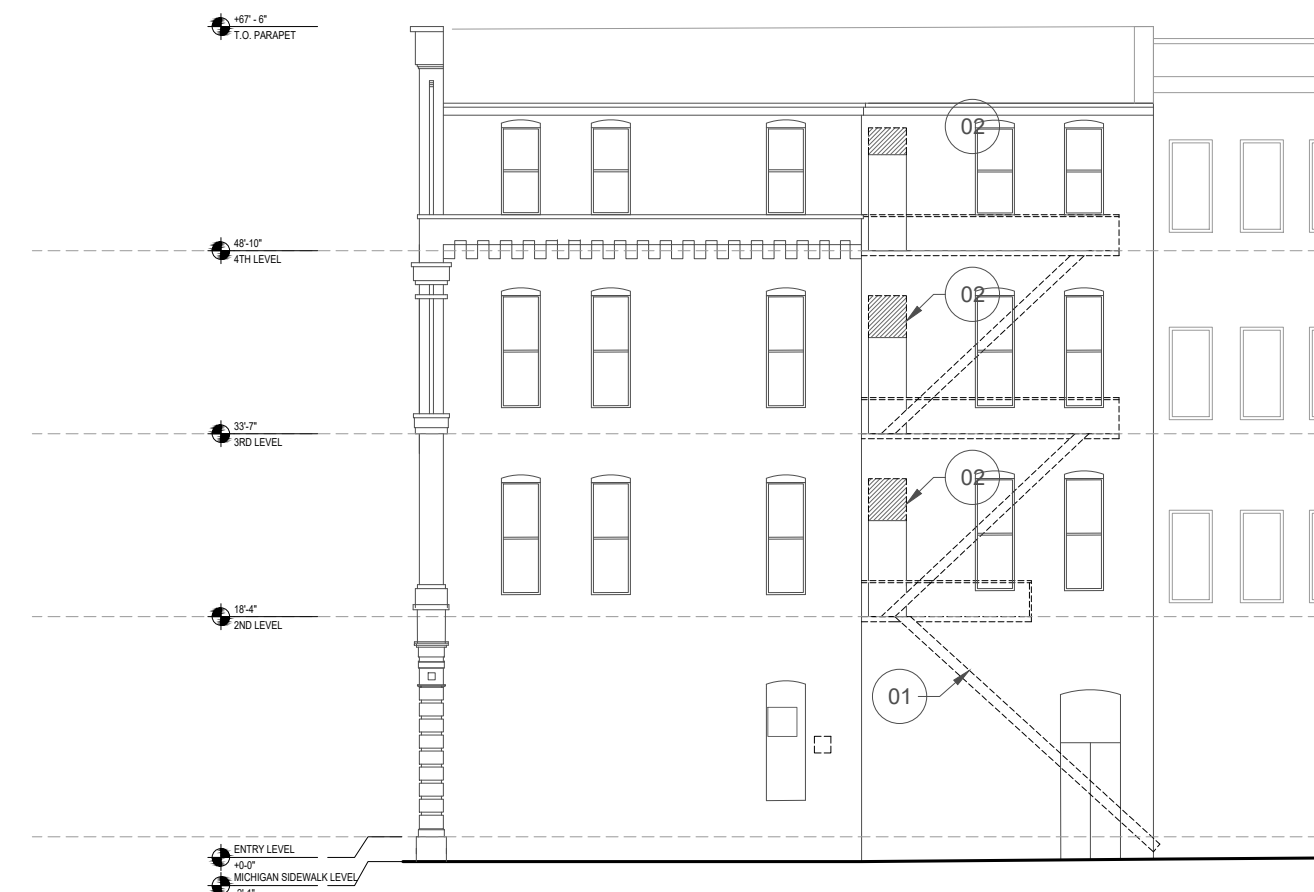
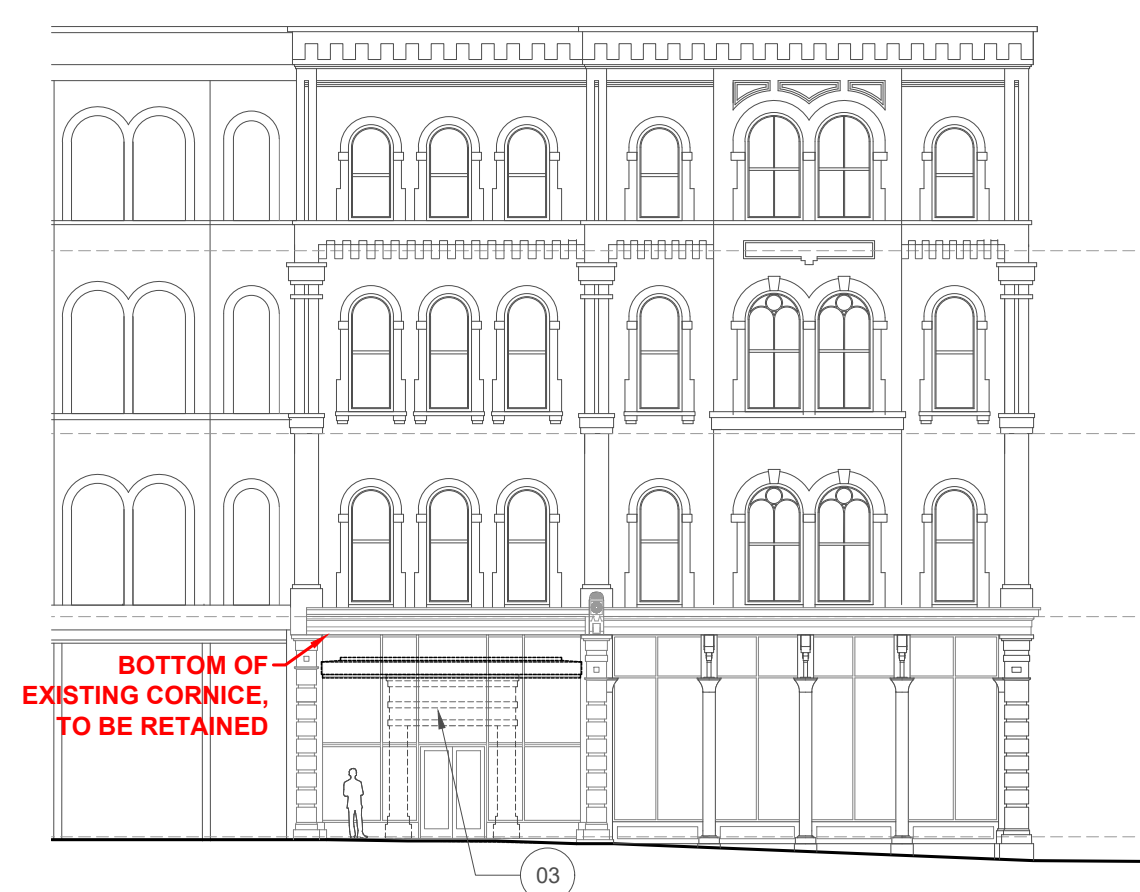


