



CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.
Please print legibly.

*David C HP
11/3/2010
10:45 AM*

1. **HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT:** (if known)
East Side Commercial District

ADDRESS OF PROPERTY:
Multiple Parcels - See Attachment For More Information

2. **NAME AND ADDRESS OF OWNER:**

Name(s): Multiple Parcels - See Attachment For More Information

Address:

City: _____ State: _____ ZIP _____

Email: _____

Telephone number (area code & number) Daytime: _____ Evening: _____

3. **APPLICANT, AGENT OR CONTRACTOR:** (if different from owner)

Name(s): Thomas DeMuth (Agent for developer Wave Development LLC)

Address: Mallory & Zimmerman, 731 North Jackson Street, Suite 900

City: Milwaukee State: Wisconsin ZIP Code: 53202

Email: tdemuth@mzmilw.com

Telephone number (area code & number) Daytime: 414-727-6277 Evening: 414-727-6277

4. ATTACHMENTS

A. REQUIRED FOR ALL PROJECTS:

Photographs of affected areas & all sides of the building (annotated photos recommended)

Sketches and Elevation Drawings (1 full size and 2 reduced to 11" x 17" or 8 1/2" x 11")

Material and Design Specifications (see next page)

B. NEW CONSTRUCTION/DEMOLITION ALSO REQUIRES:

Floor Plans (1 full size and 1 reduced to 11" x 17")

Site Plan showing location of project and adjoining structures and fences

Other (explain):

PLEASE NOTE: YOUR APPLICATION CANNOT BE PROCESSED UNLESS BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED.

5. DESCRIPTION OF PROJECT:

Describe all existing features that will be affected by proposed work. Please specify the condition of materials, design, and dimensions of each feature (additional pages may be attached)

Please see the attachment for more information.

Photo No. _____ Drawing No. _____

B. Describe all proposed work, materials, design, dimensions and construction technique to be employed (additional pages may be attached)

Please see the attachment and drawings for more information.

Photo No. _____ Drawing No. _____

6. SIGNATURE OF APPLICANT:



Signature

Thomas DeMuth 11/3/2010
Print or type name Date

This form and all supporting documentation **MUST** arrive by 12:00 noon on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Hand Deliver or Mail Form to:
Historic Preservation Commission
City Clerk's Office
200 E. Wells St. Room B-4
Milwaukee, WI

PHONE: (414) 286-5722

FAX: (414) 286-3004

www.milwaukee.gov/hpc

CERTIFICATE OF APPROPRIATENESS APPLICATION FORM – ATTACHMENT

3 November, 2010

1. **HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT:**
East Side Commercial District

ADDRESS OF PROPERTY:

- 319-325 East Wisconsin Avenue
- 327 East Wisconsin Avenue (includes 633 North Milwaukee Street)
- 625 North Milwaukee Street
- 627 North Milwaukee Street
- 629-631 North Milwaukee Street

2. **NAME AND ADDRESS OF OWNER:**

For subject parcels 319-327 East Wisconsin Avenue and 627-631 North Milwaukee Street:
MBI PROPERTIES LLC
111 East Wisconsin Avenue, Suite 1710
Milwaukee, Wisconsin 53202
E: rlevine@rlevinelaw.com
P: 414-271-9585

For subject parcel 625 North Milwaukee Street:
MILWAUKEE NOWI LLC
1107 Kentucky Street
Fairfield, California 94533
E: ccousland@vonbriesen.com
P: 414-287-1245

