

# STORM FOSTER GARAGE & ADU

1911 NORTH 2ND STREET | MILWAUKEE, WI, 53212

## NEW CONSTRUCTION - GARAGE & ACCESSORY DWELLING UNIT CONSTRUCTION DOCUMENTS NOVEMBER 20, 2020

AMY  
CARMAN  
DESIGN

RENOVATION FOR  
**STORM  
FOSTER**

1911 NORTH 2ND ST  
MILWAUKEE, WI 53212

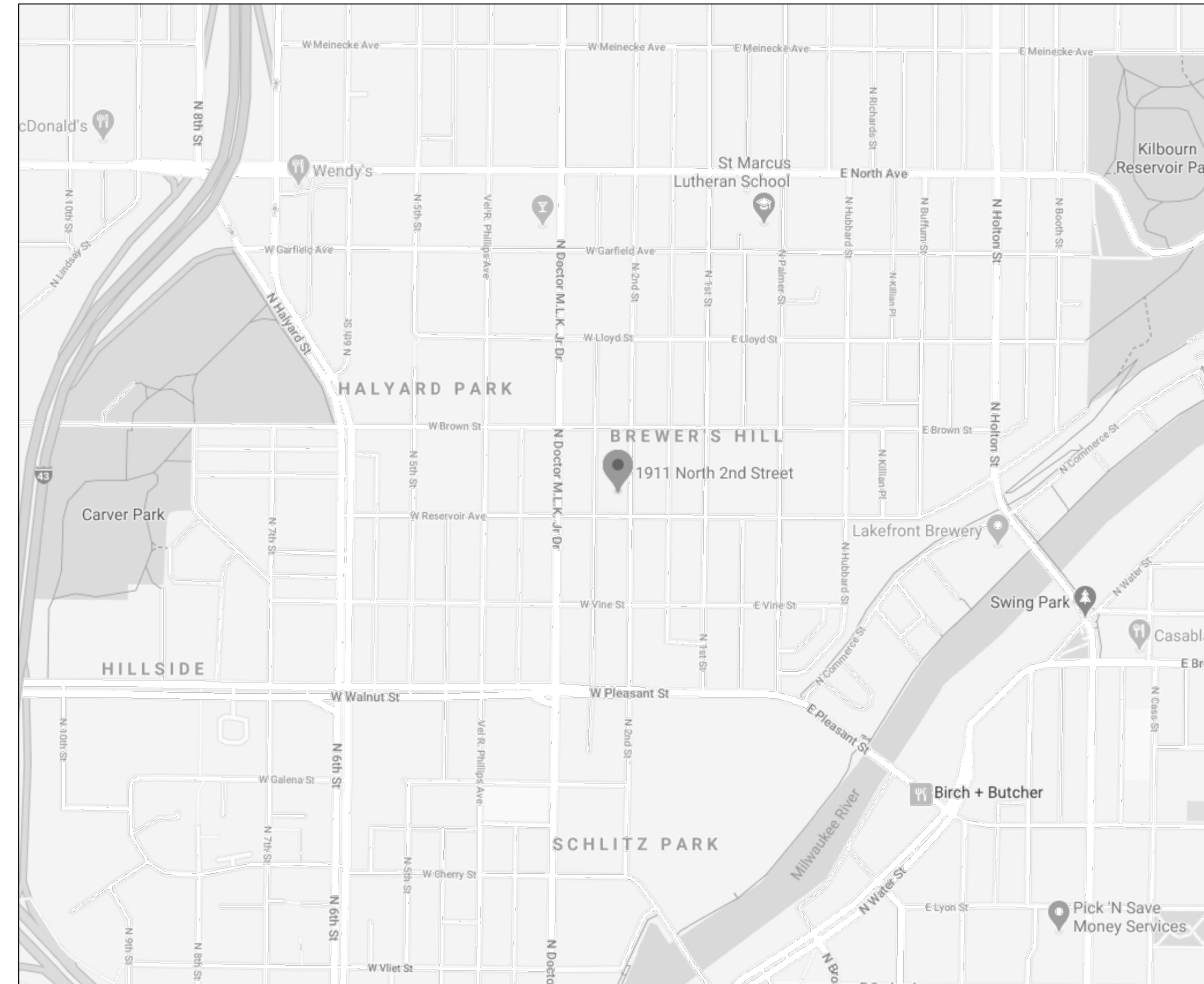
GENERAL CONTRACTOR  
**TED STORM**

Storm DBR, LLC  
414.400.1951

STRUCTURAL ENGINEER

**CORE 4 ENGINEERING**

12338 Corporate Pkwy  
Mequon, WI 53092  
262.236.8372



PROJECT SITE

### PROJECT INFORMATION:

This project is a two car garage and attached accessory dwelling unit at the west end of the property. All exterior facade materials and detail will be derived from the existing house to be complimentary to the existing historic fabric.

### SHEET INDEX:

- T 1.0 TITLE SHEET
- T 1.1 EXTERIOR RENDERINGS (FOR REFERENCE ONLY)
  
- C 0.1 SURVEY
- A 0.1 ARCHITECTURAL SITE PLAN
- A 0.2 ASSEMBLY TYPES
  
- A 1.0 FLOOR PLANS
- A 1.1 REFLECTED CEILING PLAN (RCP) & LIGHTING
  
- A 2.0 EXTERIOR ELEVATIONS
- A 2.1 WINDOW SCHEDULE & DETAILS
- A 2.2 DOOR SCHEDULE & DETAILS
  
- A 3.0 BUILDING SECTIONS
- A 3.1 DETAILS
  
- A 4.0 INTERIOR ELEVATIONS
- A 4.1 INTERIOR RENDERINGS (FOR REFERENCE ONLY)
  
- S1.0 STRUCTURAL

**APPROVED**

By Tim Askin - Milwaukee HPC at 3:32 pm, Mar 10, 2022

### PROJECT DATA:

ZONING:	MILWAUKEE R-4
BUILDING CODE:	WISCONSIN UDC
TOTAL SF:	1,147 SF (GROSS)
GARAGE SF:	652 SF
ADU SF:	495 SF
NO. OF STORIES:	1

REVISIONS

CONSTRUCTION  
DOCUMENTS  
NOVEMBER 20, 2020

TITLE PAGE  
**T1.0**

© COPYRIGHT 2020. ALL RIGHTS RESERVED



IMAGES ARE FOR REFERENCE. REFER TO ELEVATIONS FOR INFORMATION

1 | EAST ELEVATION



IMAGES ARE FOR REFERENCE. REFER TO ELEVATIONS FOR INFORMATION

2 | EAST ELEVATION



IMAGES ARE FOR REFERENCE. REFER TO ELEVATIONS FOR INFORMATION

3 | WEST ELEVATION



IMAGES ARE FOR REFERENCE. REFER TO ELEVATIONS FOR INFORMATION

4 | EAST ELEVATION

**APPROVED**

By Tim Askin - Milwaukee HPC at 3:32 pm, Mar 10, 2022

REVISIONS

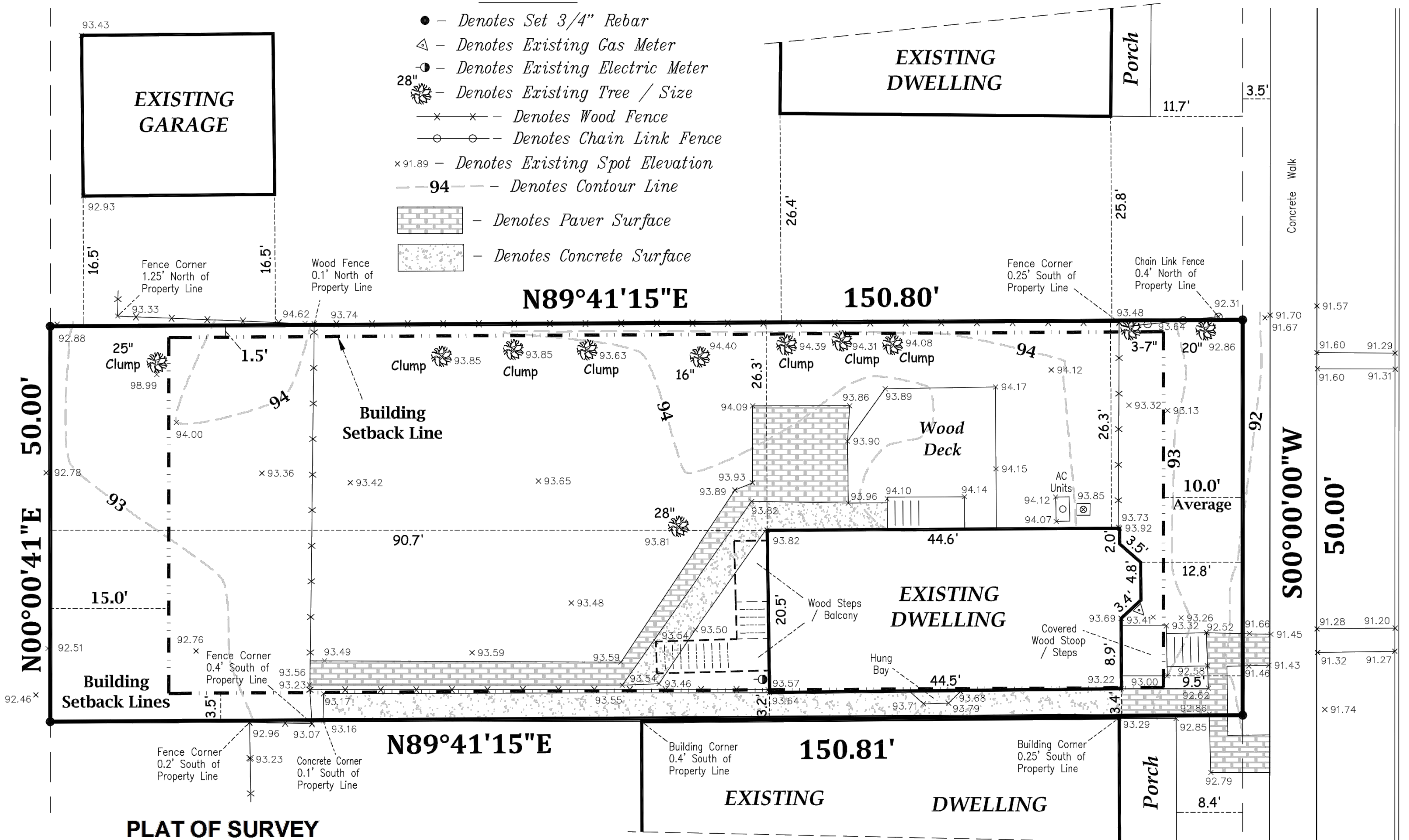
**CONSTRUCTION  
DOCUMENTS**  
NOVEMBER 20, 2020

EXTERIOR IMAGES  
**T1.1**  
© COPYRIGHT 2020. ALL RIGHTS RESERVED

"This survey is made for the exclusive use of the present owners of the property, and also those who purchase, mortgage, or guarantee the title thereto within one (1) year from date hereof; and as to them I warrant the accuracy of said survey map."

"I have surveyed the above described property and the above map is a true representation thereof and shows the size and location of the property, its exterior boundaries, the location and dimensions of all structures thereon, fences, apparent easements and roadways and visible encroachments, if any."

**20' WIDE PUBLIC ALLEY**



**LEGEND**

- - Denotes Set 3/4" Rebar
- △ - Denotes Existing Gas Meter
- - Denotes Existing Electric Meter
- 🌳 - Denotes Existing Tree / Size
- × - × - Denotes Wood Fence
- - ○ - Denotes Chain Link Fence
- × 91.89 - Denotes Existing Spot Elevation
- 94 - - Denotes Contour Line
- [Brick Pattern] - Denotes Paver Surface
- [Stippled Pattern] - Denotes Concrete Surface

**THE SOUTH 25 FEET OF LOT 12 AND THE NORTH 25 FEET OF LOT 13, BLOCK 28, SHERMN'S ADDITION,** in the Northeast 1/4 of Section 20, Town 7 North, Range 22 East, in the City of Milwaukee, Milwaukee County, Wisconsin.

**Address:** 1911 N. 2<sup>nd</sup> St.

**SURVEYING ASSOCIATES, INC.**  
 MEMBER OF WISCONSIN SOCIETY OF LAND SURVEYORS & NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS  
 MARC C. PASSARELLI P.L.S.

sai@wi.rr.com  
 2554 N. 100TH STREET  
 P.O. BOX 26596  
 WAUWATOSA, WISCONSIN 53226  
 (414) 257-2212 FAX: (414) 257-2443

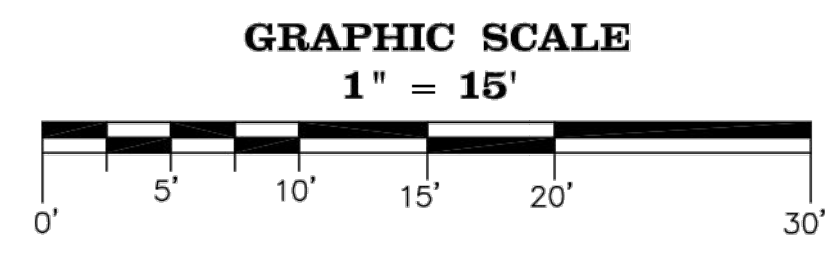
**APPROVED**  
 By Tim Askin - Milwaukee HPC at 3:32 pm, Mar 10, 2022



Surveyed for: **KAYTE FOSTER**  
**AREA OF PROPERTY**  
 7,540 Sq. Ft.