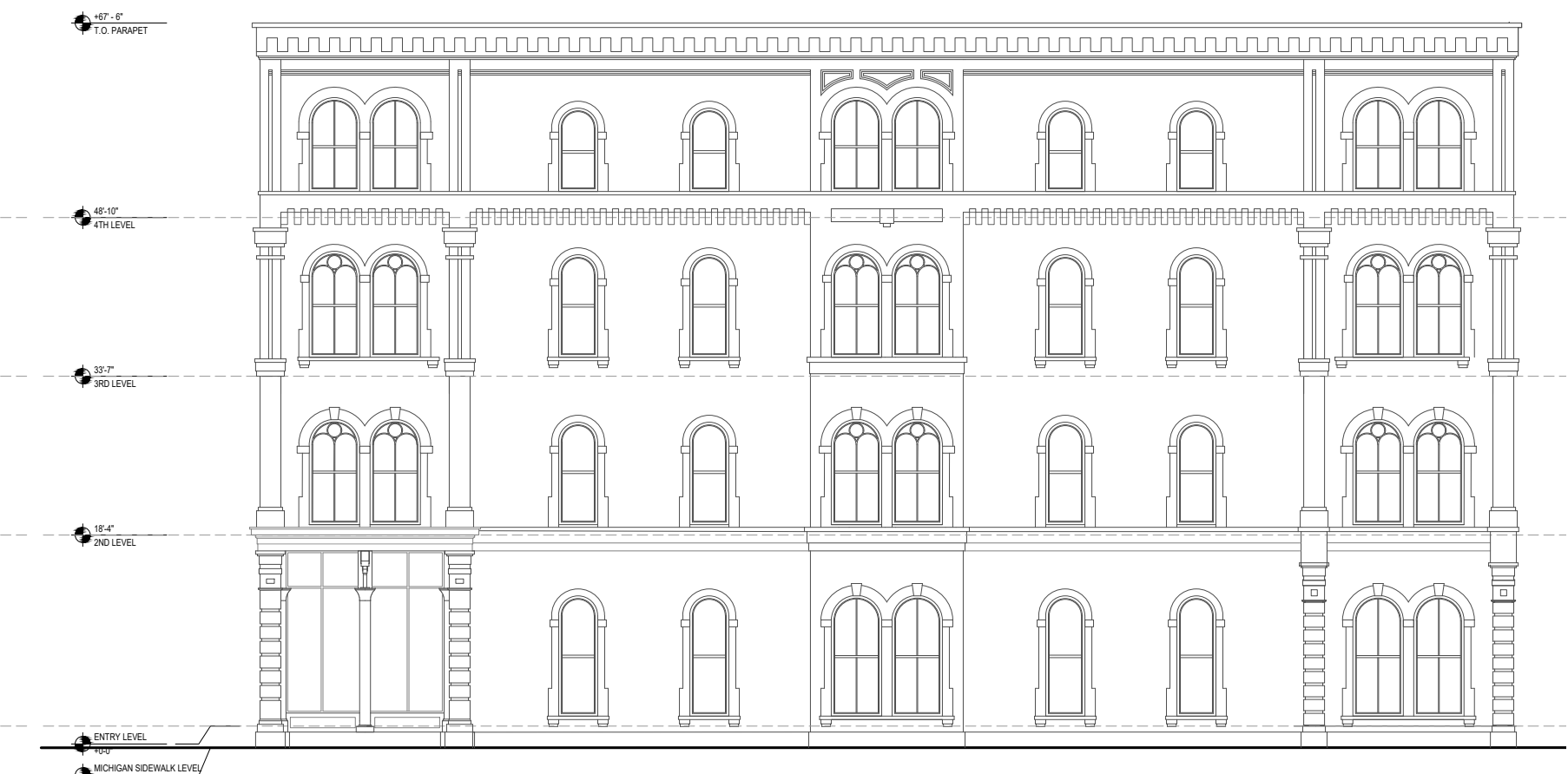
APPROVED
By Tim Askin - Milwaukee HPC at 1:47 pm, Jun 23, 2021



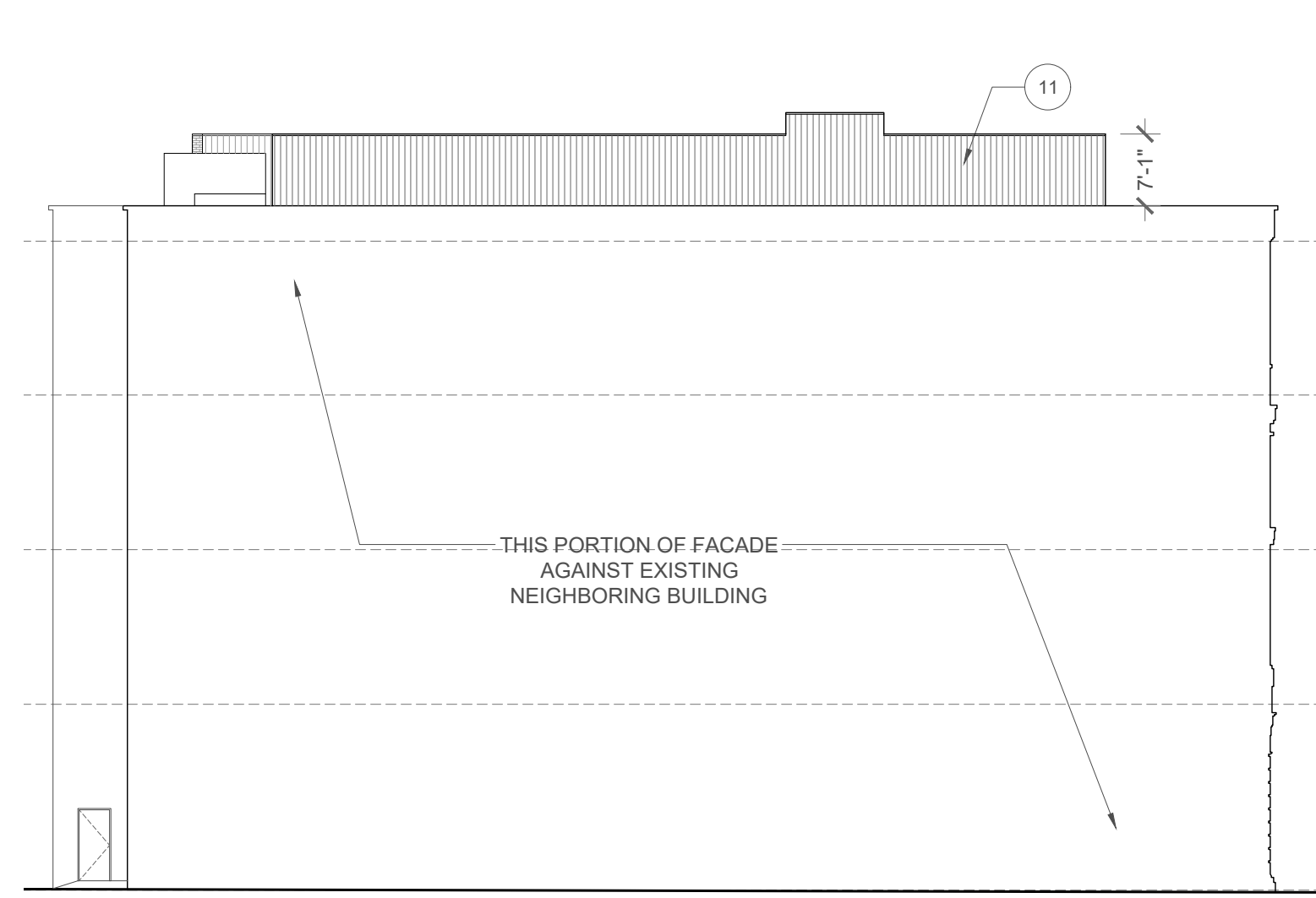
7 EXISTING EAST ELEVATION
SCALE: 1/16" = 1'-0"