5. ATTACHMENTS:
A. Photographs



Photo 1: Aerial Looking North



Photo 2: Aerial Looking East



Photo 3: Aerial Looking South



Photo 4: Corner of East Wisconsin Avenue and North Milwaukee Street



Photo 5: 319 - 327 East Wisconsin Avenue



Photo 6: 319 - 327 East Wisconsin Avenue



Photo 7: Alley West of 319 East Wisconsin Avenue



Photo 8: 319 East Wisconsin Avenue



Photo 9: 319 East Wisconsin Avenue



Photo 10: 319 East Wisconsin Avenue



Photo 11: 327 East Wisconsin Avenue



Photo 12: 327 East Wisconsin Avenue

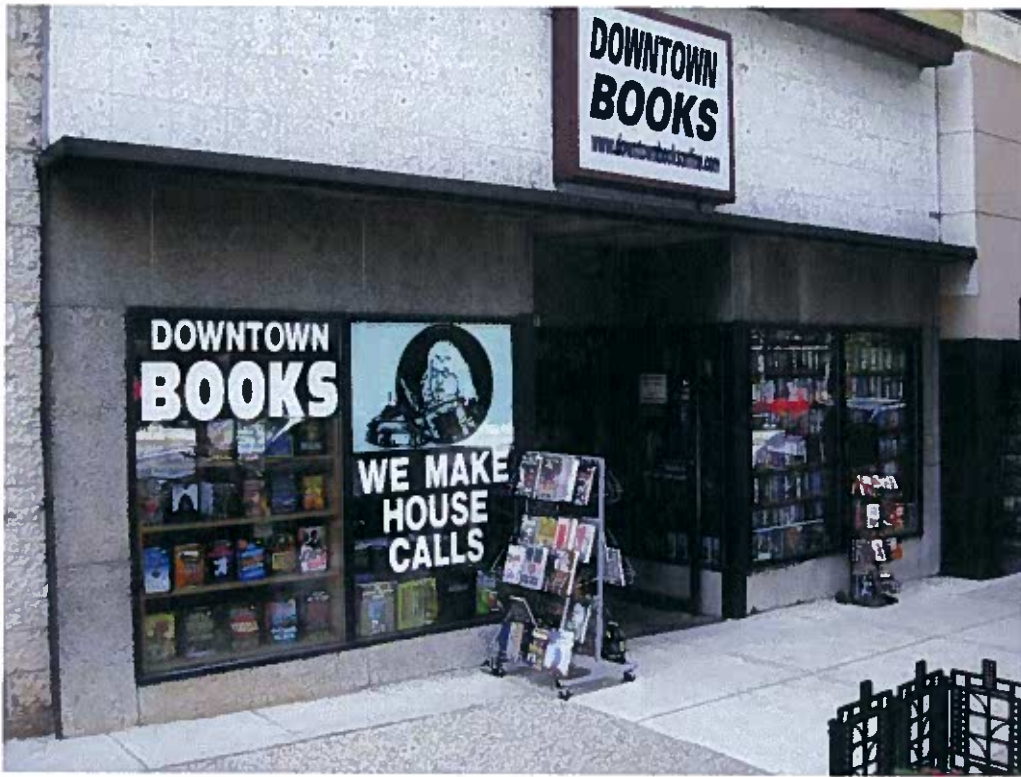


Photo 13: 327 East Wisconsin Avenue

Photo 14: NOT USED



Photo 15: 625-631 North Milwaukee Street



Photo 16: 625-631 North Milwaukee Street



Photo 17: 625-631 North Milwaukee Street

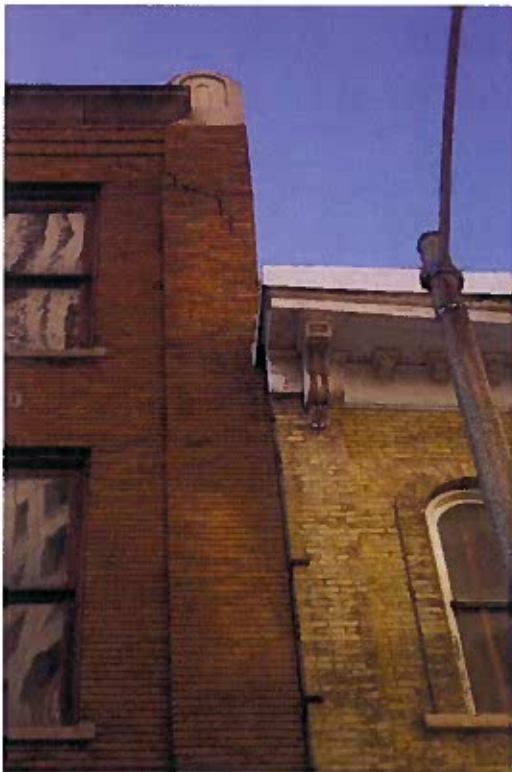


Photo 18: Wall at 625 – 627 North Milwaukee Street



Photo 19: North-South Mid-Block Alley Looking South



Photo 20: North-South Mid-Block Alley Looking South

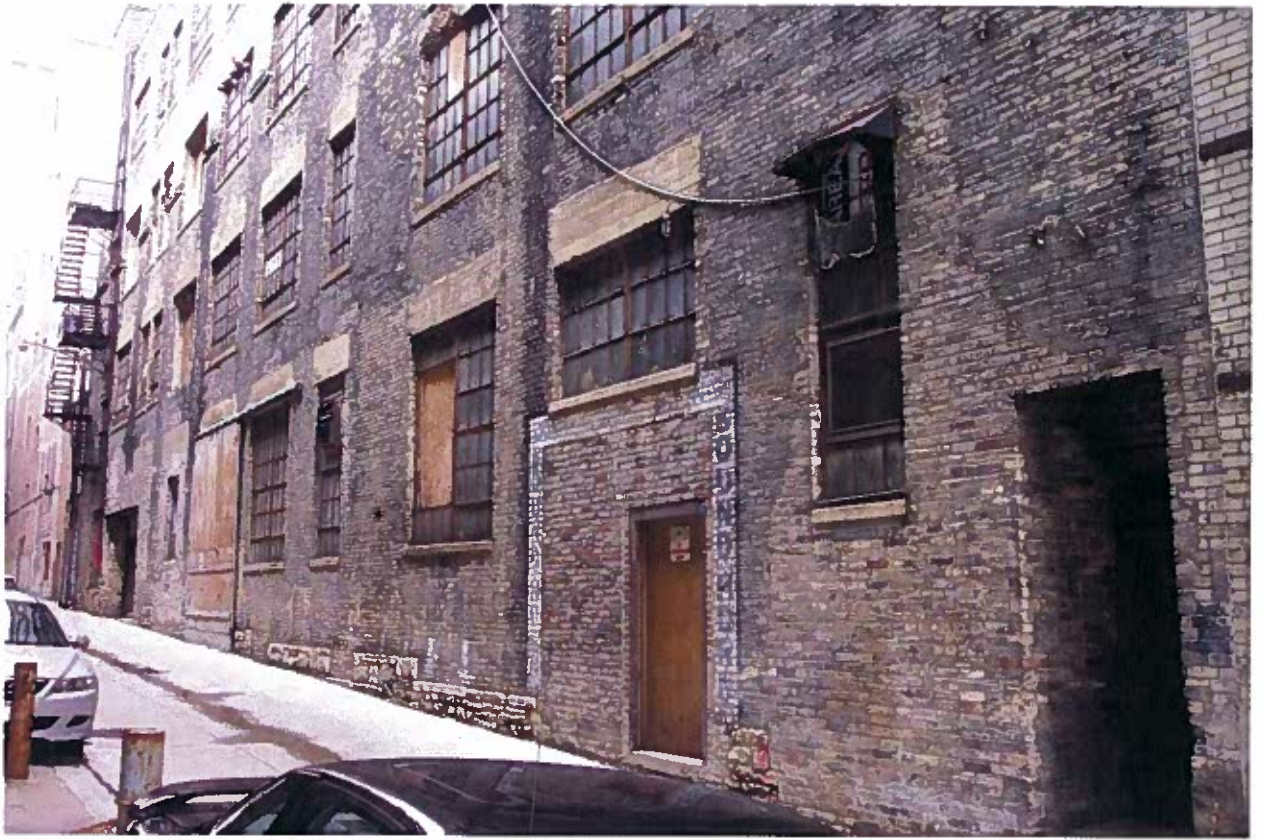


Photo 21: North-South Mid-Block Alley Looking North

6. DESCRIPTION OF PROJECT:

B. Describe all existing features:

Wisconsin Avenue Buildings

The subject buildings comprise 319-327 East Wisconsin Avenue. The buildings were built as one building in 1867 in the French Second Empire Style and included 329 East Wisconsin Avenue (Johnson Bank Building). The original building was three stories tall plus a one story mansard roof with dormers. 329 East Wisconsin was increased in height in 1899 to be five stories tall changing the style from French Second Empire to Italianate. The subject property length is 86' and height is approximately 57'. More than 90% of the original façade has been substantially altered. Less than 10% of the original façade remains and comprises only the third floor of 327 East Wisconsin.

Source: <http://www.wisconsinhistory.org/hp/buildings/restorations/reckmeyer.asp>

Milwaukee Street Buildings

The subject buildings comprise 625-633 North Milwaukee. The buildings were built in the years 1864-1870. According to the HPC planner the façade of 625 North Milwaukee (Pioneer Building) was substantially altered in the mid-1920's. The façade of 629-631 North Milwaukee has been substantially altered. The first floor façades of 627 and 633 North Milwaukee have been substantially altered. The subject building's length is 200' and heights range from approximately 40' to 60' tall. More than 90% of the original façades have been substantially altered. Less than 10% of the original façades remain and comprise only the second and third floors of 627 North Milwaukee and the upper floor of 633 North Milwaukee.

