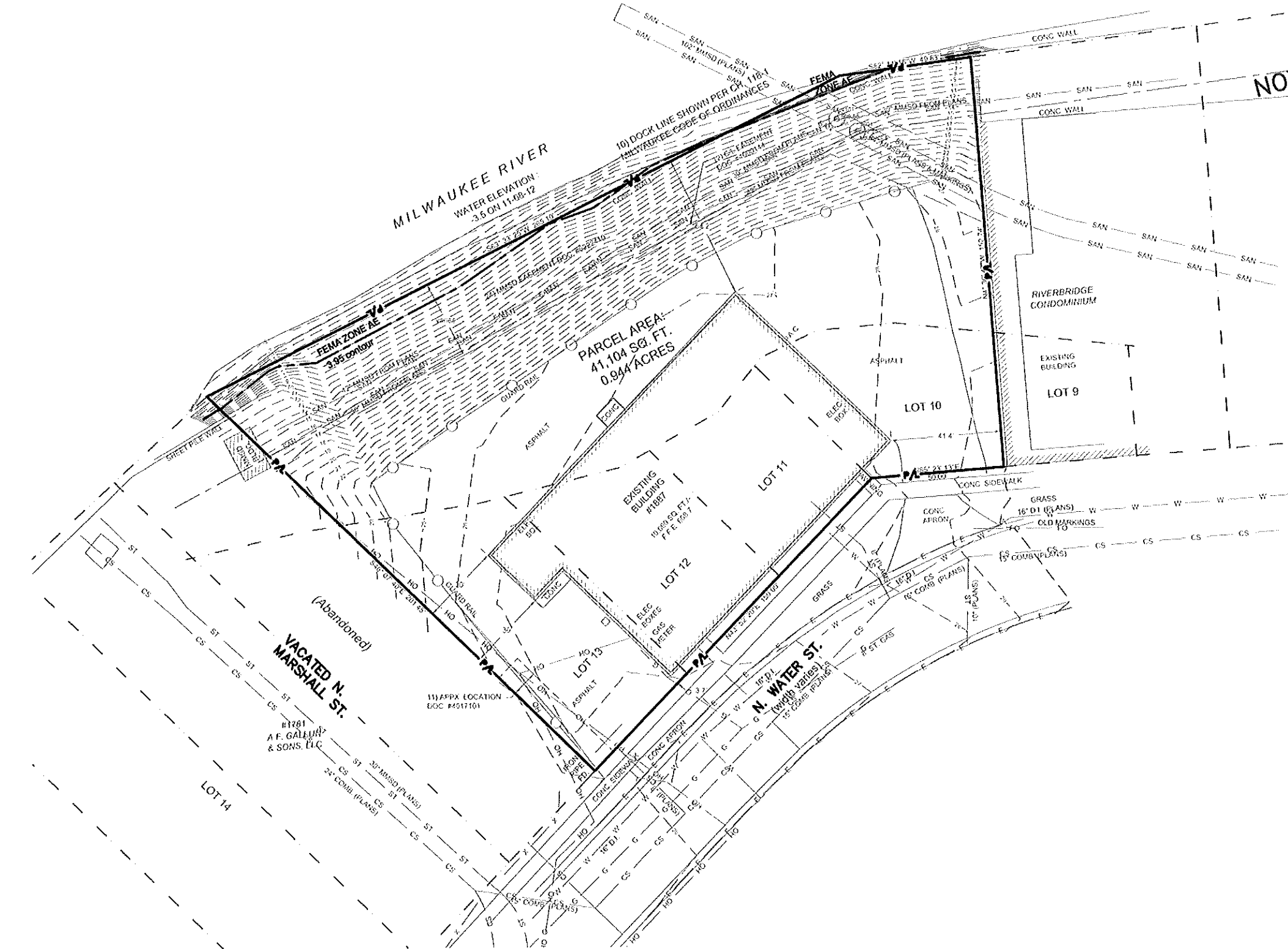


**LEGEND**

---	SECTION 1/4 SECTION LINE
---	PROPERTY LINE
---	EASEMENT
-x-x-x-	CHAIN LINK FENCE
~~~~~	TREE LINE
OH	OVERHEAD UTILITY LINE
E	ELECTRIC
T	TELEPHONE
FO	FIBER OPTIC
CTV	CABLE TV
SAN	SANITARY SEWER
FM	FORCE MAIN
ST	STORM SEWER
W	WATER MAIN
G	GAS
---	EXISTING CONTOUR
○	MANHOLE
○	CATCH BASIN
●	CATCH BASIN (ROUND)
●	ROOF DRAIN
⊗	HYDRANT
⊗	WATER VALVE
⊗	GAS VALVE
⊗	UTILITY POLE
⊗	GUY WIRE
⊗	GAS METER
⊗	ELECTRIC METER
⊗	UTILITY PEDESTAL
⊗	TRAFFIC SIGNAL
⊗	LIGHT POLE
⊗	SOIL BORING
⊗	MONITORING WELL
○	IRON PIPE FOUND/SET
○	REBAR FOUND/SET
○	CHISELED CROSS FOUND/SET
○	PK NAIL FOUND/SET
○	SPIKE/NAIL
○	MONUMENT
○	BENCHMARK
○	SIGN
○	DECIDUOUS TREE
⊗	CONIFEROUS TREE
○	BUSH
○	POST

**GENERAL NOTES:**

- BEARINGS BASED ON WISCONSIN STATE PLANE COORDINATE SYSTEM.
- VERTICAL DATUM IS CITY OF MILWAUKEE DATUM, TO CONVERT TO NGVD 1929 ADD 580.603. BENCHMARK IS SOUTHWEST FLANGE BOLD ON HYDRANT IN NORTHEAST QUADRANT OF W. OREGON STREET AND S. 3RD STREET WITH AN ELEVATION OF 12.93.
- FEMA FLOODPLAIN INFORMATION DIGITIZED FROM FIRM PANEL 55079C 0093 E DATED 9/26/2008. BASE FLOOD ELEVATION FOR SITE IS 584 (NGVD) OR 3.4 (CITY DATUM).



THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD DATA AS MARKED BY DIGGERS HOTLINE AND OBTAINED DURING THIS SURVEY. INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY, AND AS-BUILT INFORMATION. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.

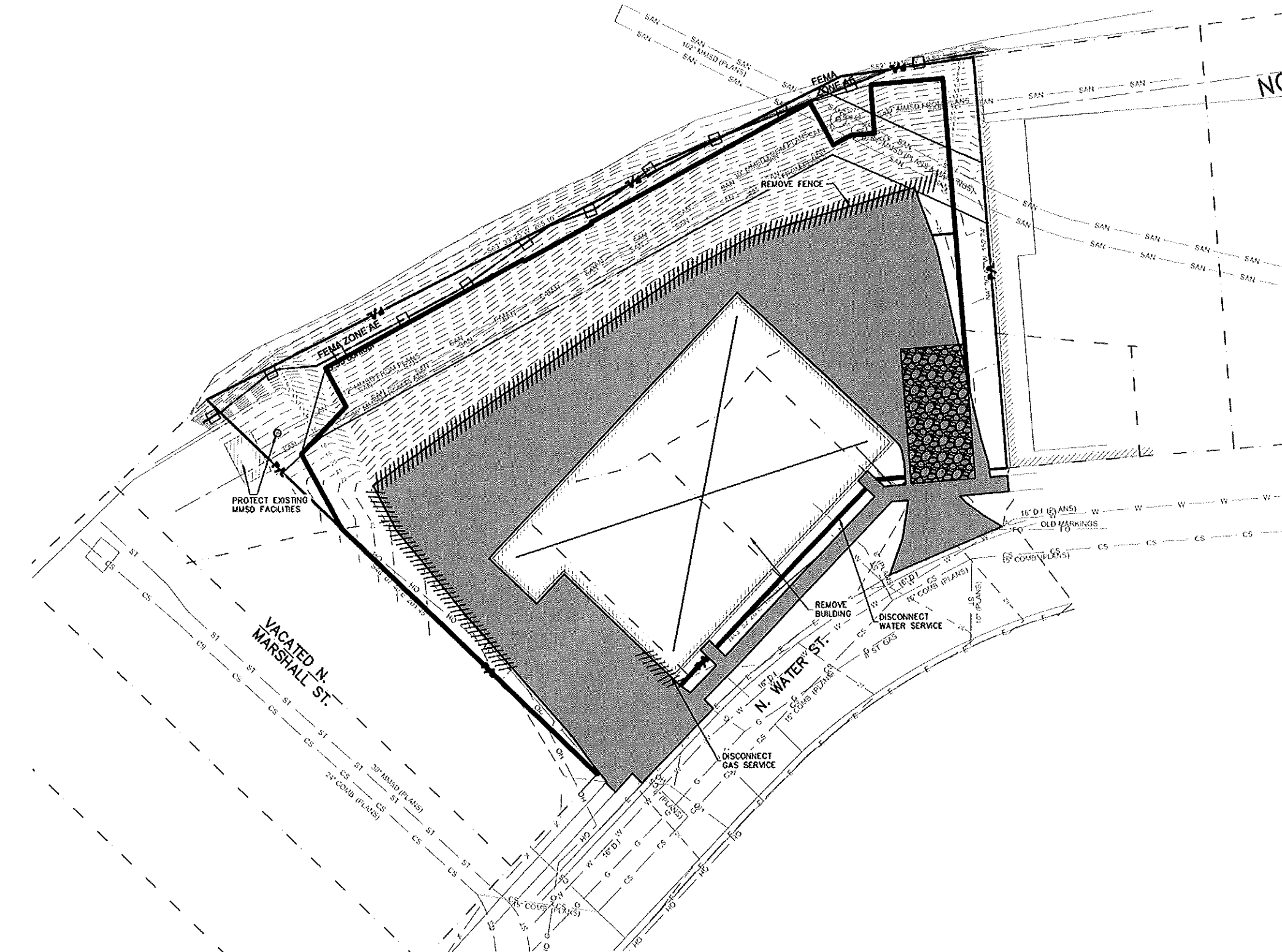


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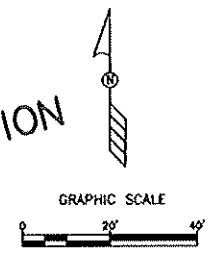
USE DIGGER HOTLINE TO LOCATE  
UNDERGROUND UTILITIES  
BEFORE YOU DIG

MILW. AREA 259-1181

File: I:\MSI Development Partners\13461\_Tornich...1887 N Water\060 CAD\C - Civil\500 Production - Civil Plans\501-Site Preparation & Erosion Control\13461-501-A.dwg



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- LEGEND**
- PROPOSED SILT FENCE (A C400)
  - ⊙ PROPOSED INLET PROTECTION (B C400)
  - ▨ PROPOSED TRACKING PAD (D C400)
  - - - EXISTING CONTOUR
  - PROPOSED CONTOUR
  - ▧ PROPOSED EROSION MATTING
  - /// UTILITY REMOVAL
  - ⊗ STRUCTURE REMOVAL
  - PAVEMENT REMOVAL

- GENERAL NOTES:**
- WORK TO BE COMPLETED BY CONTRACTOR IS INDICATED IN BOLD LINE TYPE. EXISTING CONDITIONS ARE INDICATED BY LIGHT LINE TYPE.