6 EXISTING WEST ELEVATION
SCALE: 1/16" = 1'-0"



5 EXISTING SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



4 PROPOSED NORTH ELEVATION
SCALE: 1/16" = 1'-0"



3 PROPOSED EAST ELEVATION
SCALE: 1/16" = 1'-0"



2 PROPOSED WEST ELEVATION
SCALE: 1/16" = 1'-0"



1 PROPOSED SOUTH ELEVATION
SCALE: 1/16" = 1'-0"

NATIONAL PARK SERVICE: CONDITIONAL APPROVAL MASONRY NOTES (12/06/19):

- Cleaning of exterior masonry must be accomplished using the gentlest means possible without damaging the surface of the masonry. This work must be accomplished in accordance with the guidance provided in Preservation Brief 1, *Assessing Cleaning and Water-Repellent Treatments for Historic Masonry Buildings*. Specifications and test cleaning samples should be reviewed and approved by the State Historic Preservation Office before proceeding with this work. Good quality overall and close-up color photographs of the masonry both before and after cleaning must be submitted with the Request for Certification of Completed Work.
- Repointing mortar must match the color, texture, strength, joint width and joint profile of the existing historic masonry. Specifications and repointing samples should be reviewed and approved by the State Historic Preservation Office before proceeding with this work. Good quality overall and close-up color photographs of the masonry both before and after repointing must be submitted with the Request for Certification of Completed Work.

GENERAL NOTES:

- ALL EXISTING NON-HISTORIC SINGLE HUNG WINDOWS TO BE REMOVED & REPLACED WITH NEW ALL-WOOD FRAME PAINTED SINGLE HUNG WINDOWS COMPATIBLE WITH HISTORIC BUILDING. GLAZING TO BE 72% OR GREATER VISIBLE LIGHT TRANSMITTANCE AND 12% OR LESS REFLECTIVITY.
- ALL EXTERIOR MASONRY TO BE RETAINED AND REPAIRED AS NEEDED. IF ANY REPOINTING WORK IS NECESSARY, REPOINTING MORTAR WILL MATCH THE COLOR, COMPOSITION, TEXTURE, STRENGTH, JOINT WIDTH, AND JOINT PROFILE OF THE EXISTING HISTORIC MASONRY. SPECIFICATIONS AND REPOINTING SAMPLES WILL BE REVIEWED AND APPROVED BY SHPO BEFORE PROCEEDING WITH ANY WORK.
- THE CURRENTLY PAINTED EXTERIOR BRICK TO BE REPAINTED. EXISTING BRICK TO BE CAREFULLY SCRAPPED TO REMOVE THE CURRENT PAINT.

KEYNOTES:

- 01 REMOVE EXISTING EGRESS STAIR
- 02 REMOVE EXISTING BRICK WALL FOR NEW WINDOW OPENING. INFILL EXISTING OPENING BELOW WINDOW WITH BRICK TO MATCH HISTORIC MASONRY CONFIGURATIONS.
- 03 REMOVE EXISTING NON-HISTORIC ENTRY ARCHWAY, PATCH AND REPAIR CONCRETE AT GRADE
- 04a EXISTING STOREFRONT & ENTRY DOORS TO BE REPLACED WITH NEW ALUMINUM SYSTEM, NON ANODIZED, & PAINTED WOOD DOORS. SEE A3.1 & A3.2.
- 04b EXISTING ALUMINUM STOREFRONT SYSTEM & GLAZING TO BE RETAINED.
- 05 EXISTING STONE & CAST-IRON COLUMNS TO BE RETAINED AND PROTECTED DURING CONSTRUCTION, CAST-IRON COLUMNS TO BE REPAINTED
- 06 NEW CANOPY w/ PAINTED NON-ANODIZED METAL FASCIA, SOFFIT TO BE PAINTED T&G WOOD, SEE A3.2
- 07 NEW PAINTED NON-ANODIZED METAL SIGNAGE LETTERING. SEE A3.2
- 08a NEW METAL CLAD ROOF PATIO PARTITION WALL.
- 08b REPURPOSED MECHANICAL FALL PROTECTION GUARDRAIL, REPAIR AND REPAINT, OR PROVIDE REPLACEMENT (MOST COST EFFECTIVE SOLUTION).
- 09 NEW ALUMINUM WINDOW / DOOR SYSTEM. SEE WINDOW/DOOR SCHEDULE
- 10 NEW BRICK CLADDING, RUNNING BOND PATTERN, SIZE TO MATCH EXISTING BUILDING, RAKED JOINT GLEN-GERY EASTLINE THIN BRICK - STONE GREY (K12-3009) - OR EQ
- 11 NEW FLUSH METAL EXTERIOR WALL CLADDING BRIDGERSTEEL SHIPLAP WALL, FLUSH REVEAL, MATTE BLACK - OR EQ.
- 12 REPAIR MASONRY AT EXISTING STONE WATER TABLE. DUTCHMEN OR PATCHING SAMPLES WILL BE REVIEWED AND APPROVED BY SHPO BEFORE PROCEEDING WITH THE WORK.
- 13 NEW EXTERIOR LIGHTING PER LIGHTING PLAN