*The North R-O-W Line of W. Reservoir Ave.*

NOTE: THIS IS NOT AN ORIGINAL SURVEY UNLESS THIS SEAL IS RED.



WISCONSIN REGISTERED LAND SURVEYOR    **06/12/2020** FIELD WORK DATE    **NAS / MWW** FIELD WORK BY    **06/23/2020** DATE DRAFTED    **MCP** DRAFTED BY    **35765** JOB NUMBER

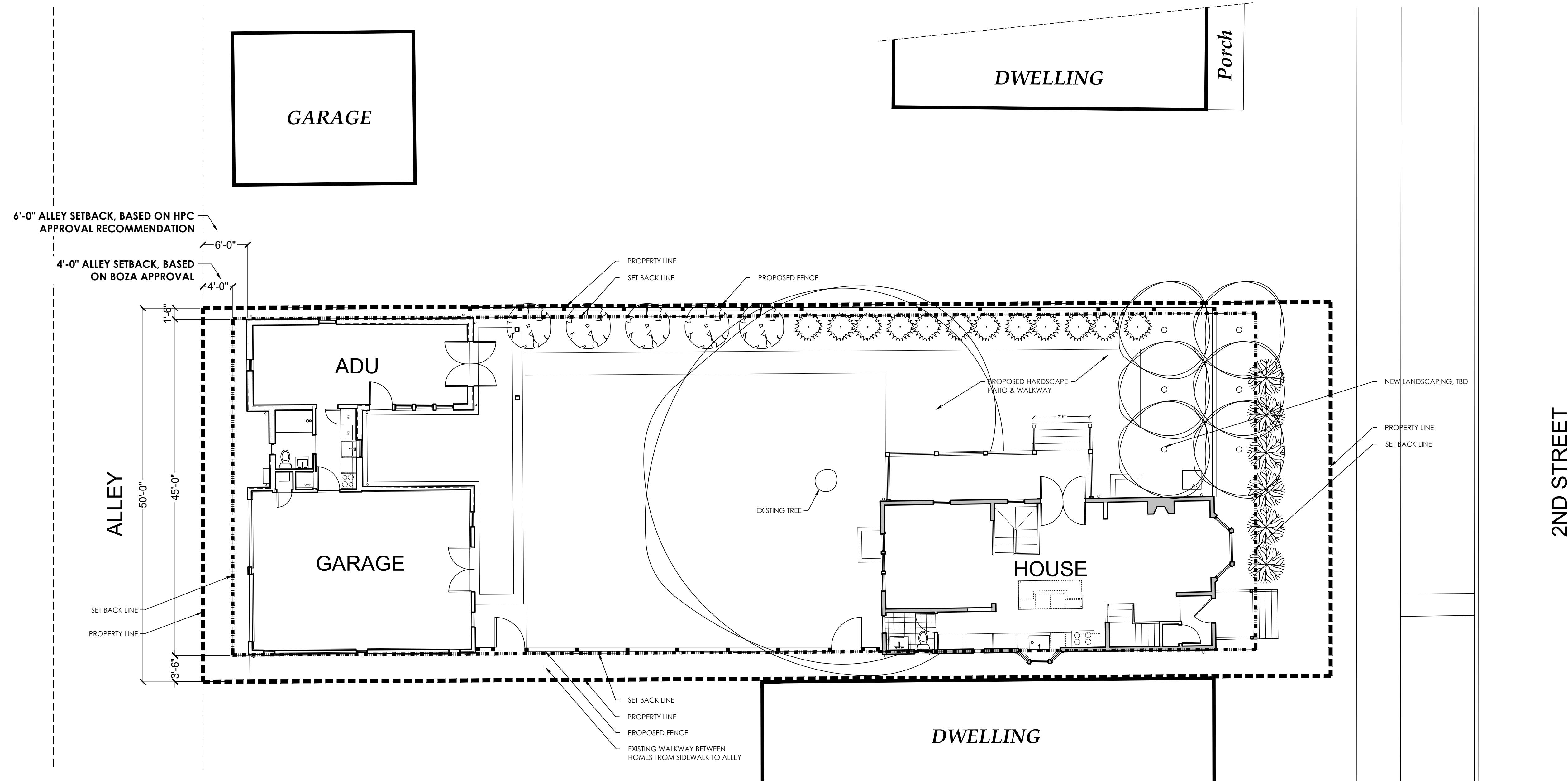
**AMY CARMAN DESIGN**

RENOVATION FOR  
**STORM FOSTER**  
 1911 NORTH 2ND ST  
 MILWAUKEE, WI 53212  
 GENERAL CONTRACTOR  
**TED STORM**  
 Storm DBR, LLC  
 414.400.1951  
 STRUCTURAL ENGINEER  
**CORE 4 ENGINEERING**  
 12308 Corporate Pkwy  
 Mequon, WI 53092  
 262.236.9372

**N. 2ND ST. (80' WIDE PUBLIC R-O-W)**

\*ENLARGED (DOUBLED IN SIZE, NOT TO SCALE)

**CONSTRUCTION DOCUMENTS**  
 NOVEMBER 20, 2020  
 EXISTING SITE SURVEY  
**C0.1**  
 © COPYRIGHT 2021. ALL RIGHTS RESERVED



1 | ARCHITECTURAL SITE PLAN  
1/8" = 1'

\*LANDSCAPE PLANTING  
SHOWN FOR REFERENCE

**APPROVED**  
By Tim Askin - Milwaukee HPC at 3:32 pm, Mar 10, 2022

REVISIONS

**CONSTRUCTION  
DOCUMENTS**

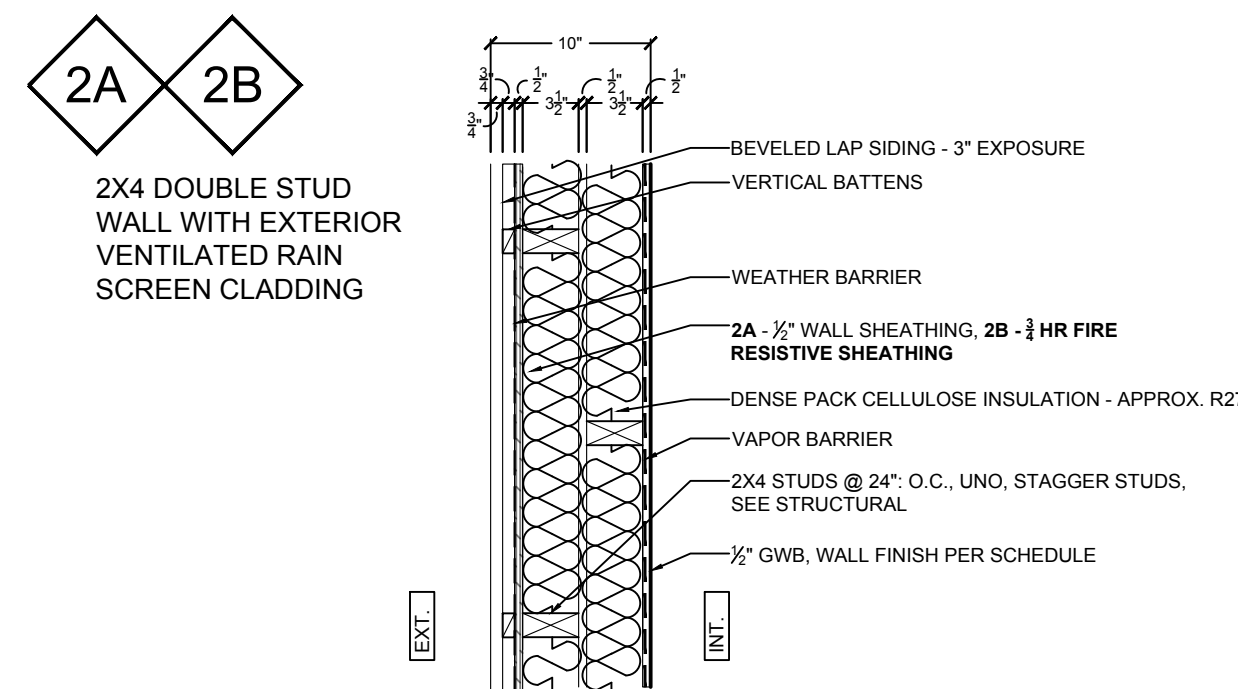
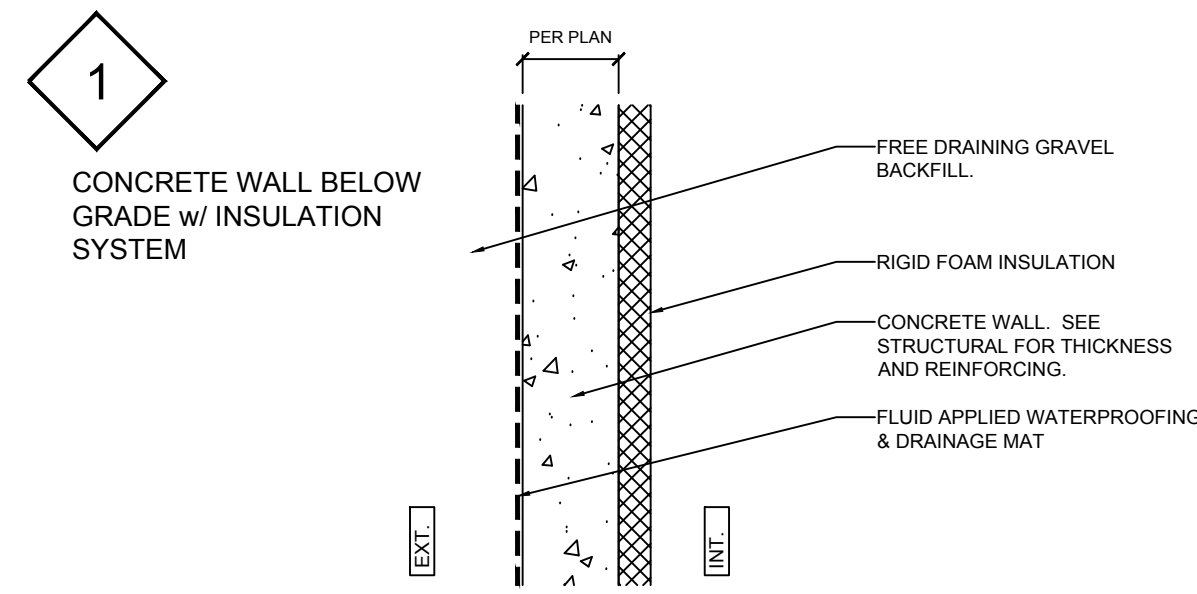
NOVEMBER 20, 2020