  - CALL DIGGER'S HOTLINE PRIOR TO ANY CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY UTILITIES.
  - INSTALL EROSION CONTROL MEASURES PRIOR TO INITIATION OF ANY SITE WORK.
  - BASE SURVEY PLAN IS BASED ON SURVEY BY SIGMA DEVELOPMENT, DATED SEPTEMBER 2012.
  - BEARINGS, DIMENSIONS, AND EASEMENTS SHOWN ARE FOR REFERENCE ONLY. REFER TO ALTA/ASCM LAND TITLE SURVEY TO VERIFY INFORMATION.
  - THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD DATA AS MARKED BY DIGGER'S HOTLINE AND OBTAINED DURING THIS SURVEY. INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY, AND AS-BUILT INFORMATION, WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.
  - ELECTRONIC FILES ARE AVAILABLE UPON REQUEST. CIVIL SHEETS AND FILES ARE NOT TO BE USED FOR BUILDING LAYOUT.

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PROJECT INFORMATION

ISSUANCE AND REVISIONS

REVISIONS

SHEET INFORMATION

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change involving additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

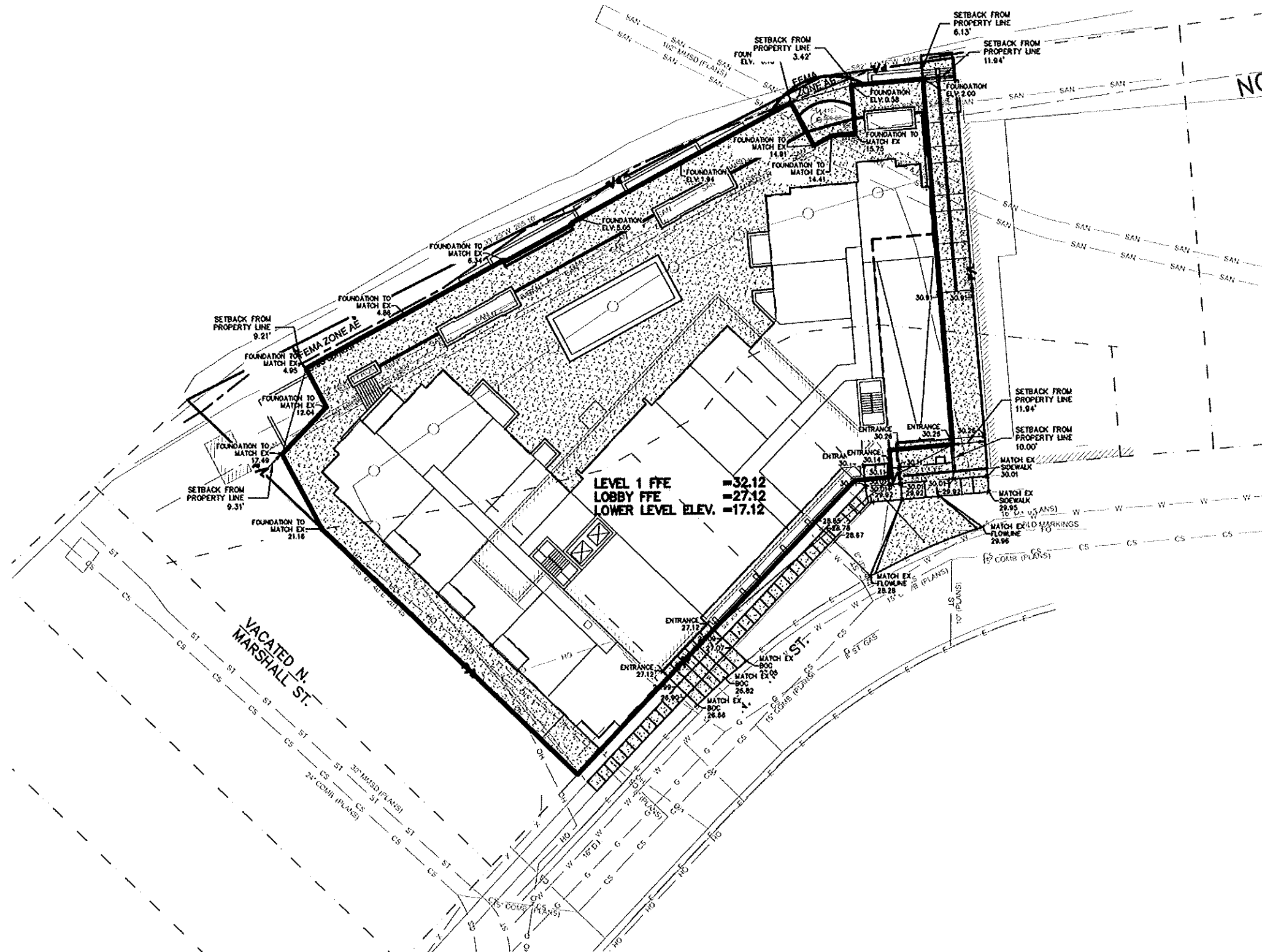
PROJECT MANAGER

PROJECT NUMBER

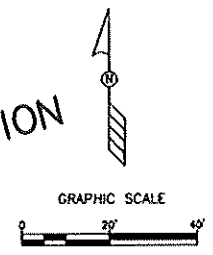
DATE 02-08-13

SITE PREPARATION  
AND EROSION  
CONTROL PLAN

**C002**



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**LEGEND**

- 5" THICK CONCRETE WALK
- ASPHALT SURFACE

- GENERAL NOTES:**
1. WORK TO BE COMPLETED BY CONTRACTOR IS INDICATED IN BOLD LINE TYPE. EXISTING CONDITIONS ARE INDICATED BY LIGHT LINE TYPE.
  2. CALL DIGGER'S HOTLINE PRIOR TO ANY CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY UTILITIES.
  3. INSTALL EROSION CONTROL MEASURES PRIOR TO INITIATION OF ANY SITE WORK.
  4. BASE SURVEY PLAN IS BASED ON SURVEY BY SIGMA DEVELOPMENT, DATED SEPTEMBER 2012.
  5. BEARINGS, DIMENSIONS, AND EASEMENTS SHOWN ARE FOR REFERENCE ONLY. REFER TO ALTA/ASCM LAND TITLE SURVEY TO VERIFY INFORMATION.
  6. THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD DATA AS MARKED BY DIGGERS HOTLINE AND OBTAINED DURING THIS SURVEY, INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY, AND AS-BUILT INFORMATION. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.
  7. ELECTRONIC FILES ARE AVAILABLE UPON REQUEST. CIVIL SHEETS AND FILES ARE NOT TO BE USED FOR BUILDING LAYOUT.
  8. THE PLACEMENT OF PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH S.D.D 15 C 8-9A OR LATEST VERSION.
  9. PROPOSED ADA RAMP SHALL CONFORM TO CITY OF MILWAUKEE STANDARDS.
  10. ALL DIMENSIONS ARE TO EDGE OF PAVEMENT

THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD DATA AS MARKED BY DIGGERS HOTLINE AND OBTAINED DURING THIS SURVEY. INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY, AND AS-BUILT INFORMATION. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.