Additional descriptions of the district can be found at:

<http://www.city.milwaukee.gov/ImageLibrary/Groups/cityHPC/DesignatedReports/vticnf/HDEastSideComm.pdf>

C. Describe all proposed work:

Program

The proposed work consists of a full-service hotel to be branded as a Marriott Hotel. The hotel will consist of approximately 200 guestrooms, public space including lobby, meeting space, a restaurant and bar, fitness center, indoor swimming pool and associated support, administration and mechanical areas.

The existing building located at 625 North Milwaukee was studied to accommodate a hotel. The existing building can accommodate 78 guestrooms, substantially less than the 200 guestrooms proposed. The required guestrooms and other public, meeting and support space do not fit within the volume or floor area of the existing buildings. As a result we request a Certificate of Appropriateness for the demolition of the existing buildings and the construction of a new building in their place.

Siting

The new hotel guestroom tower was studied to be placed either on Wisconsin Avenue or on Milwaukee Street. The hotel guestroom tower is proposed to be built on Milwaukee Street so that the Wisconsin Avenue building height is of a similar height to the adjacent buildings.

The existing Wisconsin Avenue building facades were studied to be rehabilitated and reconstructed with new hotel construction located behind the restored facade. The facade of 327 East Wisconsin would be rehabilitated. The facade of 319-325 East Wisconsin would be reconstructed to match the original building facade. This concept was proposed to an HPC member and planner with accompanying drawings. The rehabilitated facade scheme was deemed inappropriate. As a result the proposed Wisconsin Avenue and Milwaukee Street building facades are proposed to be all new construction. Please see attached drawing sheet number 3 for an elevation of the rehabilitated Wisconsin Avenue facade scheme that was proposed the developer and rejected by the HPC member and planner.

The siting of the proposed building reflects the traditional siting of buildings in the district. There are no setbacks other than at the Wisconsin Avenue entrance located in proximity to the existing entrance into 327 East Wisconsin. There is no spacing between buildings and the orientation of openings to the street is consistent to neighboring structures.

Scale

The scale of the proposed building is compatible with the surrounding buildings. The proposed building height on Wisconsin Avenue is 52' (flat roof) to 72' (top of vaulted roof). The proposed mean building height on Milwaukee Street is approximately 123' (main tower roof) to 133' (penthouse roof). The surrounding buildings include the 411 Building (approximate height 400'), Wells Building (324 East Wisconsin Avenue, approximate height 200'), the Railway Exchange Building (approximate height 150'), the Loyalty Building (approximate height 100'), 322 East Michigan (approximate height 90'), Johnson Bank (329 East Wisconsin, approximate height 66'), and the row of buildings west of the mid-block alley that face Broadway (various heights of approximately 45' to 60').

The portion of the building that faces Wisconsin Avenue and the alley will be two stories tall. The first floor facing Wisconsin Avenue contains a restaurant and access to the hotel lobby. The second floor facing Wisconsin Avenue contains a meeting room and pre-function space. The portion of the building that faces Milwaukee Street will be ten stories tall at the north end of the site and eleven stories tall at the south end of the site as Milwaukee Street slopes down from north to south by approximately ten feet. The hotel's vehicular drop-off and main entrance will be located on Milwaukee Street. The first floor contains the lobby, meeting rooms and associated back-of-house space. The lower level contains approximately sixty parking spaces, mechanical and back-of-house space. The lower level parking area is accessed at the south end of the site where the lower level becomes exposed due to the sloping grade. The second floor contains meeting rooms, pre-function space and support space. Floors three through ten contain guestrooms. An indoor swimming pool and fitness center are located on the west side of the third floor. The gross building area is approximately 180,000 gross square feet exclusive of lower level parking, and approximately 200,000 gross square feet inclusive of lower level parking.

Form

The massing of the proposed building is compatible with the surrounding buildings. The roof profiles of the proposed building on Wisconsin Avenue and the surrounding buildings are primarily flat with some elements that project and recede. The Wisconsin Avenue hotel entrance and second floor pre-function space is expressed in elevation by a vaulted roof. The roof profiles of the proposed guestroom tower on Milwaukee Street and the surrounding buildings are flat with some elements that project and recede.

Materials

Exterior materials will include masonry clay modular units, precast concrete wall panels, unitized glazing systems, aluminum storefronts and curtain wall entrances, insulated low-e glass, and architectural metal panels and trim. An exterior insulated finish system may be used to clad the tower penthouse and walls not visible from the public right-of-way. Please see the attached drawings for more information.

Streetscape

The existing landscaping, paving and street lighting on Wisconsin Avenue will remain. The Milwaukee Street sidewalk and street lighting will be replaced as a part of the building construction.

Please see the attached drawings for more information.