kinn
KINN MKE
GUESTHOUSE

600 N BROADWAY
MILWAUKEE, WI 53202

ISSUE	DATE
80% DD	11.18.19
100% DD	01.20.20
100% CD	03.26.21
A-2 VARIANCE	06.04.21

JUNE 04, 2021

BUILDING ELEVATIONS
A3.0

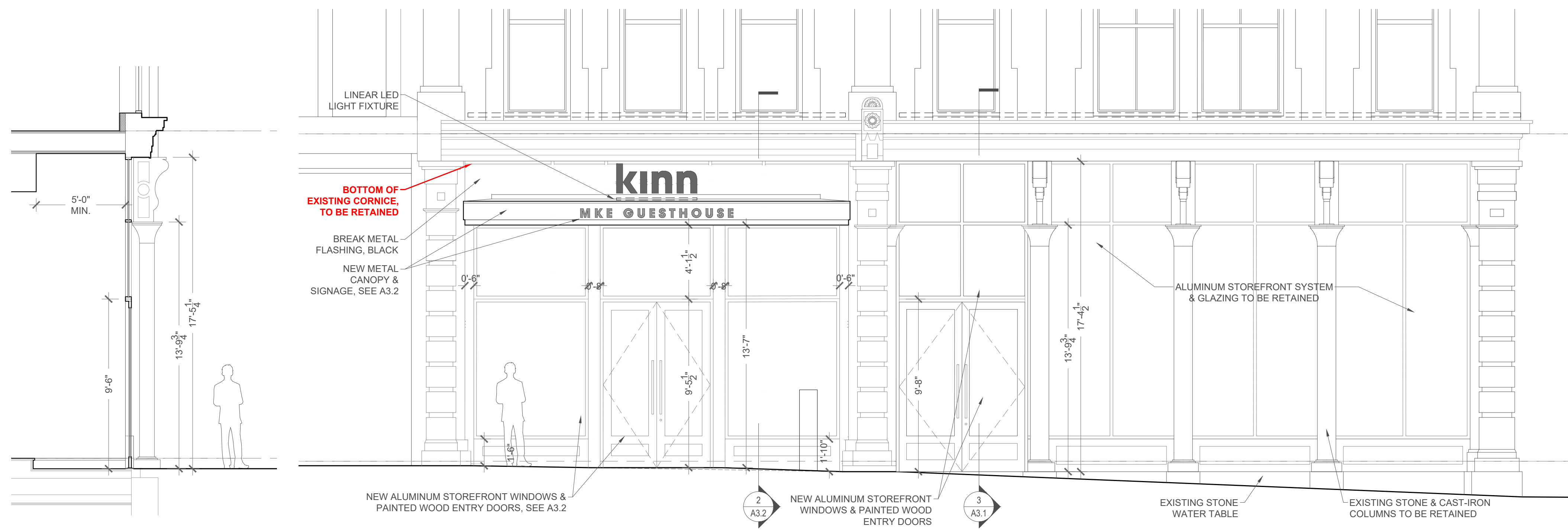
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By Tim Askin - Milwaukee HPC at 1:47 pm, Jun 23, 2021

STOREFRONT NOTES:

1. REPAIR MASONRY AT EXISTING STONE WATER TABLE. DUTCHMEN OR PATCHING SAMPLES WILL BE REVIEWED AND APPROVED BY SHPO BEFORE PROCEEDING WITH WORK.
2. STOREFRONT SYSTEM THAT IS TO BE REMOVED IS TO BE REPLACED WITH HISTORICALLY-COMPATIBLE STOREFRONT. NEW STOREFRONT SYSTEM IS TO BE NON-ANODIZED ALUMINUM. GLAZING TO BE 72% OR GREATER VISIBLE LIGHT TRANSMITTANCE AND 12% OR LESS REFLECTIVITY.
3. EXISTING STONE & CAST-IRON COLUMNS TO BE RETAINED AND PROTECTED DURING CONSTRUCTION, CAST-IRON COLUMNS TO BE REPAINTED
4. NEW CANOPY w/ PAINTED NON-ANODIZED METAL FASCIA, SOFFIT TO BE SOLID STAINED T&G WOOD, STUCCO AS ALTERNATE