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**PROJECT NUMBER**

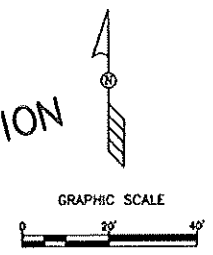
**DATE** 02-08-13

**SITE PLAN**

**C100**

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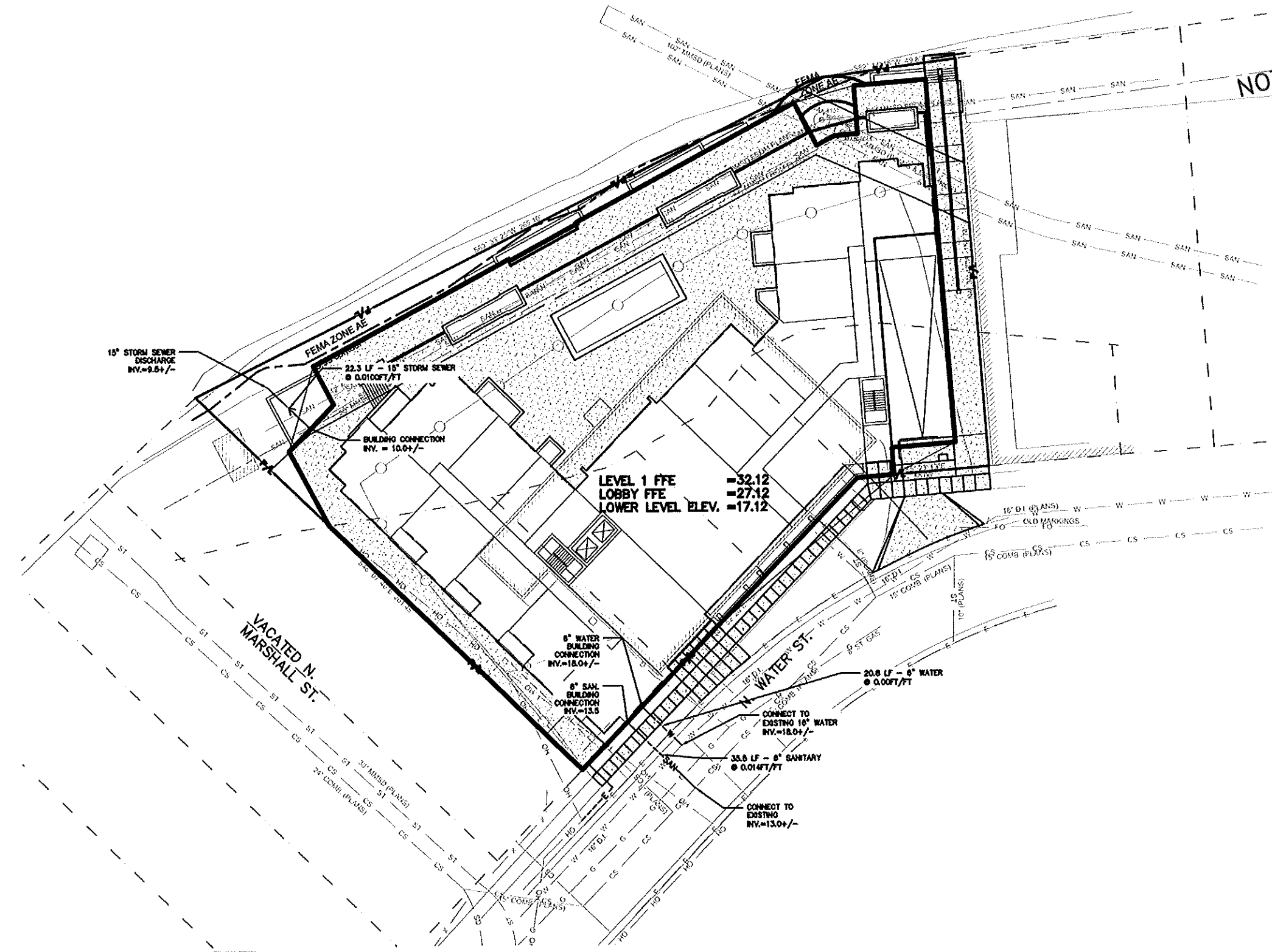


**LEGEND**

---W---	PROPOSED WATER SERVICE
---SAN---	PROPOSED SANITARY SERVICE
---ST---	PROPOSED STORM SEWER
---E---	PROPOSED ELECTRICAL SERVICE
---T---	PROPOSED TELEPHONE SERVICE
---G---	PROPOSED GAS SERVICE

**GENERAL NOTES:**

1. THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS DRAWING IS BASED ON FIELD LOCATIONS AND/OR RECORDS FURNISHED BY MUNICIPALITIES AND UTILITY COMPANIES. THE LOCATION AND ACCURACY OF WHICH CANNOT BE GUARANTEED. THERE MAY BE ADDITIONAL UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.
2. VERIFY ACTUAL LOCATIONS AND INVERTS IN THE FIELD. ANY POTENTIAL ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
3. WORK TO BE COMPLETED IS INDICATED IN BOLD TYPE LINES AND EXISTING CONDITIONS ARE INDICATED BY LIGHT TYPE LINES.
4. ELECTRONIC CML FILES ARE AVAILABLE UPON WRITTEN REQUEST. DO NOT USE ELECTRONIC CML FILES TO LAYOUT FOUNDATIONS, COLUMN LINES, LIGHT POLES, OR NON CIVIL SITE WORK. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF BUILDING AND ARCHITECTURAL FEATURES.
5. PRIVATE STORM SEWER SHALL BE PVC SDR-35 ASTM D3034.
6. PRIVATE WATER MAIN SHALL BE CLASS 150 DR 18 PVC CONFORMING TO AWWA C-900.
7. PRIVATE SANITARY SEWER SHALL BE PVC SDR-35 ASTM D3034. PRIVATE SANITARY SEWER SHALL BE LAID AT 1/4"/FT. MIN. SLOPE.
8. PRIVATE WATER MAIN AND SANITARY SEWER SHALL MAINTAIN 6' MINIMUM COVER. IF MINIMUM COVER CANNOT BE MAINTAINED THEN INSULATION SHALL BE INSTALLED IN ACCORDANCE WITH WSAFETY AND PROFESSIONAL SERVICES CHAPTER SPS 382.
9. IF PAVEMENT, CURB & GUTTER, OR OTHER EXISTING FEATURES ARE DISTURBED WITHIN ROW FOR UTILITY INSTALLATION, CONTRACTOR SHALL REINSTALL IN KIND AND RETURN ALL DISTURBED AREAS TO EXISTING CONDITIONS.
10. ALL UTILITIES WITHIN 5 FEET OF PAVED AREAS SHALL REQUIRE GRANULAR BACKFILL. SLURRY BACKFILL IS REQUIRED FOR ALL WORK IN PUBLIC RIGHT OF WAY.
11. WORK IN PUBLIC RIGHT OF WAY SHALL FOLLOW MATERIAL AND INSTALLATION REQUIREMENTS PER MUNICIPAL AND/OR COUNTY.
12. PROPOSED GAS, ELECTRIC, AND TELEPHONE SERVICES, INCLUDING TRANSFORMER, TO BE COORDINATED WITH SERVICE PROVIDERS BY CONTRACTOR. SERVICES SHOWN PER PLAN ARE FOR REFERENCE PURPOSES ONLY AND FINAL LOCATIONS SHALL BE DETERMINED BY CONTRACTOR.