ARCHITECTURAL  
SITE PLAN

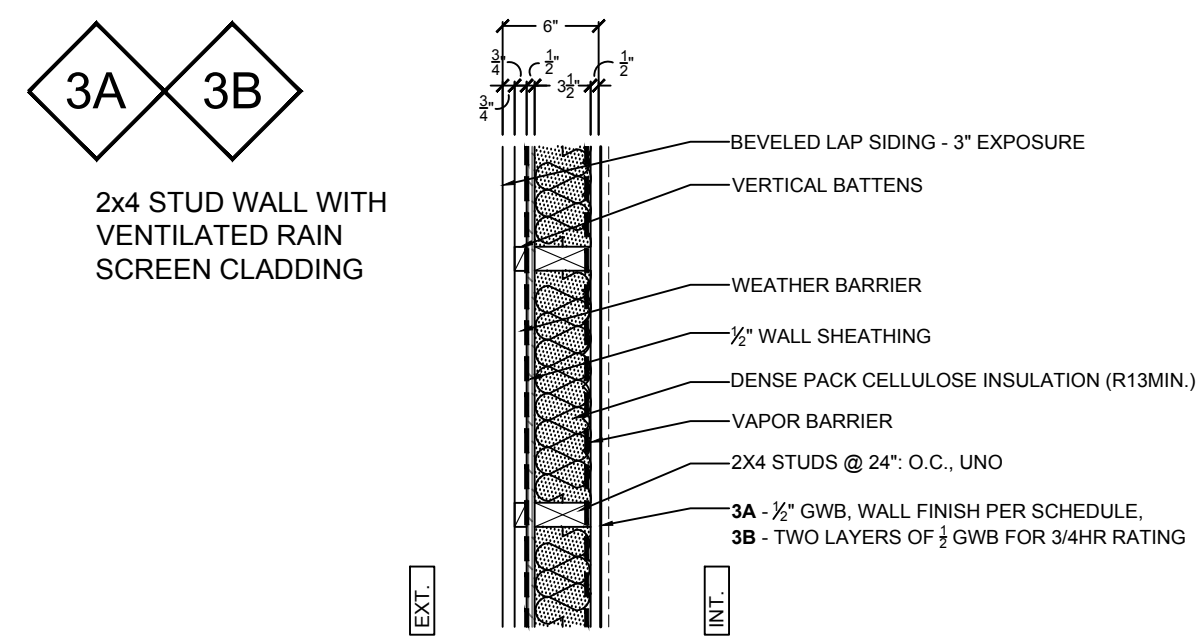
**A0.1**

© COPYRIGHT 2020. ALL RIGHTS RESERVED

EXTERIOR WALL TYPES

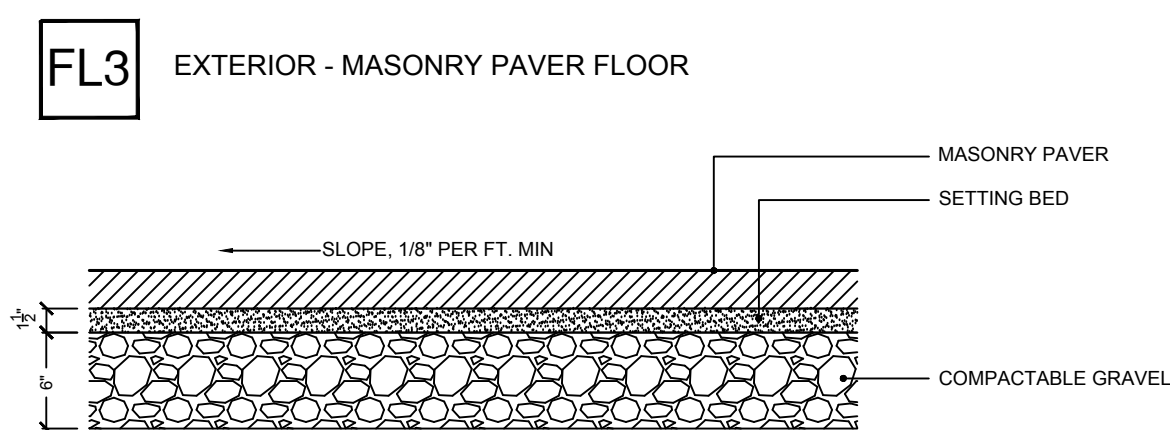
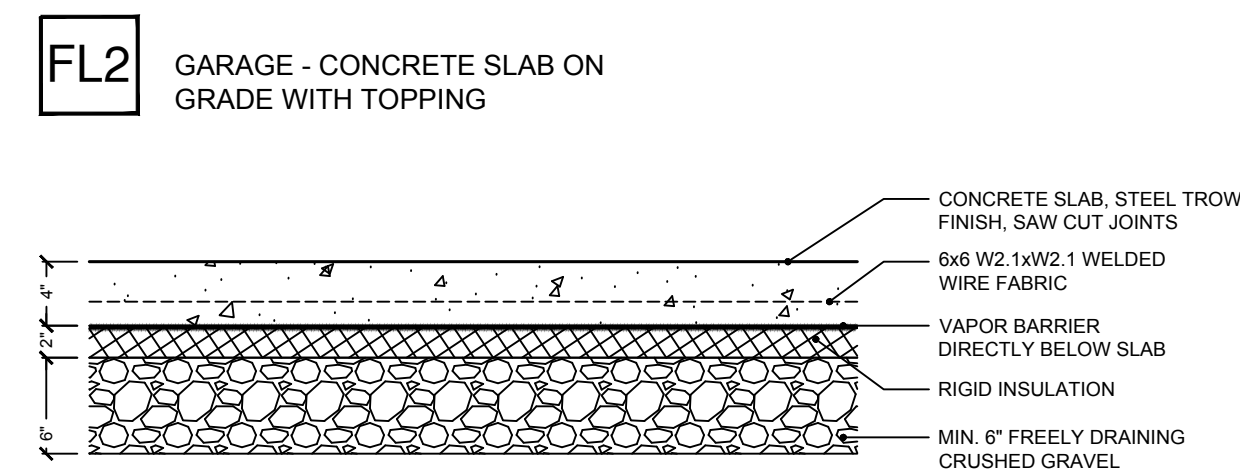
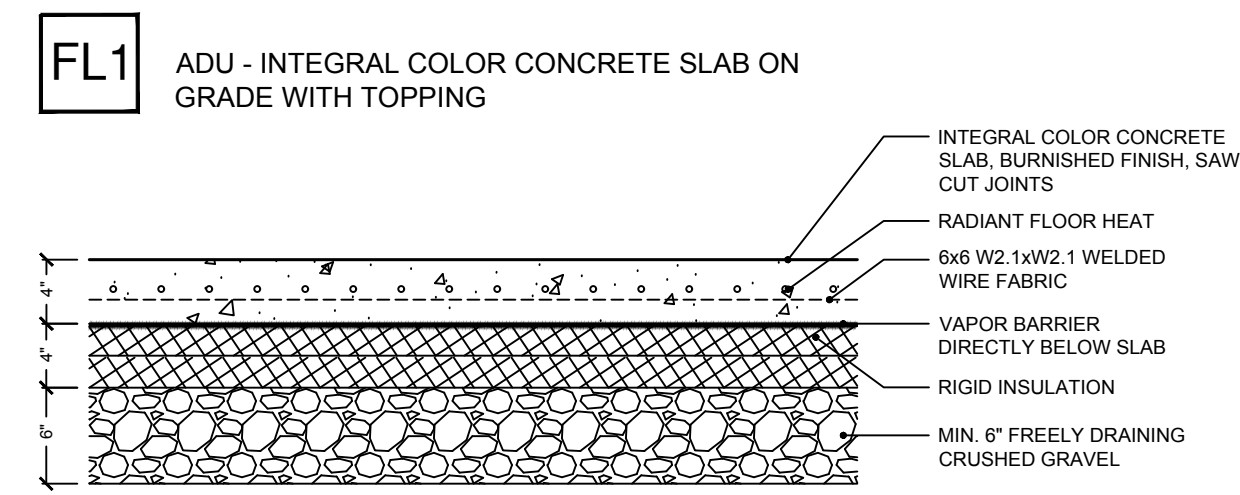


2B - RATED WALL PER Wis. Admin. Code SPS § SPS 321.08

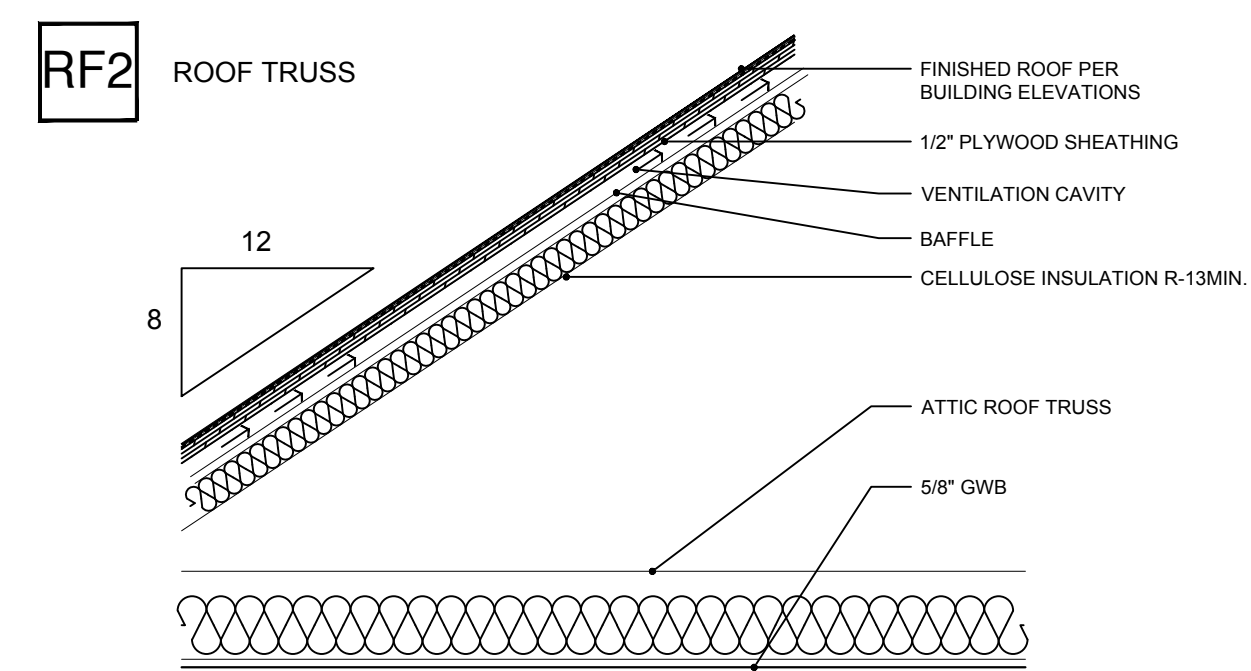
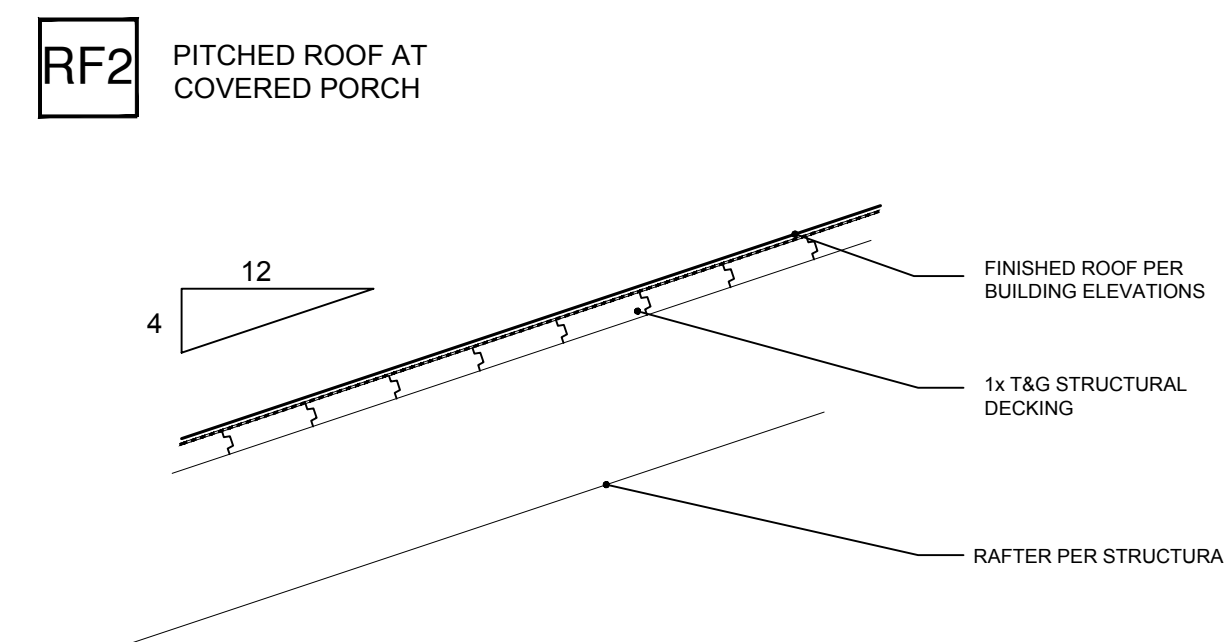
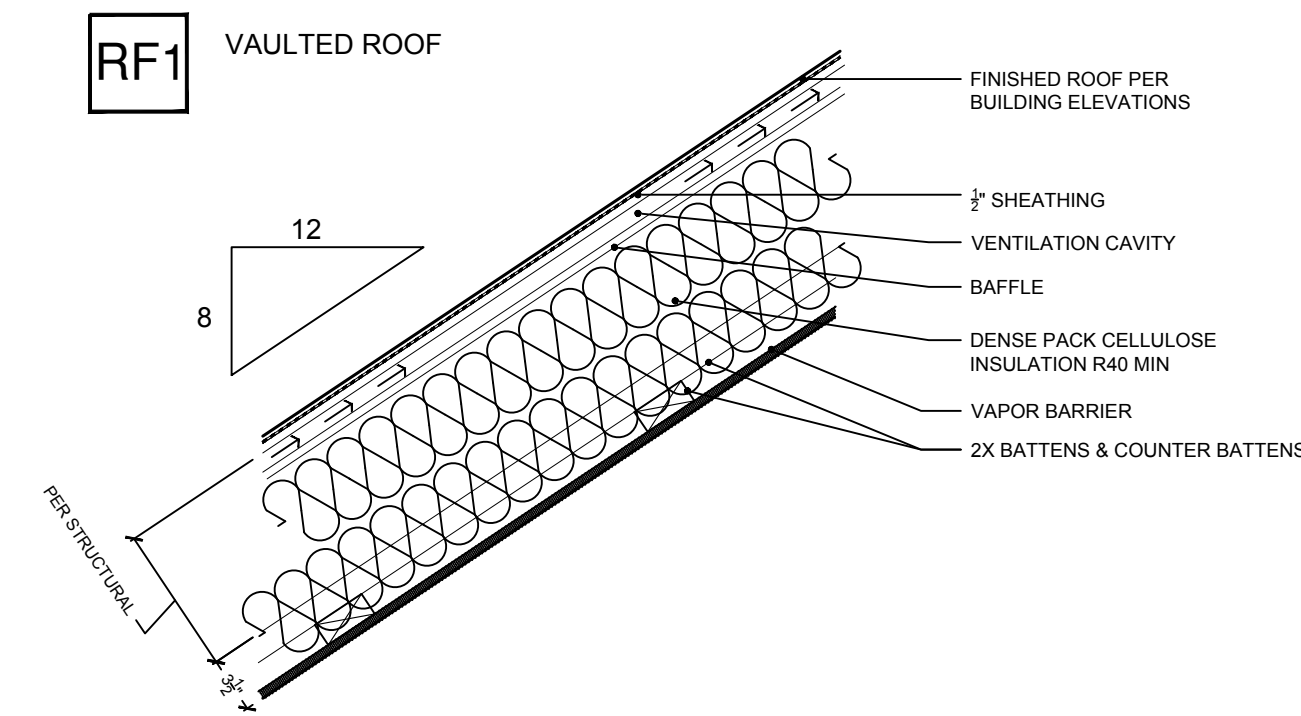