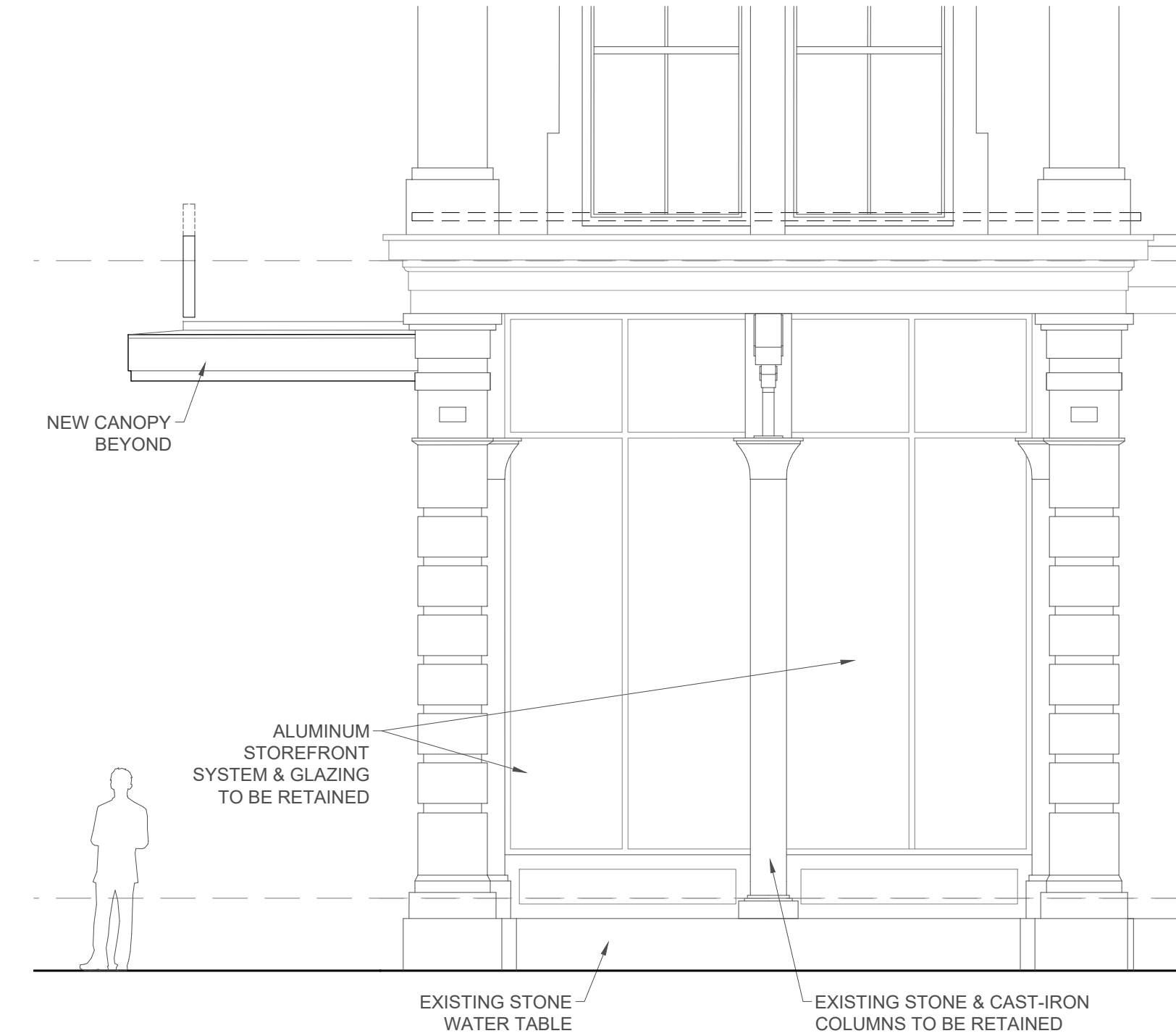


4 BUILDING PHOTO - 1906
SCALE: 4



3 STOREFRONT SECTION
SCALE: 1/4" = 1'-0" (AT SOUTH RETAIL)

2 PROPOSED WEST STOREFRONT
SCALE: 1/4" = 1'-0"

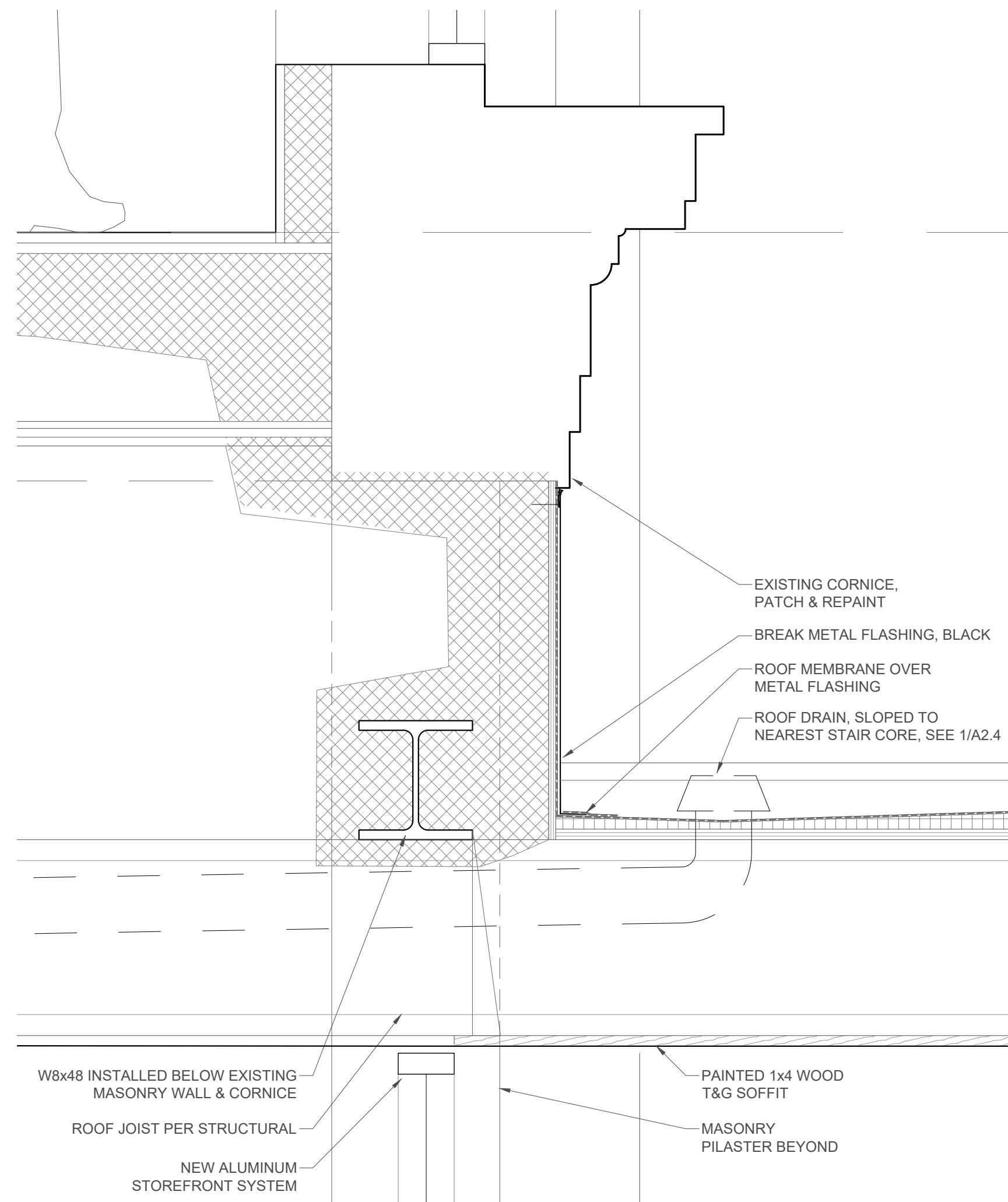


1 PROPOSED SOUTH STOREFRONT
SCALE: 1/4" = 1'-0"

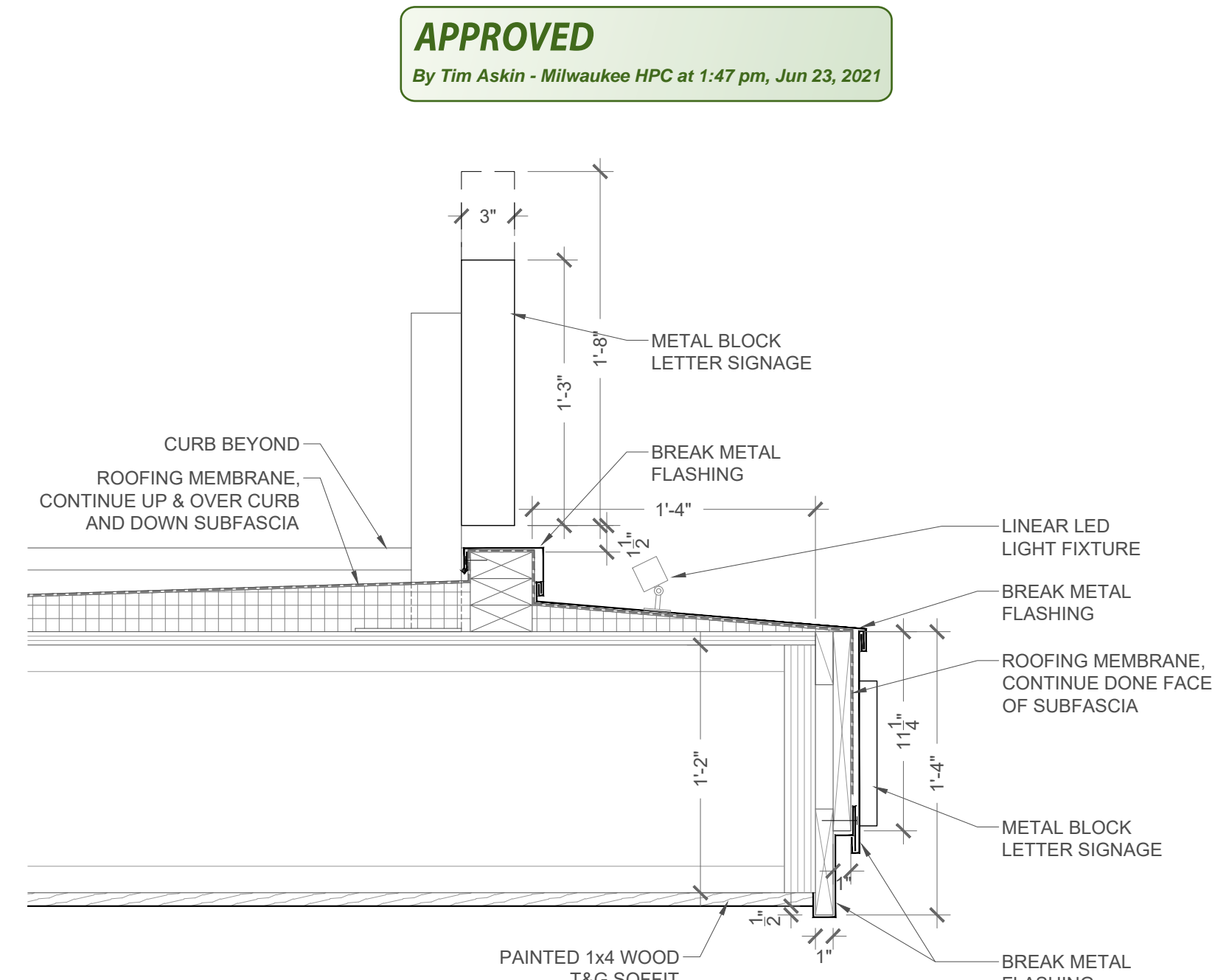