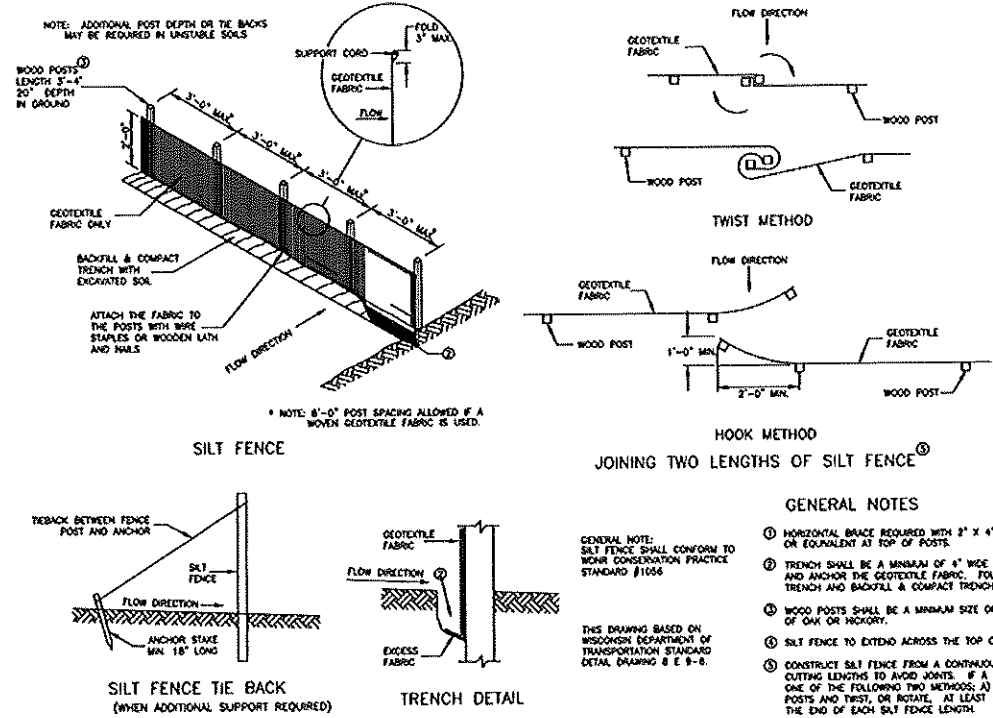


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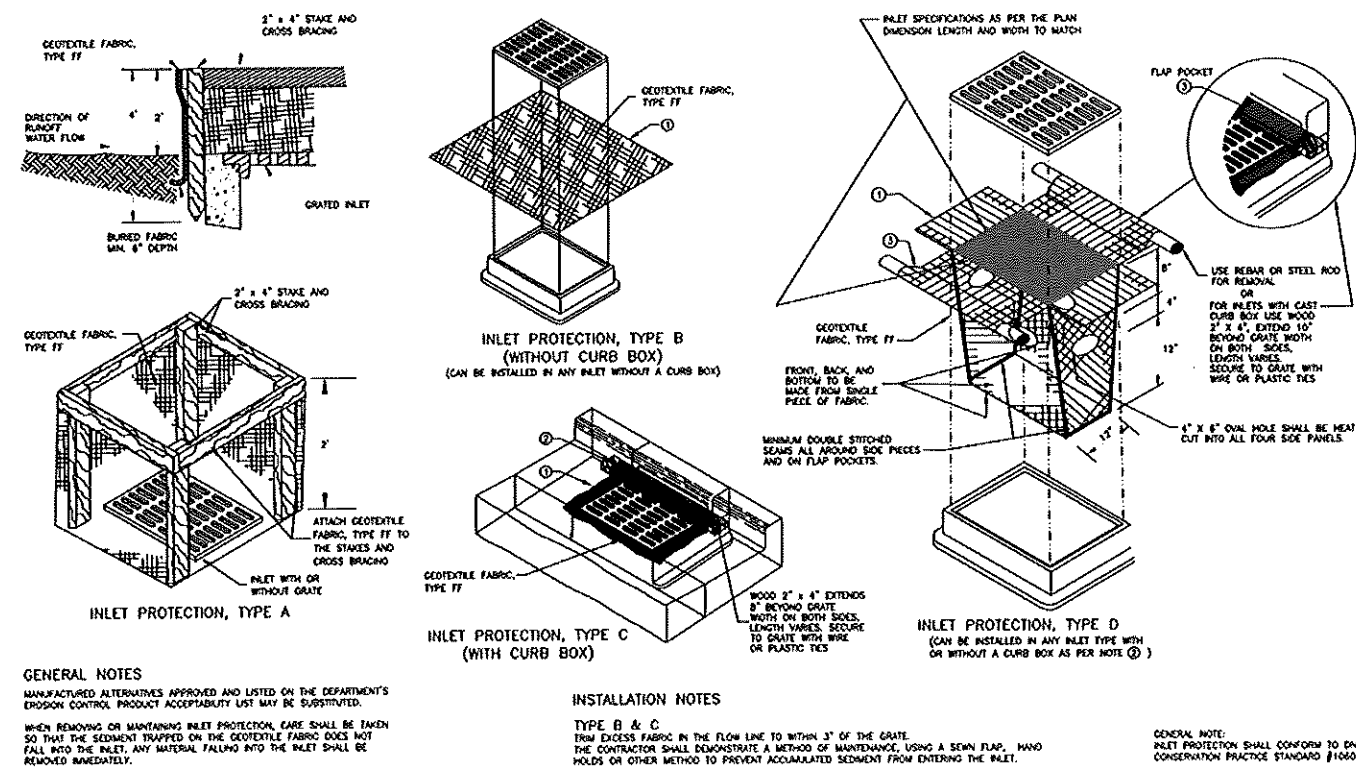


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File: I:\VSI Development\Partners\13461\_Tomich\1887 N Water\080 CAD\C - Civil\500 Production - Civil Plans\507-Details\13461-507-A.dwg



**A SILT FENCE: WDNR TS-1056**  
NOT TO SCALE



**B INLET PROTECTION TYPE A, B, C, AND D: WDNR TS-1060**  
NOT TO SCALE

**EROSION CONTROL NOTES:**

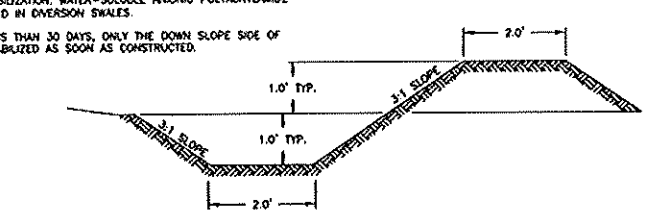
- CONSTRUCTION SITE EROSION CONTROL AND SEDIMENTATION CONTROL SHALL COMPLY WITH THE REQUIREMENTS OF THE LOCAL MUNICIPALITY AND SHALL EMPLOY EROSION CONTROL METHODS AS SHOWN AND SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS.
- ALL EROSION CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND SHALL BE INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON THE SITE.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CHECKED FOR STABILITY AND OPERATION AFTER A RAINFALL OF 0.5 INCHES OR MORE, BUT NO LESS THAN ONCE EVERY WEEK. MAINTENANCE OF ALL EROSION CONTROL STRUCTURES SHALL BE PROVIDED TO INSURE INTENDED PURPOSE IS ACCOMPLISHED. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP AND REMOVAL OF ALL SEDIMENT WHEN LEAVING PROPERTY. EROSION CONTROL MEASURES MUST BE IN WORKING CONDITION AT END OF EACH WORK DAY. DOCUMENT AND MAINTAIN RECORDS OF INSPECTIONS IN ACCORDANCE WITH WDNR NR216 REQUIREMENTS.
- SILT FENCE SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE CONSTRUCTION PLANS. SEDIMENT DEPOSITS WILL BE REMOVED FROM BEHIND THE SILT FENCE WHEN DEPOSITS REACH A DEPTH OF 6 INCHES. THE SILT FENCE WILL BE REPAIRED OR REPLACED AS NECESSARY TO MAINTAIN A BARRIER.
- FILTER FABRIC SHALL BE INSTALLED BENEATH INLET COVERS TO TRAP SEDIMENT AS PER INLET PROTECTION DETAIL IN THE LOCATIONS SHOWN ON THE CONSTRUCTION PLANS.
- EROSION CONTROL MEASURES SHALL BE MAINTAINED ON A CONTINUING BASIS UNTIL SITE IS FULLY STABILIZED.
- PERIODIC STREET SWEEPING SHALL BE COMPLETED TO MAINTAIN ADJACENT STREETS FREE OF DUST AND DIRT.
- SILT FENCE SHALL BE INSTALLED IN HORSESHOE FASHION AROUND ANY TOPSOIL AND FILL STOCKPILES.
- SITE DEWATERING. WATER PUMPED FROM THE SITE SHALL BE TREATED BY SEDIMENT BASINS OR OTHER APPROPRIATE MEASURES SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, ADJACENT SITES, OR RECEIVING CHANNELS.
- WASTE AND MATERIAL DISPOSAL. ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS, OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED AND NOT ALLOWED TO BE CARRIED OFF-SITE BY RUNOFF OR WIND.
- TRACKING. EACH SITE SHALL HAVE GRAVELED ROADS, ACCESS DRIVES AND PARKING AREAS OF SUFFICIENT WIDTH AND LENGTH TO PREVENT SEDIMENT FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY STREET CLEANING, TO THE SATISFACTION OF THE CITY, BEFORE THE END OF EACH WORKDAY. FLUSHING MAY NOT BE USED UNLESS SEDIMENT WILL BE CONTROLLED BY A SEDIMENT BASIN OR PRACTICE SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS. NOTIFY MUNICIPALITY OF ANY CHANGES IN STABILIZED CONSTRUCTION ENTRANCE LOCATION.
- SEDIMENT CLEANUP. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF A STORM EVENT SHALL BE CLEANED UP BY THE END OF THE NEXT WORKDAY. ALL OTHER OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE CLEANED UP BY THE END OF THE WORKDAY.
- ALL DISTURBED GROUND LEFT INACTIVE FOR SEVEN OR MORE DAYS SHALL BE STABILIZED BY TEMPORARY OR PERMANENT SEEDING, MULCHING, SODDING, COVERING WITH TARPS, OR EQUIVALENT PRACTICE FOUND IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARD. IF TEMPORARY SEEDING IS USED, A PERMANENT COVER SHALL ALSO BE REQUIRED AS PART OF THE FINAL SITE STABILIZATION. SEEDING OR SODDING SHALL BE REQUIRED AS PART OF THE FINAL SITE STABILIZATION.