3B - RATED WALL PER Wis. Admin. Code SPS § SPS 321.08 (a)(c)

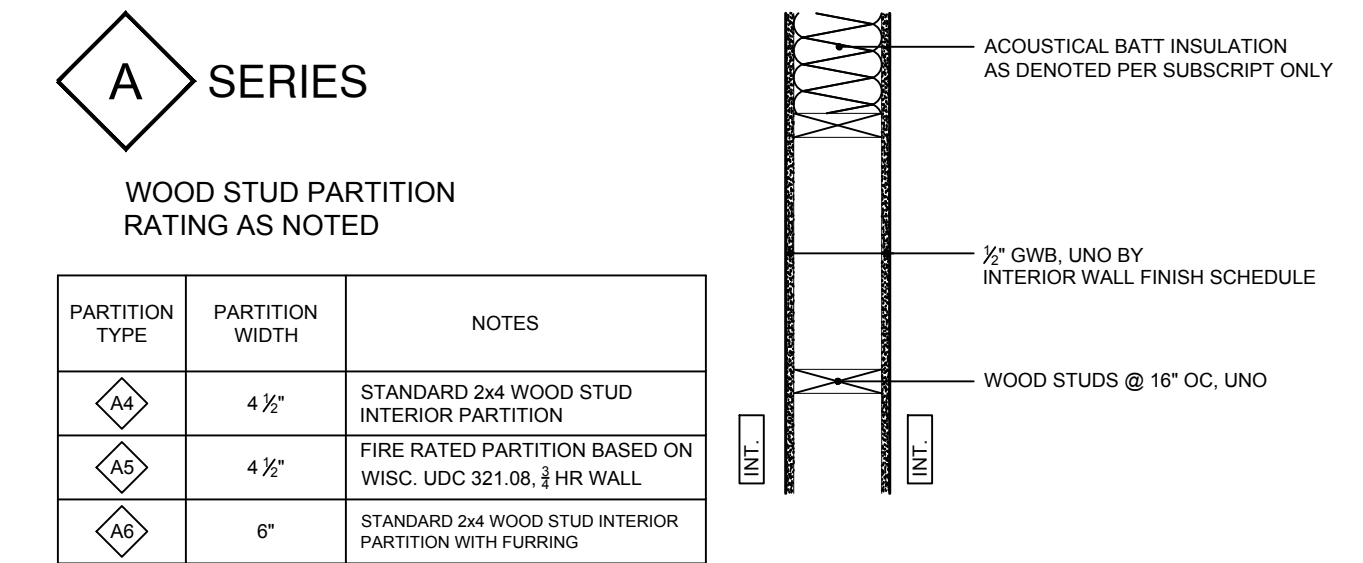
FLOOR ASSEMBLIES



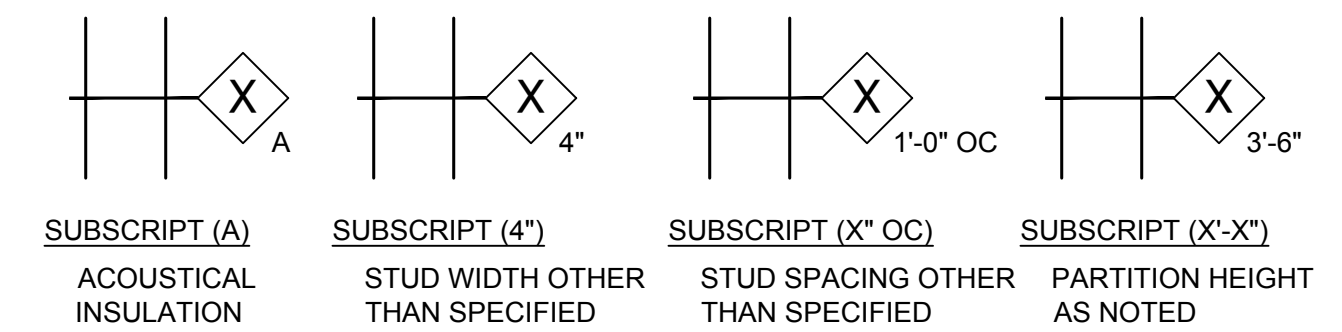
ROOF ASSEMBLIES



INTERIOR WALL TYPES



INTERIOR PARTITION SUBSCRIPT KEY

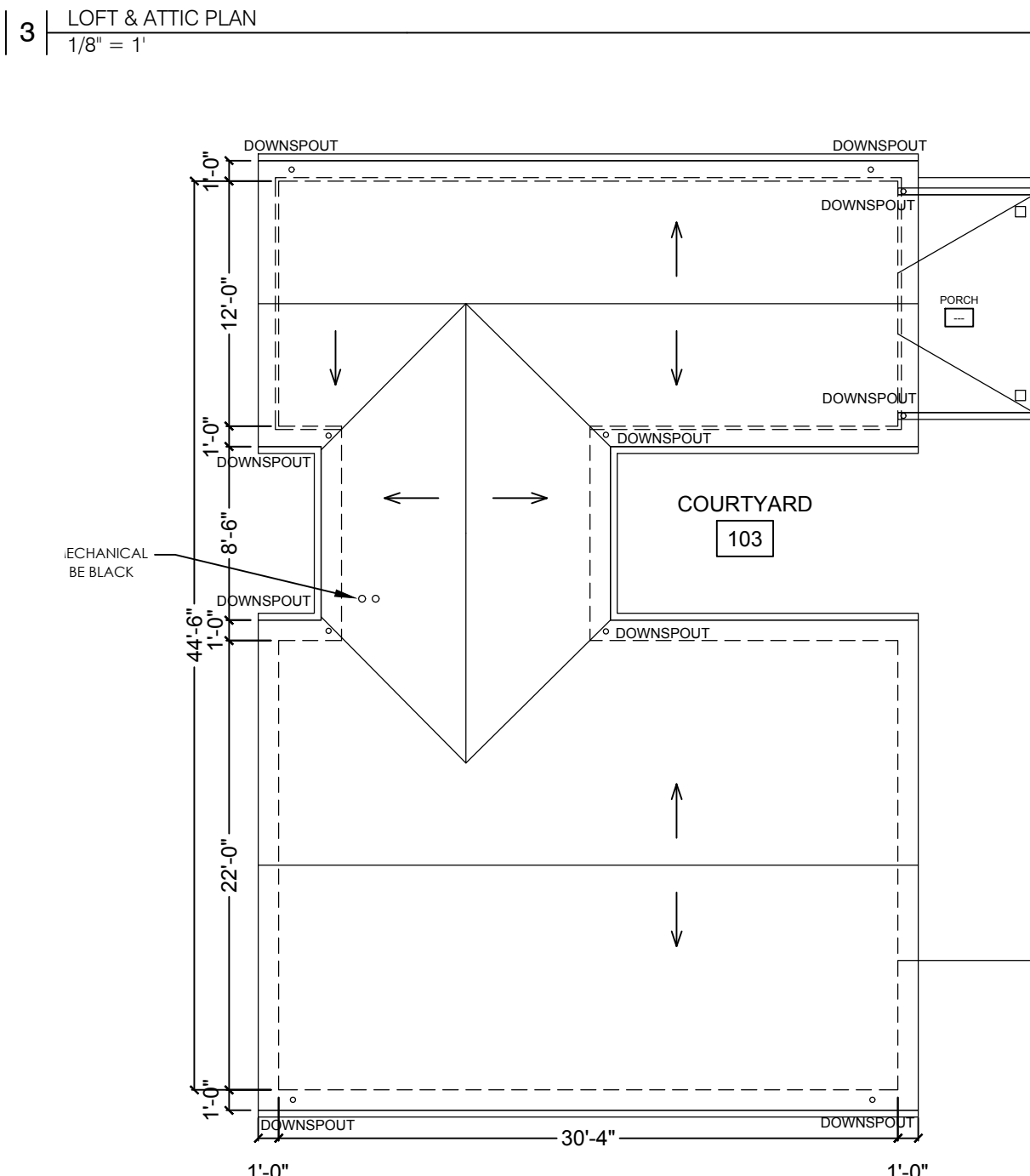
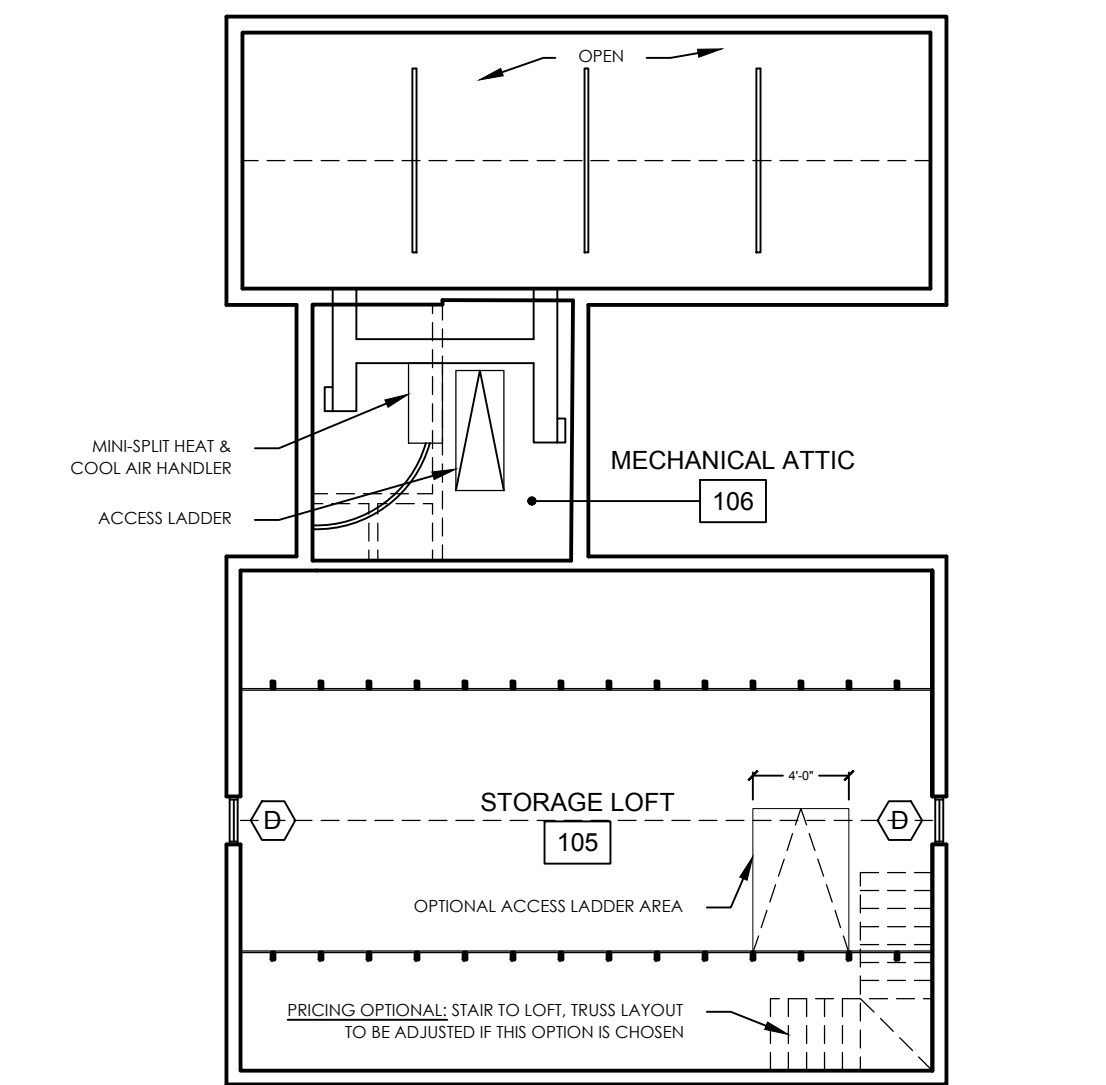
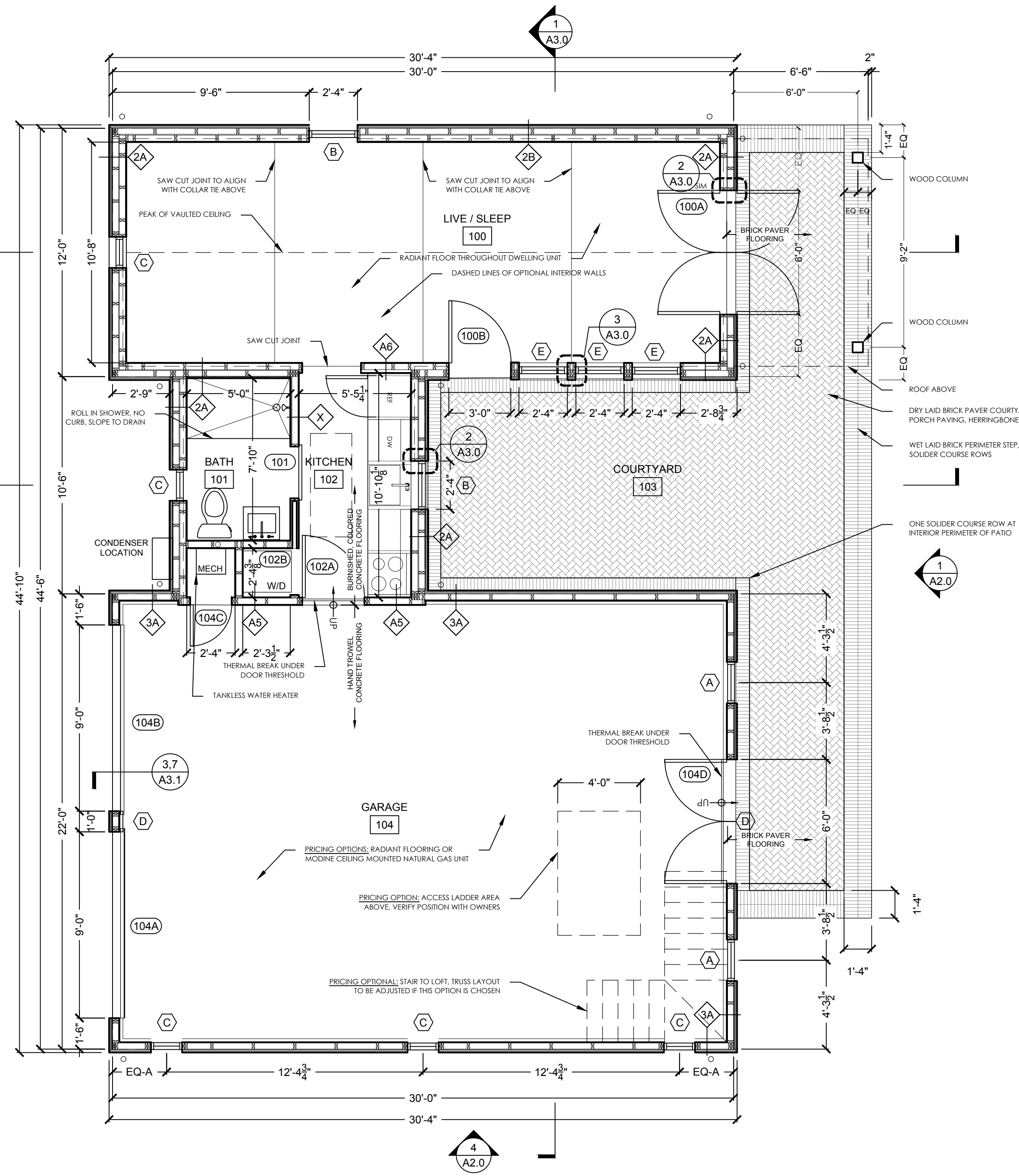
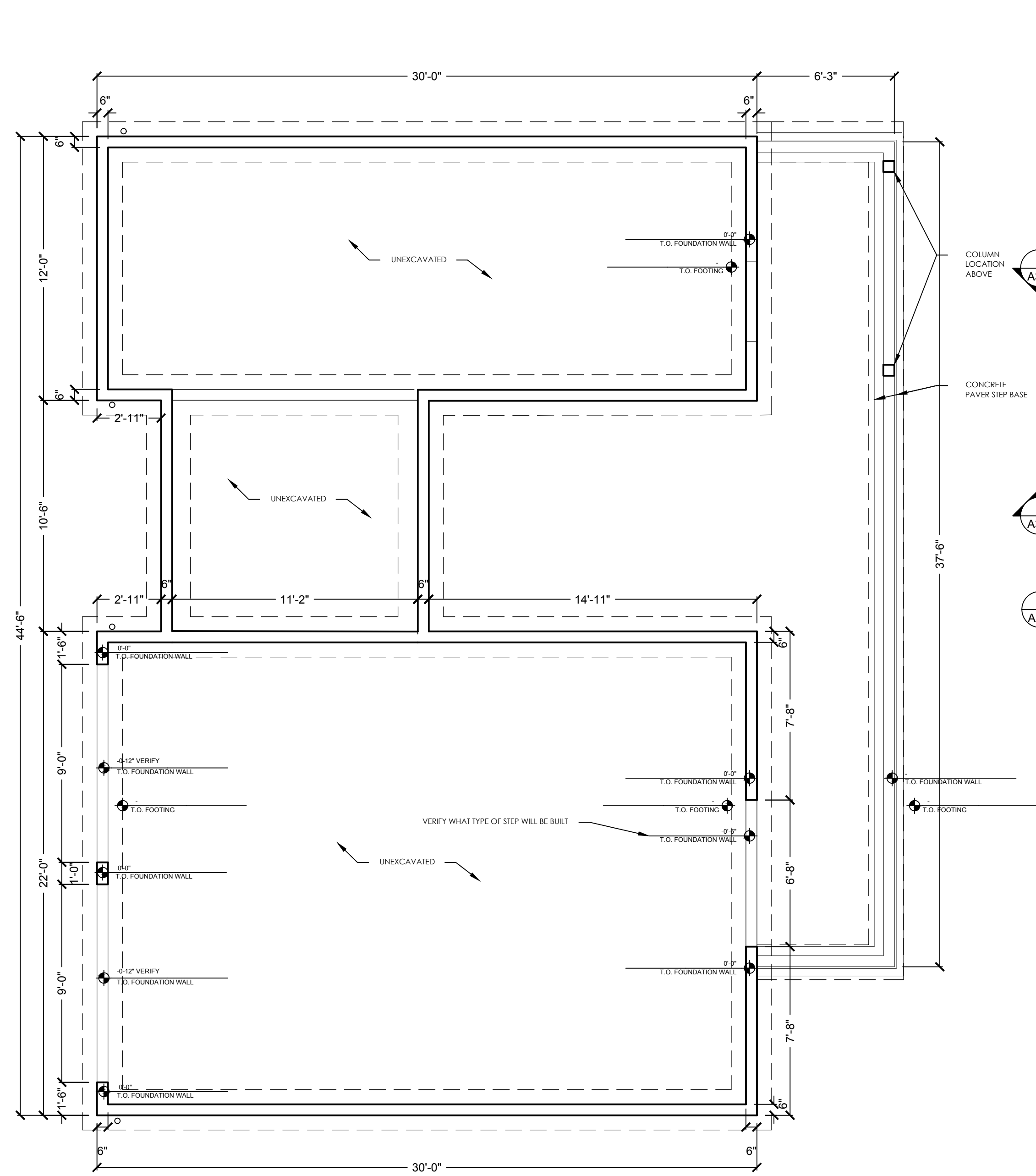