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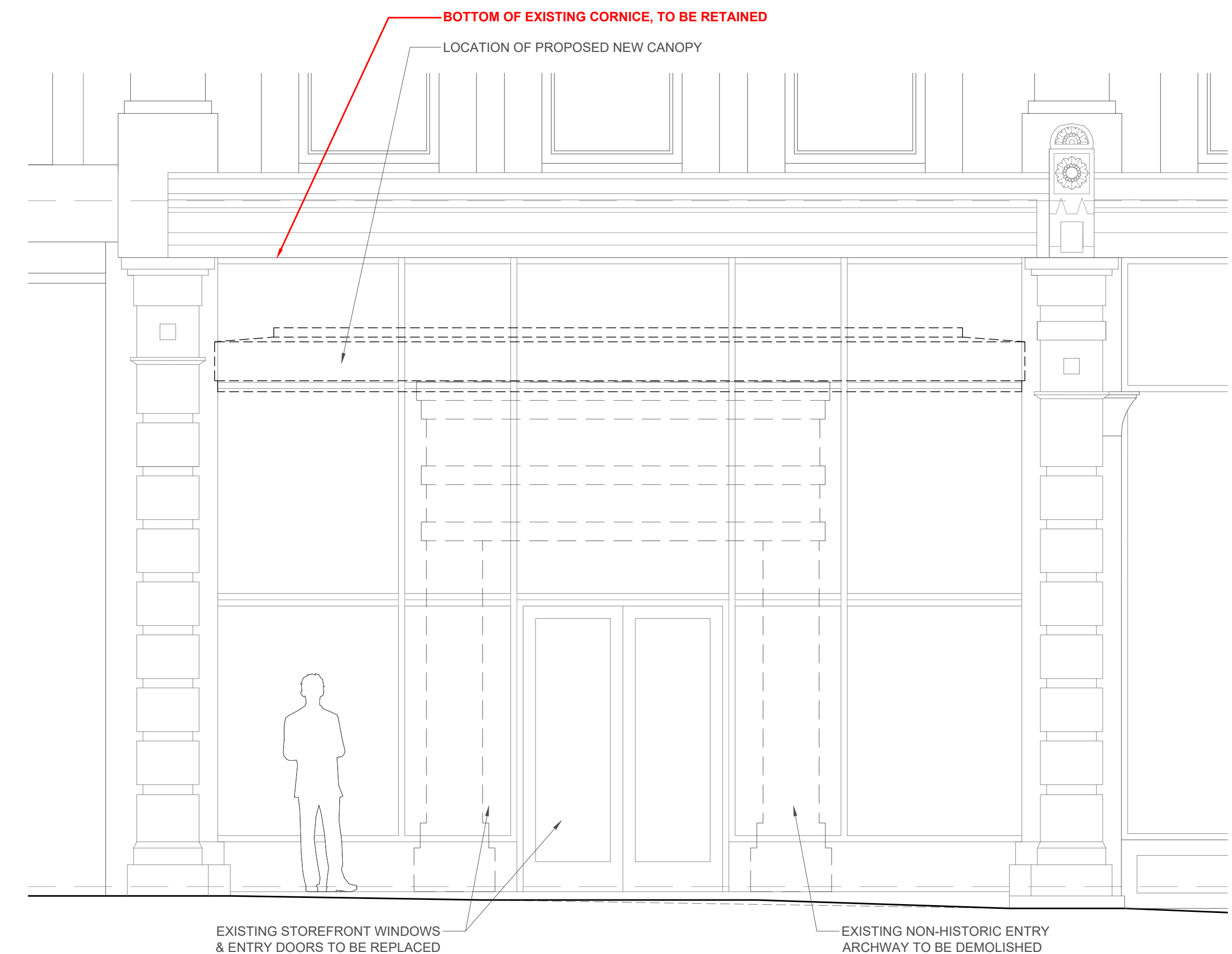
JUNE 04, 2021



5 SECTION DETAIL
SCALE: 1 1/2" = 1'-0"



4 SECTION DETAIL
SCALE: 1 1/2" = 1'-0"



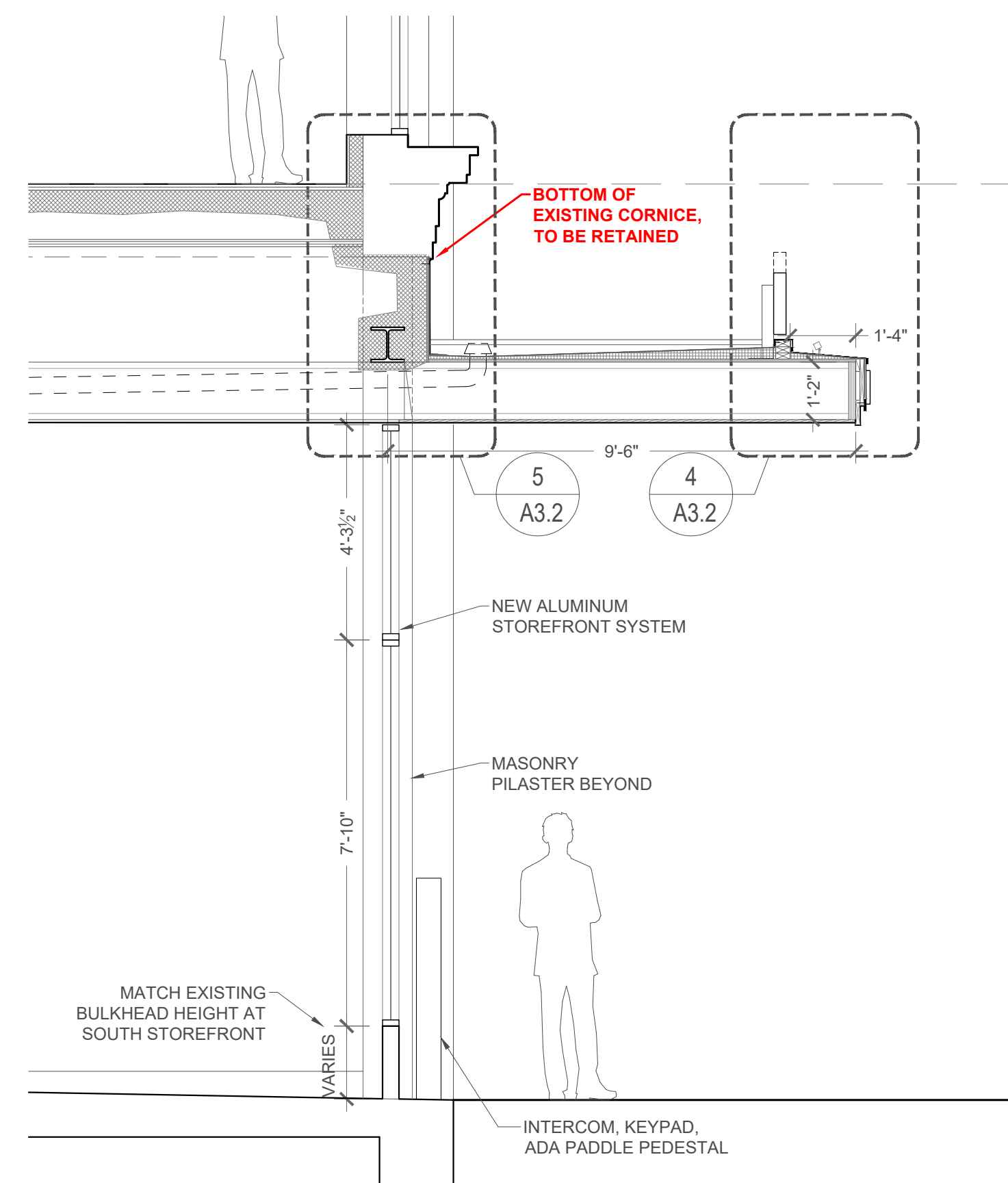
3 ELEVATION - EXISTING ENTRY
SCALE: 3/8" = 1'-0"