- SOIL OR DIRT STORAGE PILES SHALL BE LOCATED A MINIMUM OF TWENTY-FIVE FEET FROM ANY DOWNSLOPE ROAD, LAKE, STREAM, WETLAND, OR DRAINAGE CHANNEL. STRAW BALE OR FILTER FABRIC FENCES SHALL BE PLACED ON THE DOWN SLOPE SIDE OF THE PILES. IF REMAINING FOR MORE THAN THIRTY DAYS, PILES SHALL BE STABILIZED BY MULCHING, VEGETATIVE COVER, TARPS OR OTHER MEANS.
- WHEN THE DISTURBED AREA HAS BEEN STABILIZED BY PERMANENT VEGETATION OR OTHER MEANS, TEMPORARY PRACTICES, SUCH AS FILTER FABRIC FENCES, STRAW BALES, SEDIMENT AND SEDIMENT TRAPS, FOUND IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS SHALL BE REMOVED.
- NOTIFY THE LOCAL MUNICIPALITY HAVING JURISDICTION WITHIN TWO WORKING DAYS OF COMMENCING ANY LAND DEVELOPMENT OR LAND DISTURBING ACTIVITY.
- OBTAIN PERMISSION FROM THE LOCAL MUNICIPALITY HAVING JURISDICTION PRIOR TO MODIFYING THE EROSION CONTROL PLAN.
- REPAIR ANY SILTATION OR EROSION DAMAGE TO ADJOINING SURFACES AND DRAINAGE WAYS RESULTING FROM LAND DEVELOPMENT OR LAND DISTURBING ACTIVITIES.
- KEEP A COPY OF THE EROSION CONTROL PLAN ON SITE.

**NOTE:** MATCH BERMS TO EXISTING GROUND AND GRADE SWALES TO DRAIN TO BASIN.

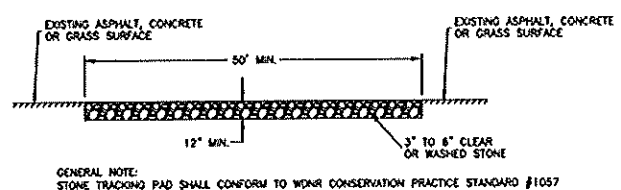
FOR SWALES THAT ARE TO SERVE LONGER THAN 30 DAYS, THE SIDE SLOPES, INCLUDING THE ROUGE AND DOWN SLOPE SIDE, SHALL BE STABILIZED AS SOON AS THEY ARE CONSTRUCTED.

TEMPORARY TOP SOILING AND SEEDING WITH CLASS 1 TYPE B EROSION MATTING SHALL BE USED FOR STABILIZATION. WATER-SOLUBLE ANIONIC POLYACRYLAMIDE (PAM) SHALL NOT BE USED IN DIVERSION SWALES.

FOR SWALES SERVING LESS THAN 30 DAYS, ONLY THE DOWN SLOPE SIDE OF THE SWALE SHALL BE STABILIZED AS SOON AS CONSTRUCTED.



**C CONSTRUCTION SITE DIVERSION: WDNR TS-1066**  
NOT TO SCALE