INTERIOR PARTITION NOTES

- A. ALL INTERIOR PARTITIONS SHALL BE TYPE "A4" UNLESS NOTED OTHERWISE.
- B. ALL ELEMENTS OF ACOUSTIC RATED PARTITIONS SHALL EXTEND TO ROOF OR FLOOR DECK ABOVE AND ALL JOINTS AND PENETRATIONS OF ACOUSTIC RATED PARTITIONS SHALL BE FILLED AND SEALED.
- C. REFER TO "INTERIOR PARTITION TYPE SUBSCRIPT KEY" FOR SYMBOLS USED TO IDENTIFY ADDITIONAL REQUIREMENTS OR MODIFICATIONS TO BASIC PARTITION TYPES.
- D. PARTITION REQUIREMENTS SHOWN ARE CONSIDERED MINIMUM STANDARDS. WHERE CONDITIONS OF THE WORK CAUSE PARTITION(S) TO EXCEED LIMITS RECOMMENDED BY MANUFACTURER, REINFORCE PARTITION(S).
- E. PENETRATIONS IN RATED PARTITIONS AND CONNECTIONS OF THE PARTITIONS TO OTHER PORTIONS OF THE WORK SHALL BE IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDED DETAILS AND IN COMPLIANCE WITH APPLICABLE TESTING AGENCY REQUIREMENTS.
- F. WHERE A CLEAR DIMENSION OR OPENING IS REQUIRED OR NOTED, MEASURE DIMENSION TO FACE OF PARTITION FINISH.
- G. INSTALL BLOCKING OR BACKER MATERIAL FOR ATTACHMENT/MOUNTING OF WALL HUNG ITEMS OR EQUIPMENT DESCRIBED IN THE DOCUMENTS.
- H. PROVIDE WATER RESISTANT TYPE GYPSUM BOARD AT AREAS THAT ARE SCHEDULED TO RECEIVE CERAMIC TILE FINISH AND AT AREAS SO REQUIRED BY CODE TO RECEIVE IT (EXCEPT AS NOTED IN NOTE "I" BELOW).
- I. PROVIDE TILE BACKER BOARD AT SHOWER AREAS AND AT OTHER WET AREAS THAT ARE SCHEDULED IN ROOM FINISH SCHEDULE TO RECEIVE CERAMIC TILE FINISH.
- J. INSTALLATION OF GYPSUM BOARD, BACKER BOARD AND BASE BOARD SHALL CONFORM TO REQUIREMENTS FOR FIRE RATINGS AND ACOUSTICAL RATINGS.
- K. WHERE PARTITIONS AND/OR FURRING MEET, MAINTAIN A FLUSH SURFACE ON THE SIDE WHERE THE FINISH IS STRAIGHT OR CONTINUOUS UNLESS NOTED OTHERWISE.