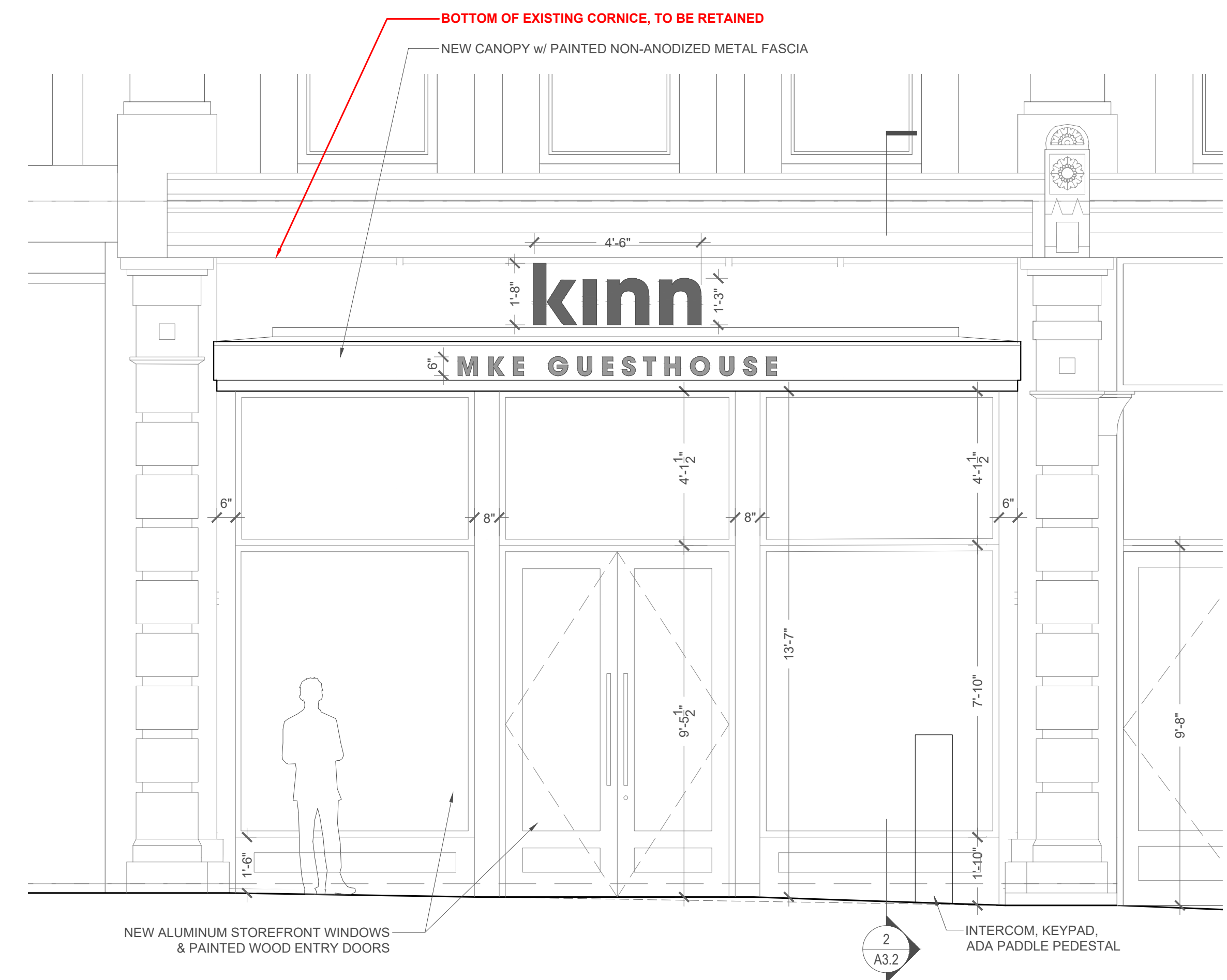
EXISTING CONDITION



(FOR REFERENCE ONLY, REFER TO 2D DRAWINGS FOR ACTUAL INFORMATION)