**D CONSTRUCTION ENTRANCE/EXIT DETAIL: WDNR TS-1057**  
NOT TO SCALE

**CONSTRUCTION SEQUENCE FOR EROSION CONTROL INCLUDES:**

- INSTALL STABILIZED CONSTRUCTION ENTRANCE.
- INSTALL SILT FENCING AND INLET PROTECTION.
- INITIATE STOCKPILING OF IMPORTED MATERIAL. PLACE SILT FENCE AROUND STOCKPILE(S).
- CONSTRUCT DIVERSION SWALES, DIRECT RUNOFF TO EXISTING STORM SWALE. INSTALL ASSOCIATED DITCH CHECKS.
- PERFORM CLEARING AND GRUBBING AS REQUIRED.
- PERFORM ROUGH SITE GRADING. STABILIZE FINISHED AREAS AS THE WORK PROGRESSES. USE EROSION MATTING WHERE CALLED FOR ON THE PLANS. PER WDNR TECHNICAL STANDARD 1059: AREAS THAT RECEIVE TEMPORARY SEEDING SHALL HAVE A MINIMUM TOPSOIL DEPTH OF 2 INCHES. AREAS THAT RECEIVE PERMANENT SEEDING SHALL HAVE A MINIMAL TOPSOIL DEPTH OF 4 INCHES.
- INSTALL PAVEMENTS.
- STABILIZE REMAINING AREAS WITHIN 7 DAYS OF COMPLETION OF FINAL GRADING AND TOPSOILING.
- REMOVE EROSION CONTROL MEASURES ONLY WHEN SITE IS FULLY STABILIZED.

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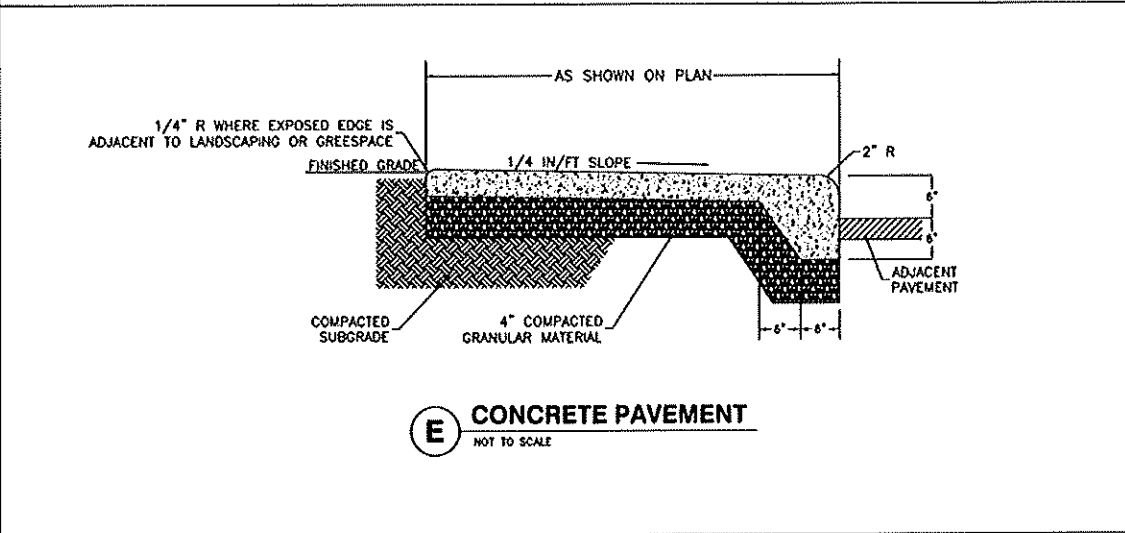
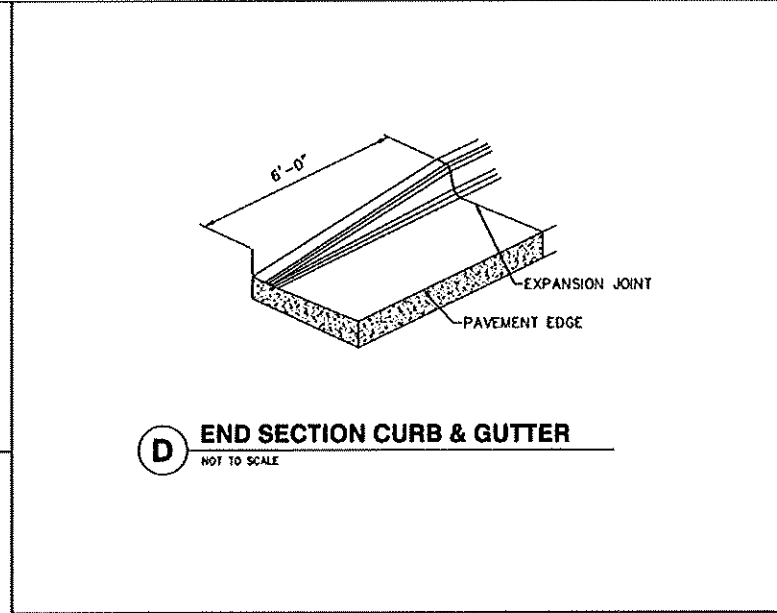
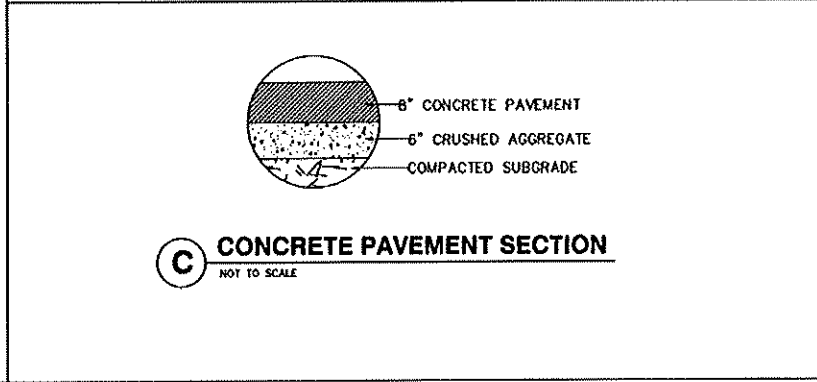
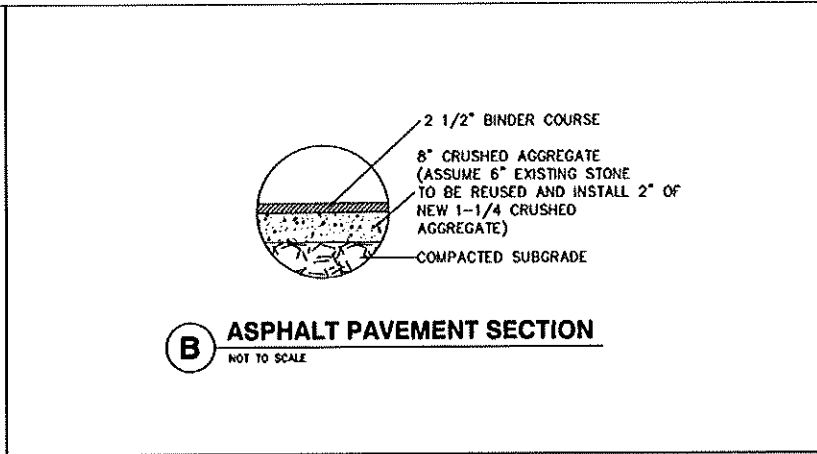
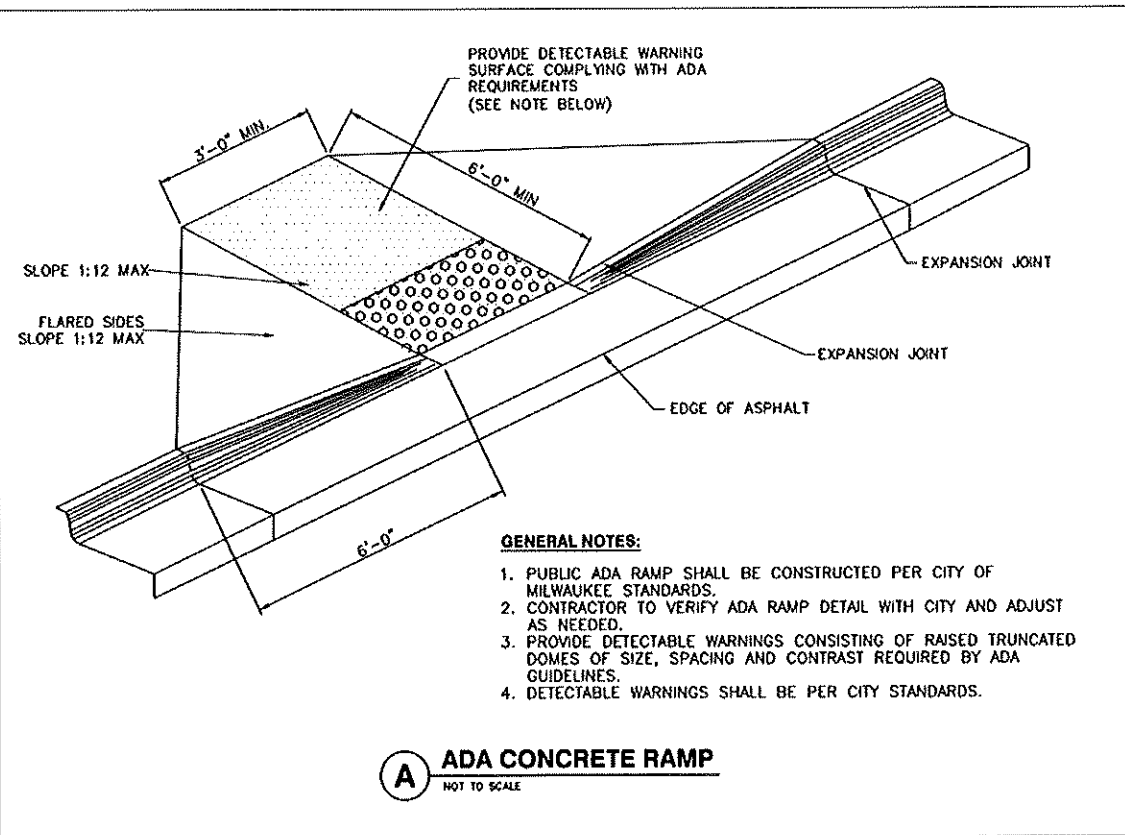
These documents reflect progress and intent and may be subject to change including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

PROJECT MANAGER  
PROJECT NUMBER  
DATE 02-08-13

EROSION CONTROL DETAILS

C400

File: I:\GIS Development Partners\13461\_Tomich\_1887 N Water\060 CAD\C - Civil\500 Production - Civil Plans\507-Details\13461-507-B.dwg



These documents reflect progress and effort and may be subject to change including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