**APPROVED**  
By Tim Askin - Milwaukee HPC at 3:32 pm, Mar 10, 2022

REVISIONS

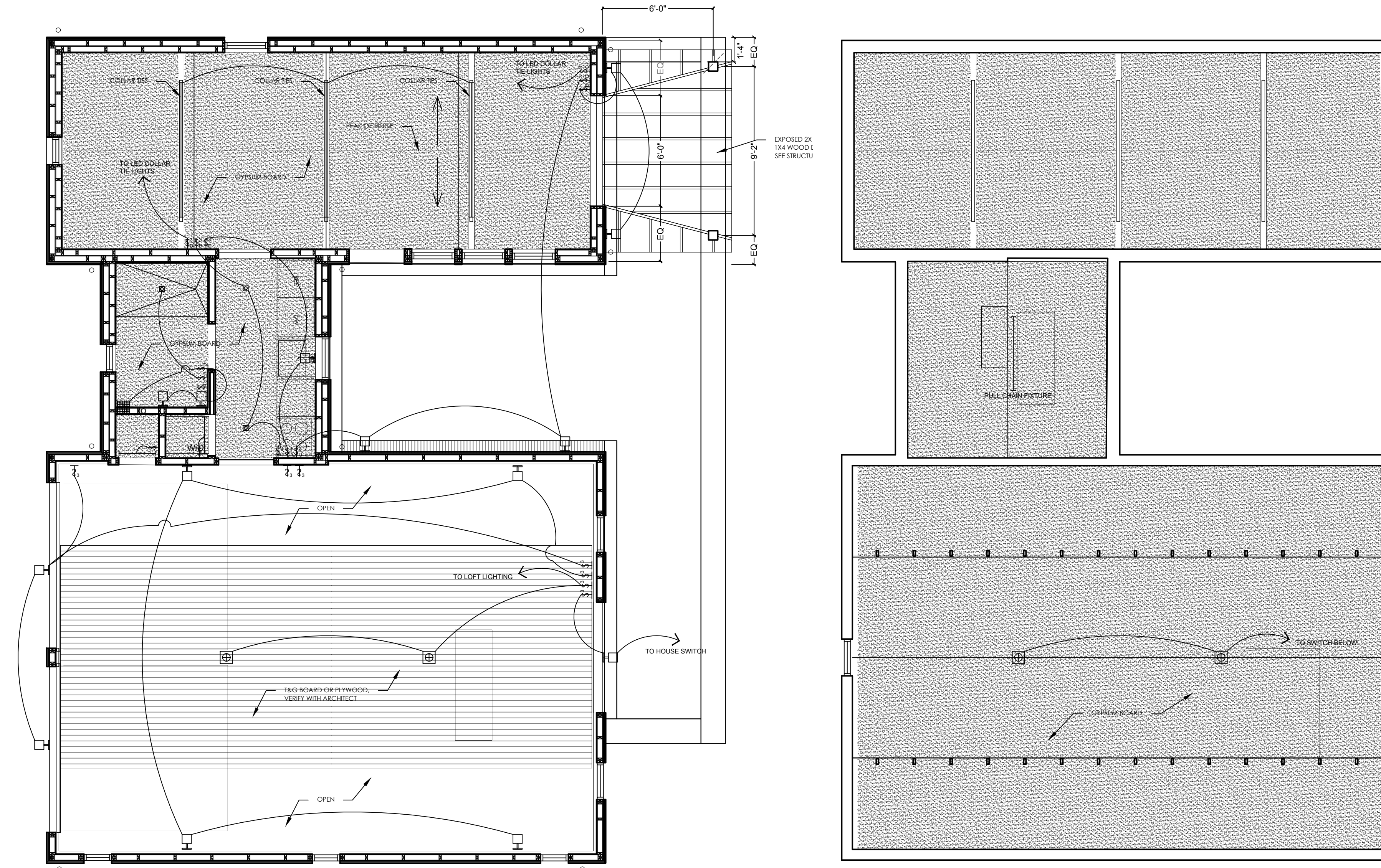


**APPROVED**  
By Tim Askin - Milwaukee HPC at 3:32 pm, Mar 10, 2022

PROJECT GENERAL NOTES

- A. THESE GENERAL NOTES APPLY TO THE CONSTRUCTION DOCUMENTS AND SHALL GOVERN UNLESS NOTED OTHERWISE BY GENERAL NOTES OR KEYNOTES ON SPECIFIC SHEETS.
- B. NOTIFY DESIGNER PROMPTLY IF INFORMATION SHOWN IN ONE CONSTRUCTION DOCUMENT CONFLICTS WITH INFORMATION SHOWN ON ANOTHER.
- C. NOTIFY DESIGNER PROMPTLY IF CONSTRUCTION DOCUMENTS ARE INCONSISTENT WITH THE CURRENT APPLICABLE CODES AND REGULATIONS.
- D. COORDINATE EXACT LOCATIONS OF LIGHT FIXTURES, SPEAKERS, SMOKE DETECTORS, ACCESS PANEL, HVAC DUCTS, DIFFUSERS, REGISTERS, AND OTHER SUCH CEILING ITEMS WITH MECHANICAL, ELECTRICAL AND OTHER TRADES. NOTIFY ARCHITECT PROMPTLY IF ANY LOCATIONS CONFLICT WITH ARCHITECTURAL REFLECTED CEILING PLANS.
- F. TYPICAL FLOOR PLAN DIMENSIONS ARE SHOWN TO THE FINISH FACE OF WALLS, CABINETS AND TRIM UNLESS NOTED OTHERWISE. WHERE A CLEAR DIMENSION OR OPENING IS REQUIRED OR NOTED, MEASURE DIMENSION TO FACE OF PARTITION FINISH.
- G. PROVIDE WATER RESISTANT TYPE GYPSUM BOARD AT AREAS THAT ARE SCHEDULED TO RECEIVE CERAMIC TILE FINISH AND AT AREAS SO REQUIRED BY CODE TO RECEIVE IT.
- H. PROVIDE TILE BACKER BOARD AT WET AREAS THAT ARE SCHEDULED IN ROOM FINISH SCHEDULE TO RECEIVE CERAMIC TILE FINISH.
- I. INSTALL BLOCKING OR BACKER MATERIAL FOR ATTACHMENT/MOUNTING OF WALL HUNG ITEMS OR EQUIPMENT DESCRIBED IN THE DOCUMENTS.
- J. PROVIDE ACOUSTIC INSULATION BETWEEN ALL BEDROOMS AND BATHROOMS AND POWDER ROOMS. ALL ELEMENTS OF ACOUSTIC RATED PARTITIONS SHALL EXTEND TO ROOF OR FLOOR DECK ABOVE AND ALL JOINTS AND PENETRATIONS OF ACOUSTIC RATED PARTITIONS SHALL BE FILLED AND SEALED.
- K. ALL ROOF & WALL PENETRATIONS & VENTS, SUCH AS STACK VENT PIPES, DRYER VENT TO MATCH THE FINISH COLOR OF ADJACENT SURFACE. VERIFY COLOR WITH ARCHITECT.
- L. PENETRATIONS IN RATED PARTITIONS AND CONNECTIONS OF THE PARTITIONS TO OTHER PORTIONS OF THE WORK SHALL BE IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDED DETAILS AND IN COMPLIANCE WITH APPLICABLE TESTING AGENCY REQUIREMENTS.
- M. CONTAIN ALL DUST & DEBRIS TO CONSTRUCTION AREA.
- N. HVAC: COORDINATE POSITION OF GRILLES WITH DESIGNER FOR PLACEMENT IN RELATION TO WALL CLADDING, FURNITURE ARRANGEMENTS, CABINETS, ETC. EVALUATE FURNACE. PROVIDE PRICING OPTION FOR NEW HIGH EFFICIENCY UNITS IF NEEDED.
- O. WINDOWS: ALL NEW WINDOWS TO BE WOOD WINDOWS TO COMPLY WITH CITY OF MILWAUKEE HISTORIC APPROVALS.
- P. SALVAGE REMOVED WINDOWS, CABINET DOORS AND ANY OTHER MATERIAL FOR REPURPOSING OR TAKEN TO SECOND HAND STORE.

REVISIONS



**APPROVED**  
By Tim Askin - Milwaukee HPC at 3:32 pm, Mar 10, 2022

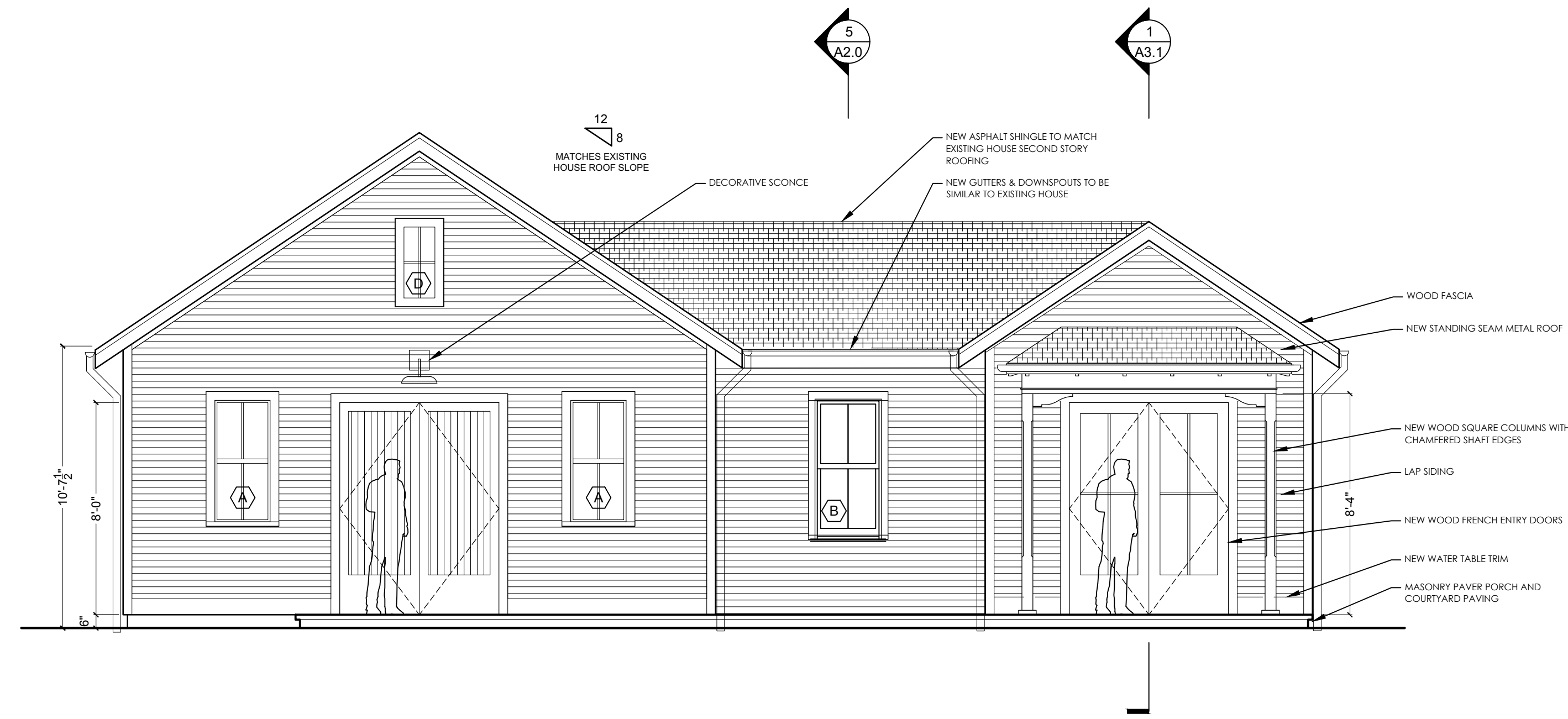
1 | MAIN LEVEL RCP & LIGHTING PLAN  
1/4" = 1'

2 | LOFT & ATTIC LEVEL RCP & LIGHTING PLAN  
1/4" = 1'

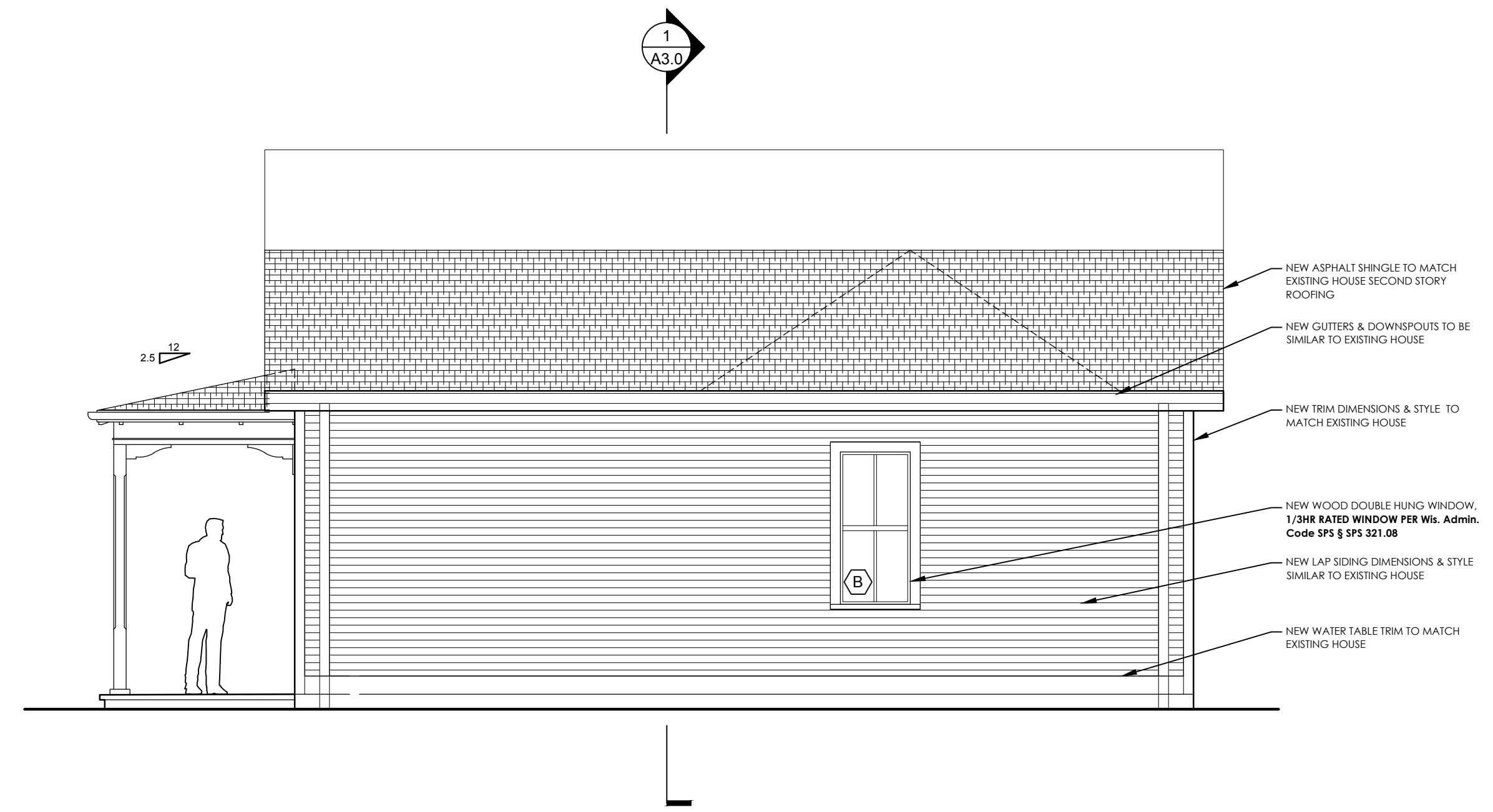


GENERAL NOTES		LIGHTING KEY	
A.	OUTLETS SHOWN ON PLAN INDICATE PLACEMENT OF PARTICULAR OUTLETS TO WORK WITH INTERIOR ELEVATION DESIGN.	L1	RECESSED 3" CAN LIGHT, TRIM AND BAFFLE TO BE WHITE.
B.	REVIEW INTERIOR ELEVATIONS FOR PLACEMENT AND ARRANGEMENT OF PARTICULAR SWITCHES AND OUTLETS.	L2	CEILING FAN
C.	ALL OUTLETS LOCATED ON TILE BACKSLASHES TO BE HORIZONTAL. HAVE WHITE RECEPTACLE AND BRUSHED STAINLESS STEEL COVER PLATE.	L3	WALL SCONCE
D.	ALL OUTLETS AND SWITCHES ON GYPSUM BOARD WALL TO BE VERTICAL. HAVE WHITE RECEPTACLE AND COVER PLATE.	L4	PENDANT
		L5	UNDER COUNTER LED / FLOURESCENT LIGHTING STRIP
		L11	CEILING MOUNTED LIGHTING FIXTURE
		L7	EXHAUST FAN
		L8	FIRE ALARM LOCATION. VERIFY LOCATION WITH ARCHITECT
		L9	OUTLET, REQUESTED LOCATION