2 SECTION
SCALE: 3/8" = 1'-0"



1 ELEVATION - PROPOSED ENTRY
SCALE: 3/8" = 1'-0"

ALL EXTERIOR DETAILS TO BE FURTHER REVIEWED

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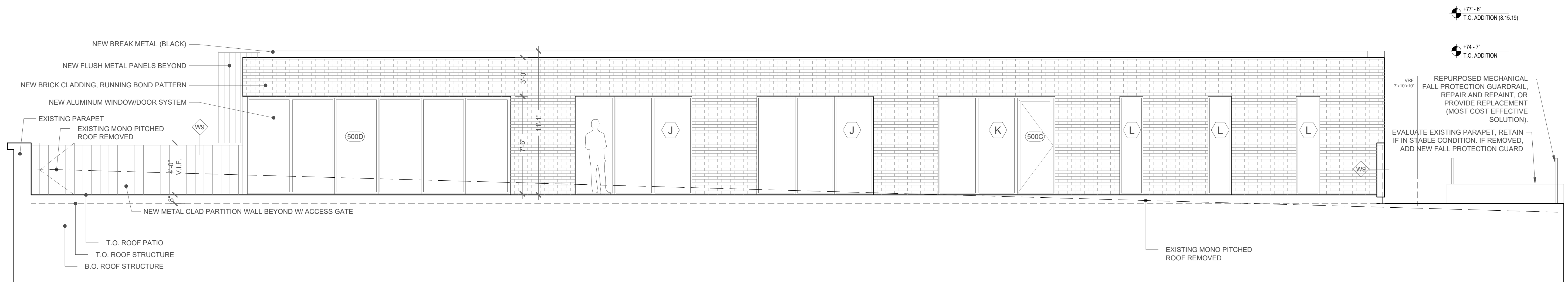
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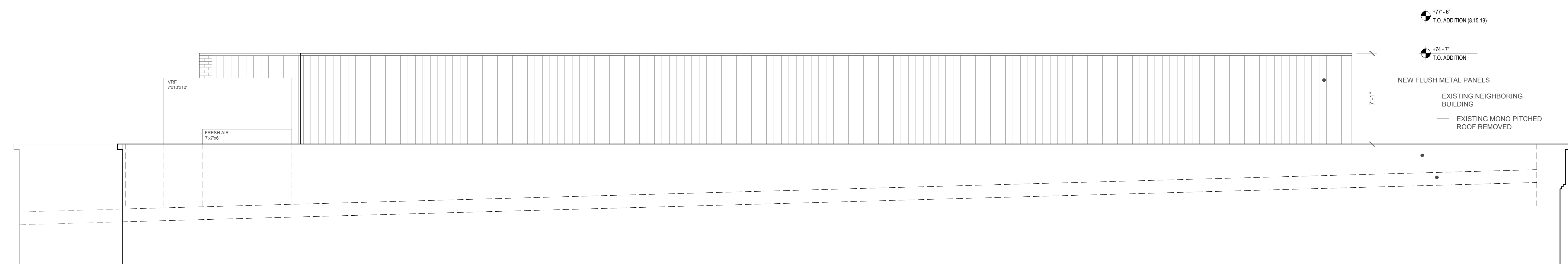
CANOPY ELEVATIONS
SECTION DETAILS

A3.2

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2 | SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



1 | NORTH ELEVATION
SCALE: 1/4" = 1'-0"

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ADDITION ELEVATIONS
A3.3

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DESIGN REVISIONS

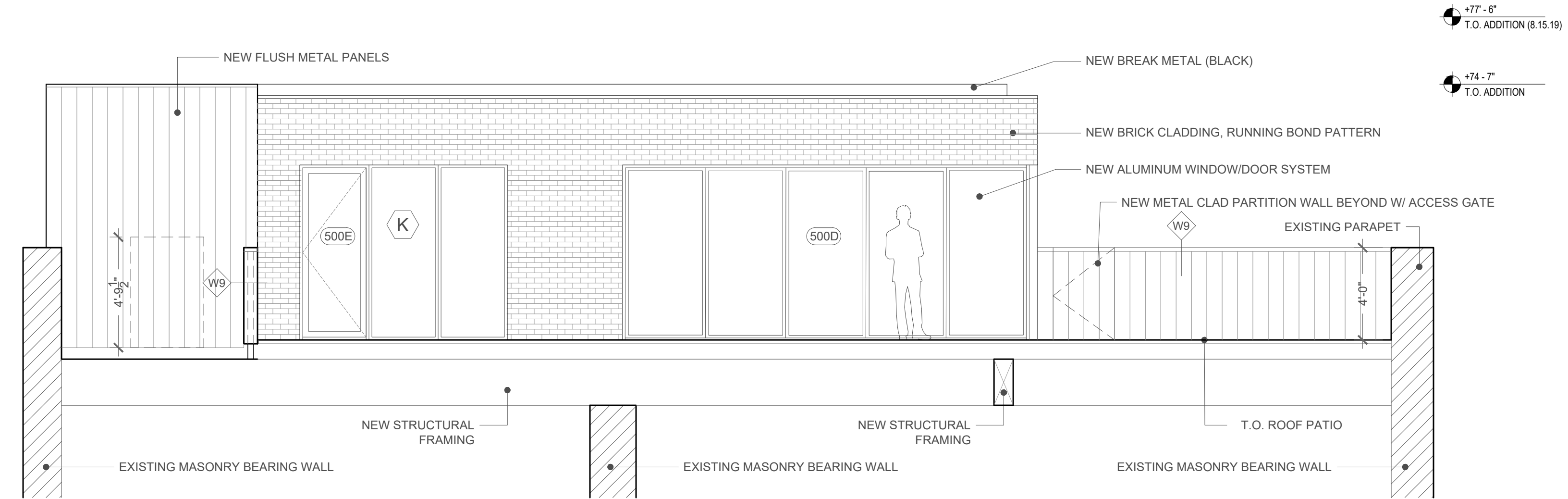
1. BUILDING HEIGHT REDUCED FROM 77'-6" TO 74'-7"
2. BRICK COLOR TONE LIGHTENED
3. WINDOWS REDUCED IN HEIGHT TO ALLOW FOR BRICK HEADER



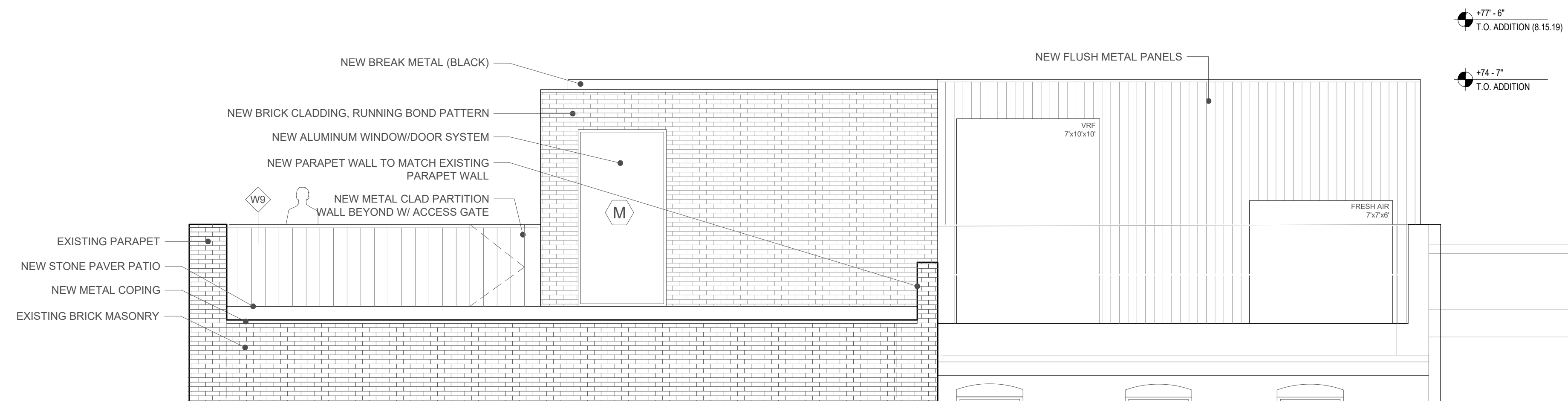
BRICK
- TBD



METAL SIDING
BRIDGERSTEEL SHIPLAP WALL, FLUSH REVEAL, MATTE BLACK - OR EQ.



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"



1 EAST ELEVATION
SCALE: 1/4" = 1'-0"

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ADDITION ELEVATIONS
A3.4