(12) Kaul Foerster Grass(S)  
 (12) Purple Flame Grass(S)  
 (36) Happy Returns DayLily(S)  
 (18) Proverbium Juniper

(9) Chanticleer Ornamental Pear

(12) Happy Returns DayLily

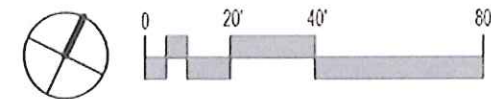
(24) Proverbium Juniper  
 (72) Happy Returns DayLily

Planters  
 (96) Prairie Blue Eyes DayLily  
 (48) Shenandoah Grass(S)

(12) Rotstrahlbusch Grass(S)  
 (6) Proverbium Juniper



*Patrick Ziegeweid*





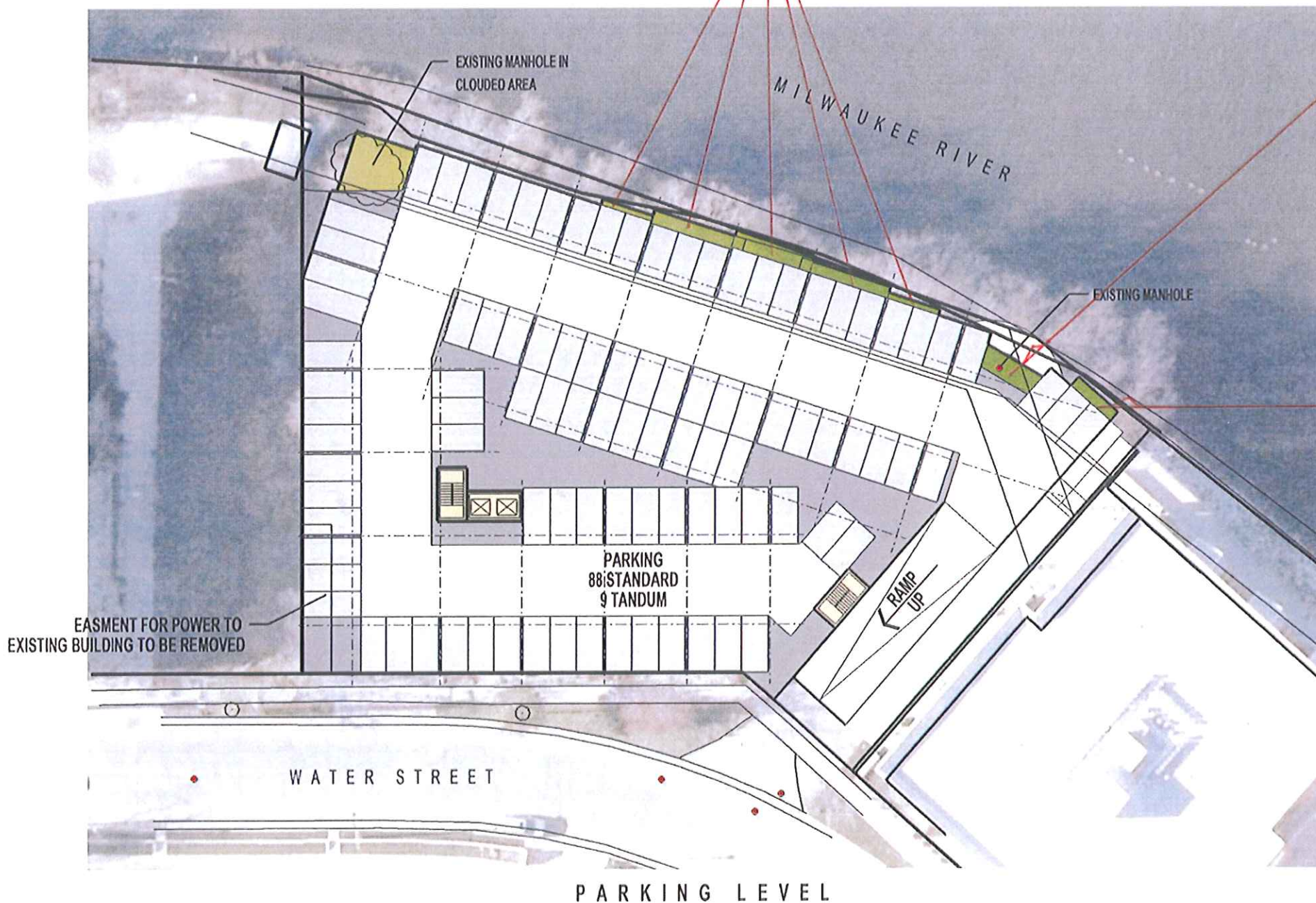
(120) Stella Oro Daylily  
 (36) Champlain Rose Shrub  
 (60) Thomdale English Ivy on  
 RANTERS TRELLACES

(6) Prowubuns Juniper  
 (24) Happy Returns Daylily  
 (12) Shenandoah Grasses  
 (12) Rotstrahlbusch Grasses

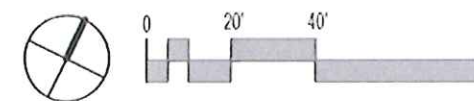
PLANTER

(24) Pardon Me Daylily  
 (5) Champlain Rose Shrubs  
 (10) Thomdale English Ivy on  
 TRELLACES

PLANTER



*Patrick Ziegeweid*

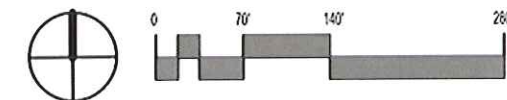




**HSI PROPERTIES**

PROFESSIONAL REAL ESTATE SERVICES

DEVELOPMENT • INVESTMENT • BROKERAGE • MANAGEMENT



epstein uhen : architects

2/7/2013 1-12276

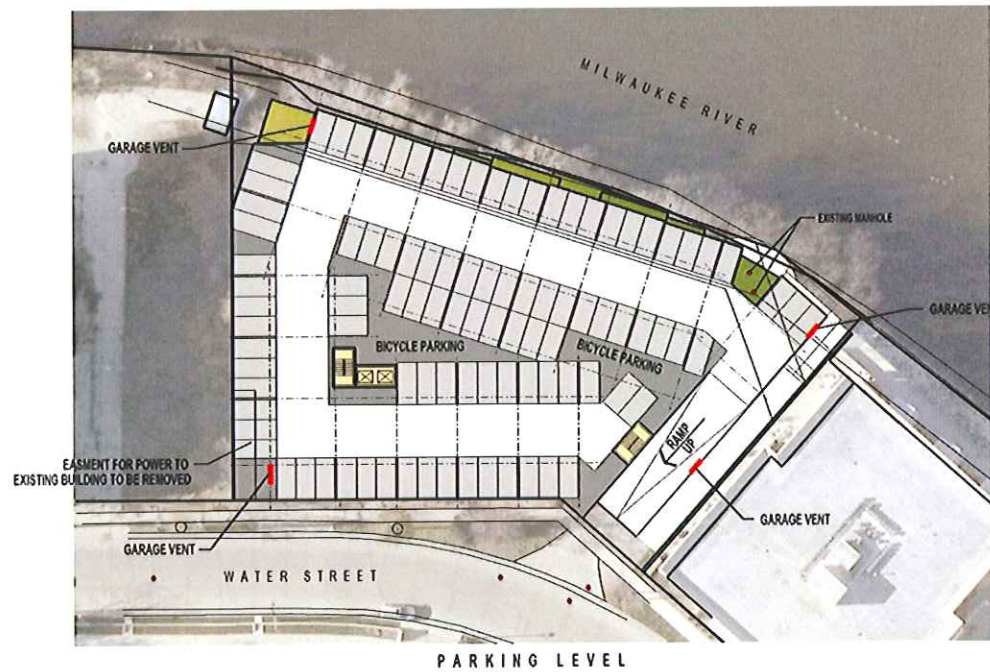
© Epstein Uhen Architects, Inc.

# 1887 WATER STREET

LOCATION PLAN

Floor	height	Apartments				Retail		Parking (etc.)		TOTALS
		apartment GSF	apartment NSF	commons & circulation	efficiency	ave. unit	# of units	retail GSF	parking GSF	
parking level (lower)								35,759	97	35,759
parking level (upper)										
ground floor parking										
ground floor (water street)		19,423	12,094	7,329			15	1,876		21,299
Floor 2		21,265	18,434	2,831			24			21,265
Floor 3		21,265	18,434	2,831			24			21,265
Floor 4		21,265	18,434	2,831			24			21,265
Floor 5										
Floor 6										