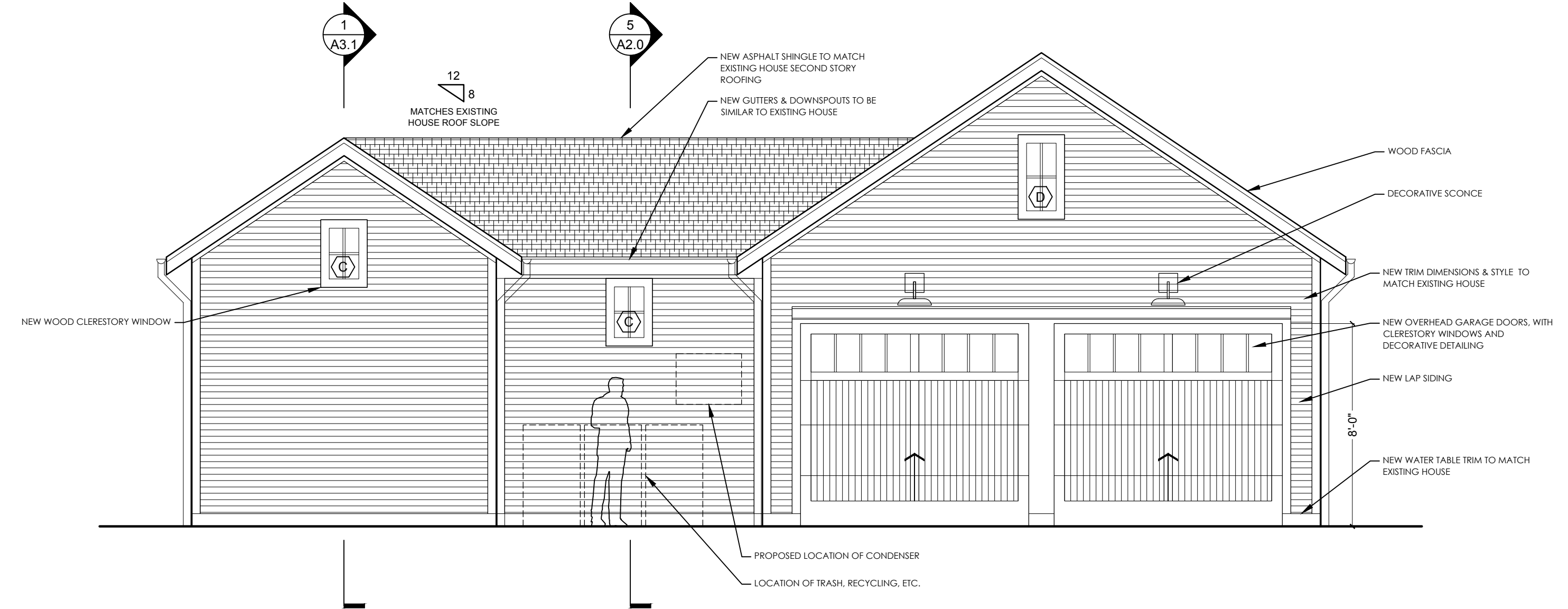
REVISIONS



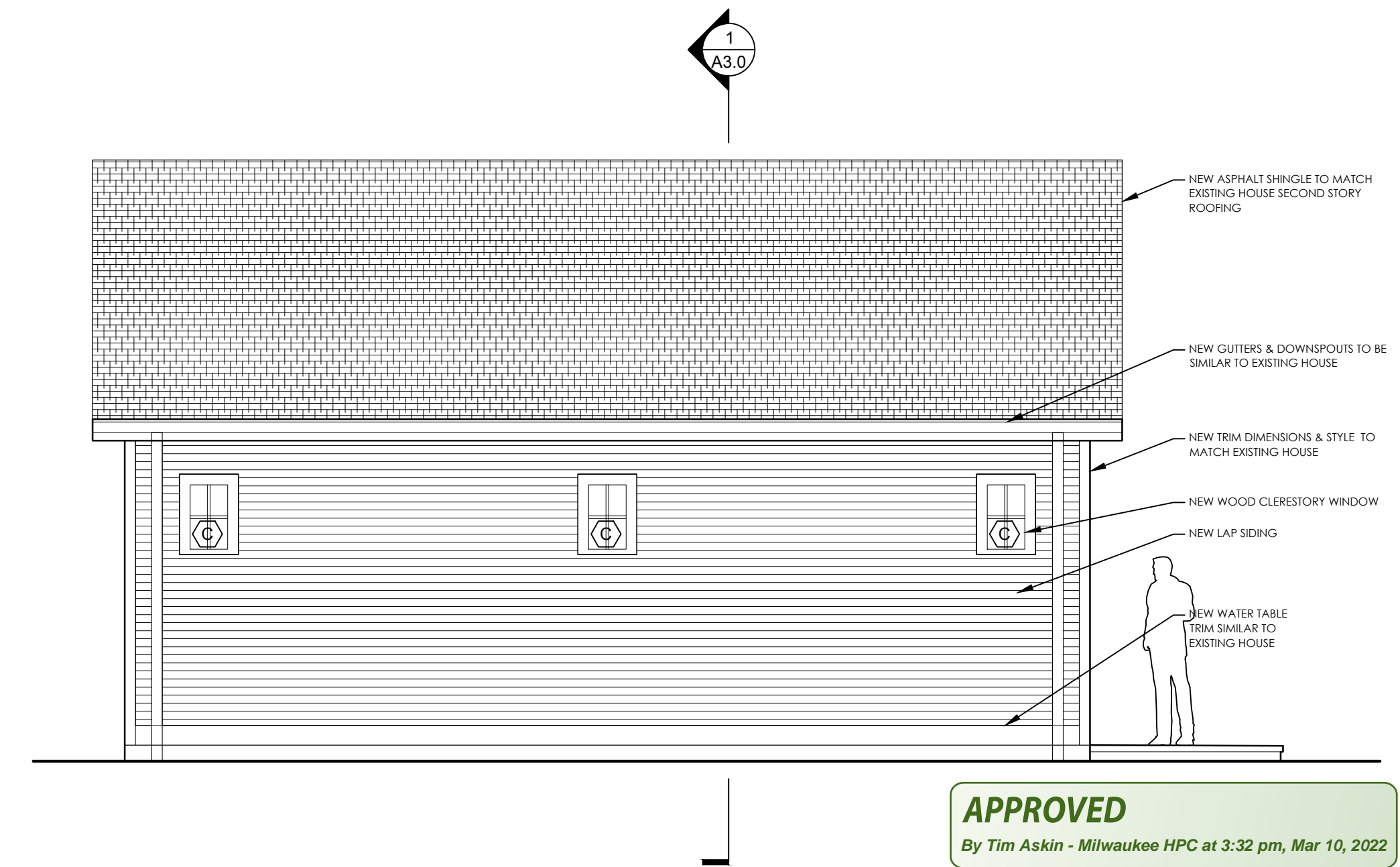
1 | EAST ELEVATION  
1/4" = 1'



2 | NORTH ELEVATION  
1/4" = 1'

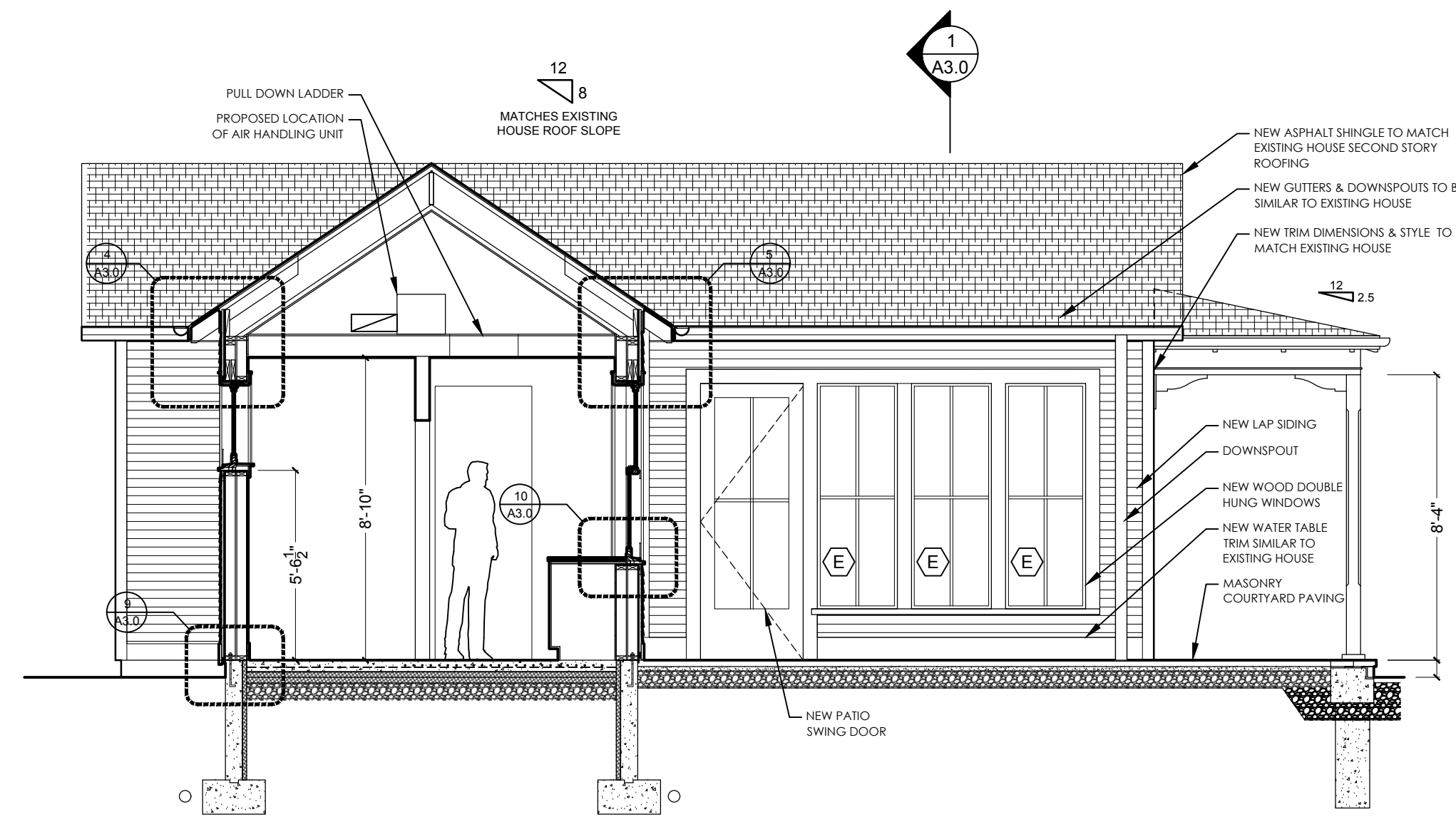


3 | WEST ELEVATION  
1/4" = 1'