Floor 7										
TOTALS		83,218	67,356	15,822	81.0%	775	87	37,635	97	120,853
ave GSF per unit										1,389
<b>PARKING</b>										
total parking										97
standard parking										88
handicapped parking										9
parking ratio per unit										1.01
parking ratio per bedroom										0.92
ave GSF per parking space										388

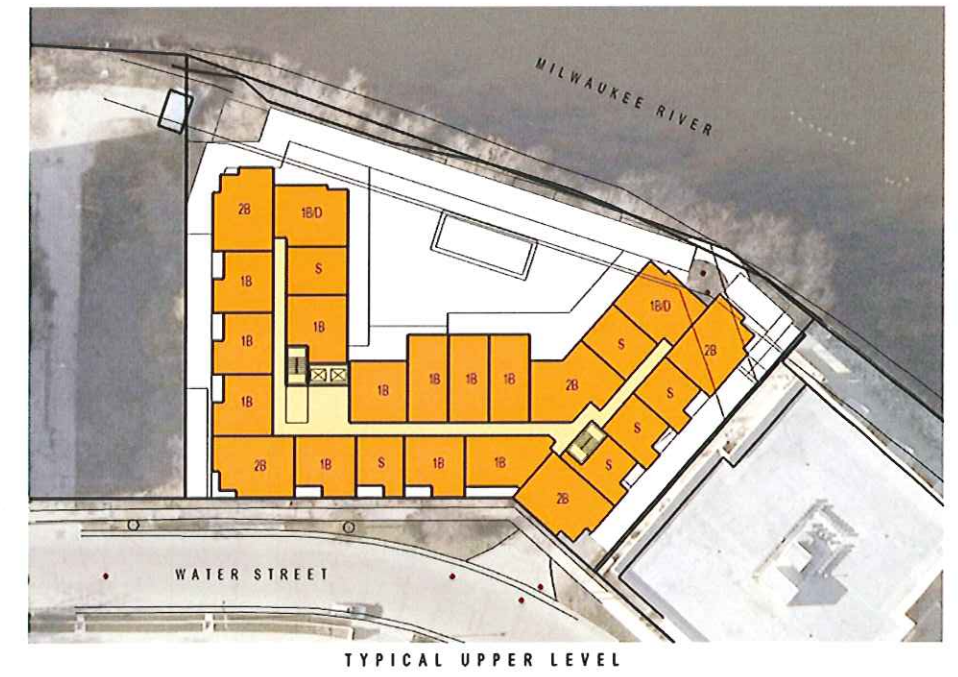
Unit Type	FLOORS							Apartment Data			
	G	2	3	4	5	6	7	total	net sf	ave. site	unit mix
500	1	1	1	1				4	2,000		
548	0	3	3	3				9	4,932		
616	2	2	2	2				8	4,928		
<b>STUDIO subtotal</b>								<b>21</b>	<b>11,860</b>	<b>565</b>	<b>24.1%</b>
717	3	5	5	5				18	12,906		
746	2	4	4	4				14	10,444		
788	0	1	1	1				3	2,364		
819	0	1	1	1				3	2,457		
<b>1BR subtotal</b>								<b>38</b>	<b>28,171</b>	<b>741</b>	<b>43.7%</b>
855	1	0	0	0				1	855		
909	2	2	2	2				8	7,272		
971	1	0	0	0				1	971		
<b>1BR/D subtotal</b>								<b>10</b>	<b>9,098</b>	<b>910</b>	<b>11.5%</b>
997	2	4	4	4				14	13,958		
1072	1	1	1	1				4	4,288		
<b>2BR subtotal</b>								<b>18</b>	<b>18,246</b>	<b>1014</b>	<b>20.7%</b>
0	0	0	0	0				0	0		
<b>2 BR/D subtotal</b>								<b>0</b>	<b>0</b>	<b>0</b>	<b>0.0%</b>
<b>TOTALS</b>	<b>15</b>	<b>24</b>	<b>24</b>	<b>24</b>				<b>87</b>	<b>67,375</b>	<b>774</b>	<b>100%</b>



PARKING LEVEL



GROUND FLOOR (WATER STREET)



TYPICAL UPPER LEVEL

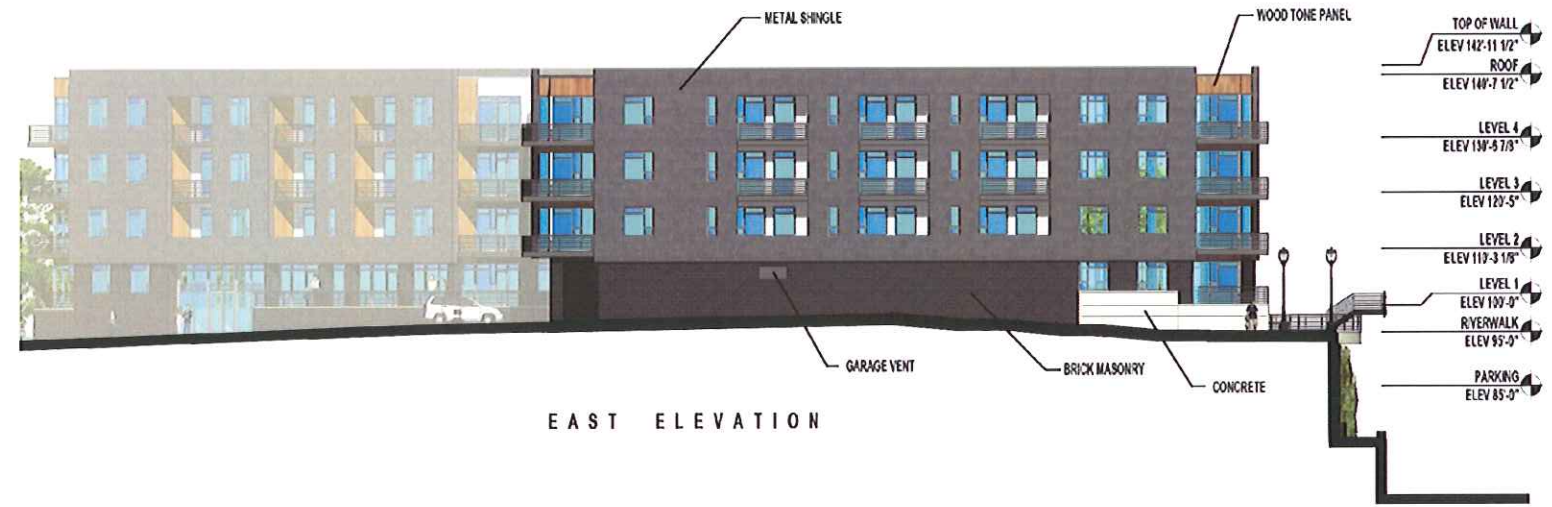




SOUTH ELEVATION



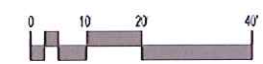
WEST ELEVATION



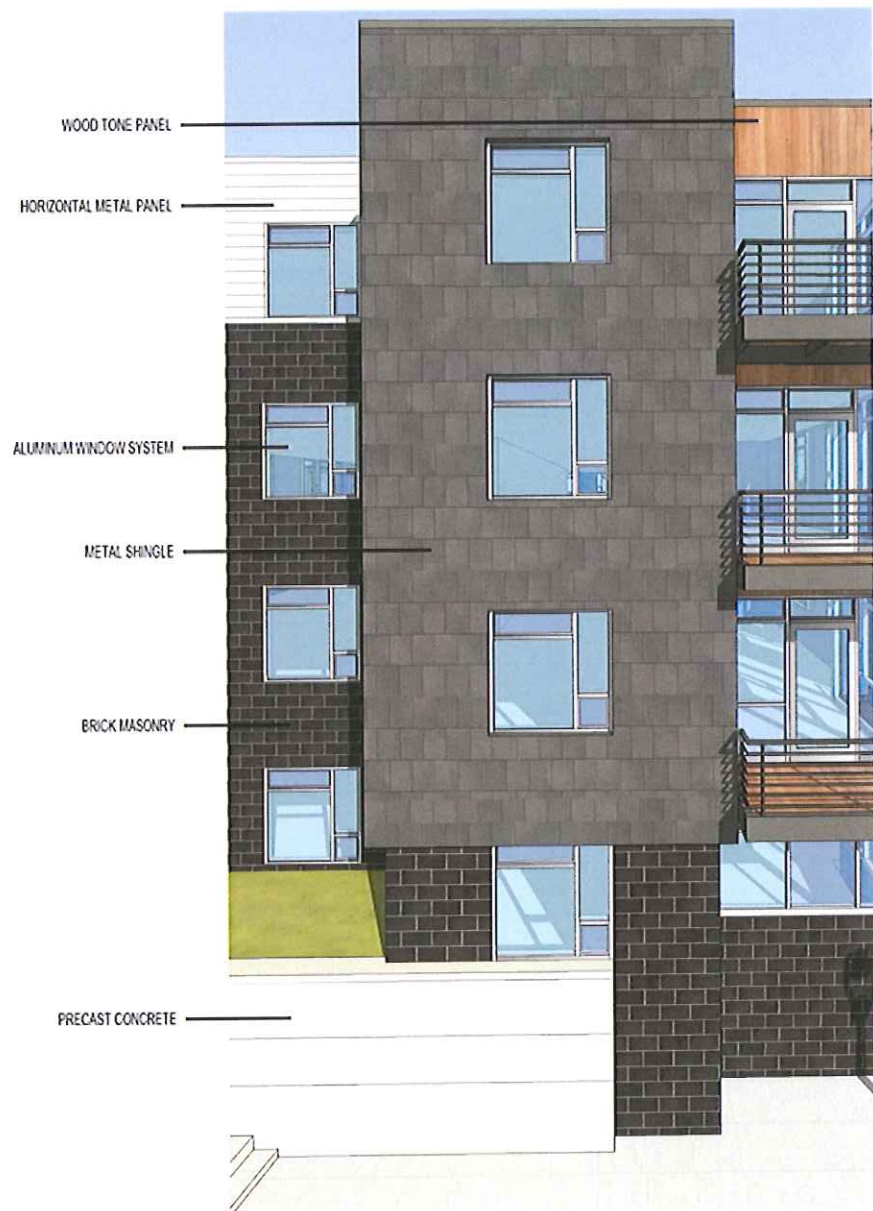
EAST ELEVATION



NORTH ELEVATION

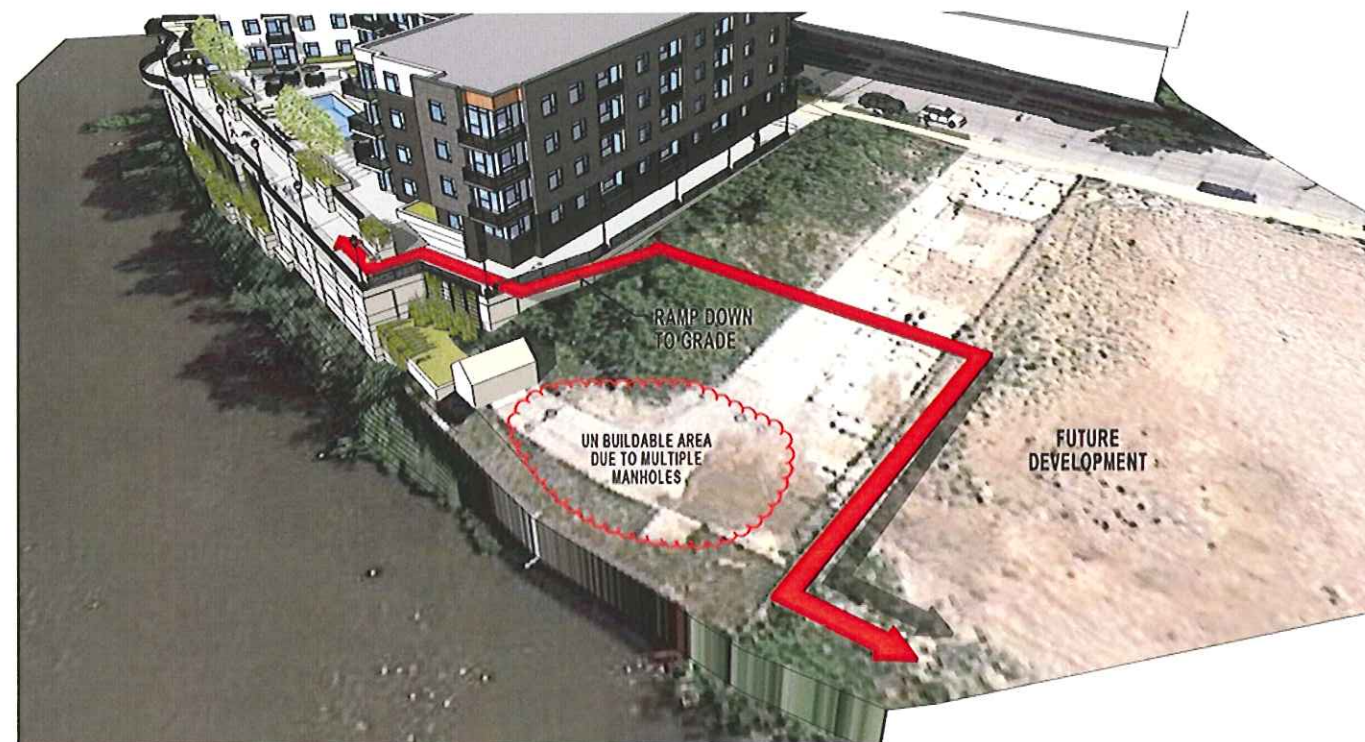








RIVERWALK EXPANSION DIAGRAM - OPTION A



RIVERWALK EXPANSION DIAGRAM - OPTION B



# 1887 WATER STREET

SITE PHOTOS