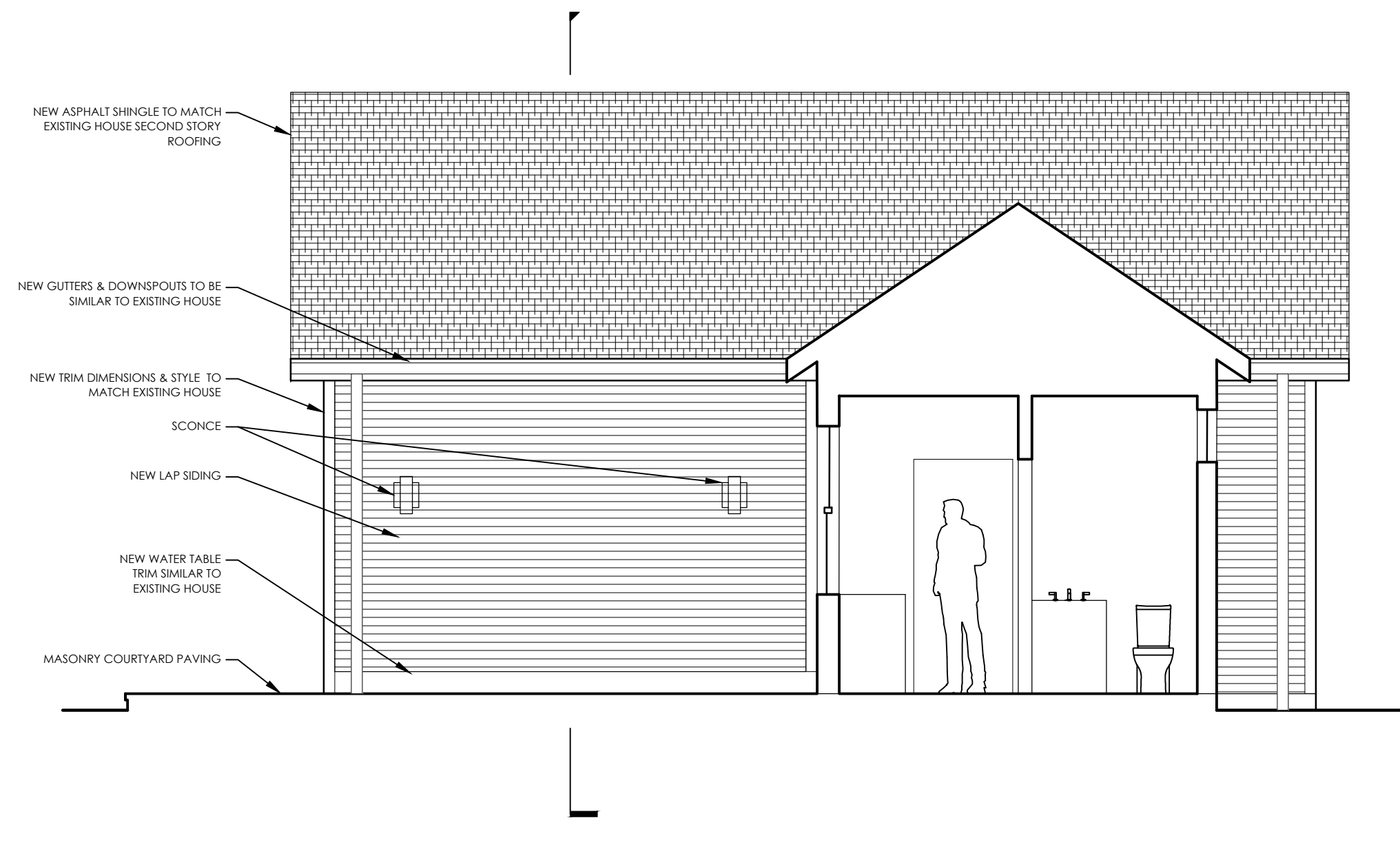


4 | SOUTH ELEVATION  
1/4" = 1'

**APPROVED**  
By Tim Askin - Milwaukee HPC at 3:32 pm, Mar 10, 2022



5 | SOUTH COURTYARD ELEVATION / SECTION  
1/4" = 1'



6 | NORTH COURTYARD ELEVATION / SECTION  
1/4" = 1'

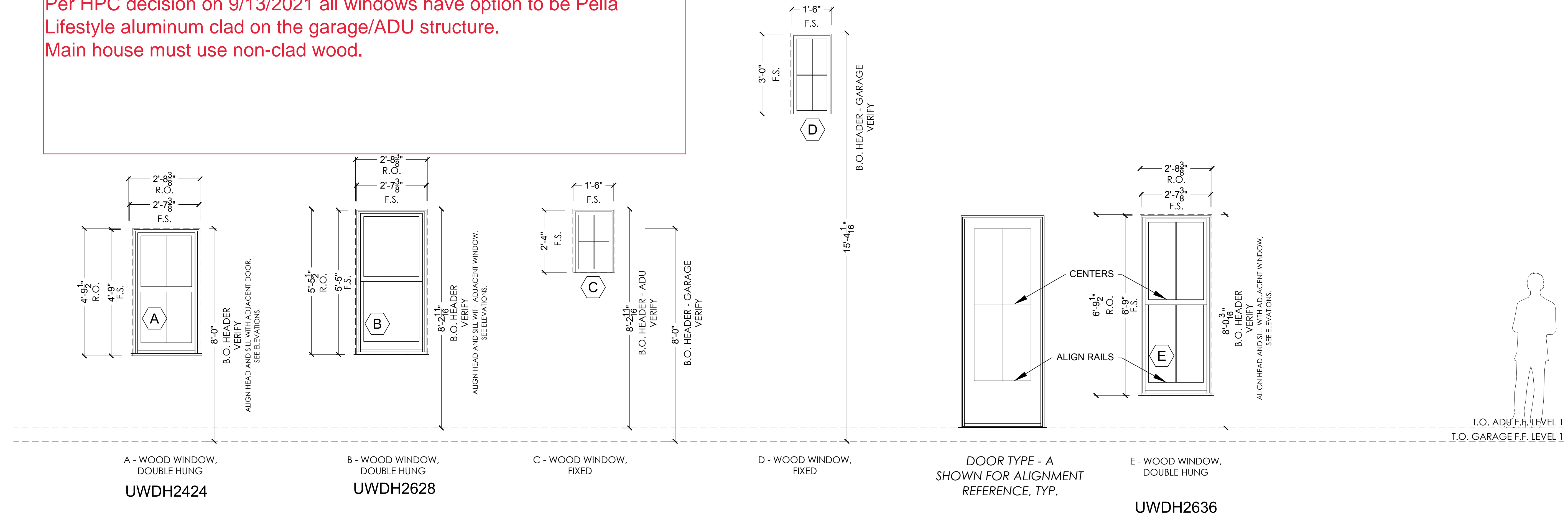
REVISIONS



# WINDOW TYPES

Per HPC decision on 9/13/2021 all windows have option to be Pella Lifestyle aluminum clad on the garage/ADU structure. Main house must use non-clad wood.

**APPROVED**  
By Tim Askin - Milwaukee HPC at 3:32 pm, Mar 10, 2022



\*WINDOW DESIGN BASED ON MARVIN ULTIMATE WOOD SERIES WINDOWS. NUMBERS SHOWN BELOW WINDOW TYPES INDICATE MODEL SELECTED. ALTERNATE WINDOW MANUFACTURER SELECTION IS ACCEPTABLE, AND SHOULD BE REVIEWED BY ARCHITECT

## WINDOW SCHEDULE

WINDOW TYPE	MANUFACTURER	SERIES/TYPE	GLAZING	UNIT SIZE (WxH)	R.O. (WxH)	DETAILS			NOTES
						HEAD	JAMB	SILL	
A	MARVIN	WOOD ULTIMATE DOUBLE HUNG	INSULATED, LOW E	2'-7-3/8" X 4'-9"	2'-8-3/8" X 4'-9-1/2"	8/A3.0	2/A3.0	12/A3.0	1, 3
B	MARVIN	WOOD ULTIMATE DOUBLE HUNG	INSULATED, LOW E	2'-7-3/8" X 5'-5"	2'-8-3/8" X 5'-5-1/2"	8/A3.0	2/A3.0	12/A3.0	1, 2, 3
C	MARVIN	WOOD ULTIMATE DOUBLE HUNG	INSULATED, LOW E	1'-6" X 2'4"		8/A3.0 SIMILAR	2/A3.0 SIMILAR	12/A3.0	3
D	MARVIN	WOOD ULTIMATE DOUBLE HUNG	INSULATED, LOW E	1'-6" X 3'-0"		8/A3.0 SIMILAR	2/A3.0 SIMILAR	12/A3.0	3
E	MARVIN	ULTIMATE WOOD CASEMENT	INSULATED, LOW E	2'-7-3/8" X 6'-9"	2'-8-3/8" X 6'-9-1/2"	8/A3.0	3/A3.0	12/A3.0 SIMILAR	1, 3

### NOTES

- PROVIDE HIGHEST TRANSPARENCY SCREEN. VERIFY WITH DESIGNER / ARCHITECT
- NORTH ELEVATION 2/A2.0 WINDOW NEEDS TO BE FIRE RATED PER Wis. Admin. Code SPS § SPS 321.08 - 1/2 HR RATING
- ALL WINDOWS TO HAVE 5/8" STANDARD SIMULATED DIVIDED LITES WITH SPACER BAR

### WINDOW GENERAL NOTES

- IF ANY PORTION OF THE CONSTRUCTION DOCUMENTS IS UNCLEAR, INCOMPLETE IN ITS DIRECTION, OR CONFLICTS WITH OTHER PORTIONS OF THE WORK, PLEASE NOTIFY THE ARCHITECT PRIOR TO EXECUTING THAT WORK.
- NOTIFY ARCHITECT PROMPTLY IF THE INFORMATION SHOWN IN ONE PORTION OF THE CONSTRUCTION DOCUMENTS CONFLICTS WITH THAT SHOWN IN ANOTHER.
- NOTIFY ARCHITECT PROMPTLY IF THE CONSTRUCTION DOCUMENTS ARE INCONSISTENT WITH ANY APPLICABLE CODES OR REGULATIONS.
- ATTENTION:** CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO EXECUTION OF WORK. DIMENSIONS SHOWN ON FRAME ELEVATIONS MAY NOT ACCURATELY REFLECT FIELD CONDITIONS.
- WINDOW/DOOR MANUFACTURER TO PROVIDE SHOP DRAWINGS FOR REVIEW. CONTRACTOR TO REVIEW DRAWINGS FOR COMPLIANCE WITH CONTRACT DOCUMENTS AND FIELD CONDITIONS PRIOR TO SUBMITTING TO ARCHITECT.
- GLASS TO BE 1" CLEAR, LOW E COATING, WITH ARGON FILL.
- PROVIDE TEMPERED SAFETY GLASS IN ALL LOCATIONS NOTED ON DRAWINGS AND PER WISCONSIN SPS-21.05.3
- \*DIMENSIONS SHOWN ARE INTERIOR TRIMMED OPENING FRAME SIZES TO MATCH WITH EXISTING. VERIFY ALL ROUGH OPENINGS AND SHIM SPACES DIMENSIONS WITH MANUFACTURER'S RECOMMENDED INSTALLATION TOLERANCES.
- OPERATORS AND OPERATING DIRECTION AS SHOWN IN ELEVATIONS
- DIMENSIONS TO INTERMEDIATE MULLIONS WITHIN FRAME ARE TO C.L.'S.
- SEE ELEVATIONS FOR ASSEMBLIES AND OPERATIONS.

RENOVATION FOR  
**STORM FOSTER**  
1911 NORTH 2ND ST  
MILWAUKEE, WI 53212

GENERAL CONTRACTOR  
**TED STORM**  
Storm DBR, LLC  
414.400.1951

STRUCTURAL ENGINEER  
**CORE 4 ENGINEERING**  
12308 Corporate Pkwy  
Mequon, WI 53092  
262.236.9372

REVISIONS

# DOOR TYPES

RENOVATION FOR  
**STORM  
FOSTER**

1911 NORTH 2ND ST  
MILWAUKEE, WI 53212

GENERAL CONTRACTOR  
**TED STORM**

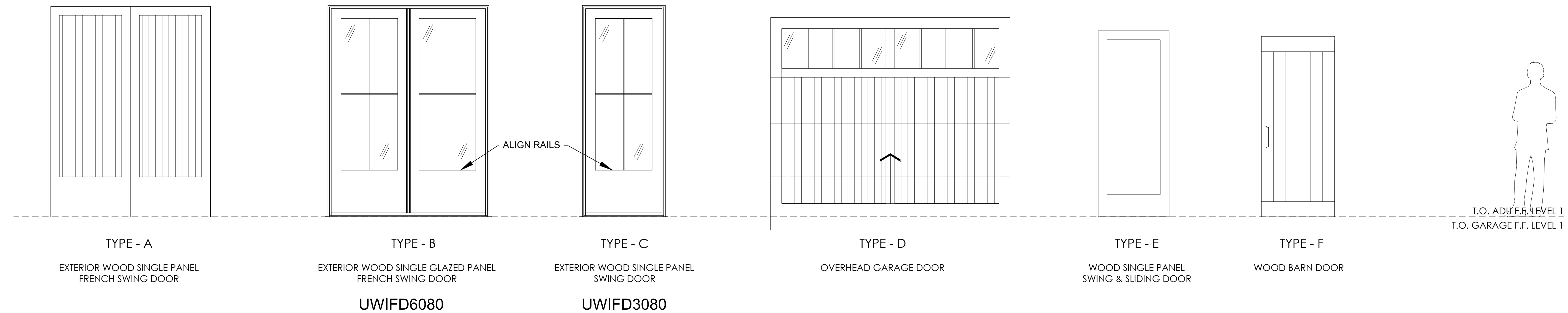
Storm DBR, LLC  
414.400.1951

STRUCTURAL ENGINEER

**CORE 4 ENGINEERING**

12309 Corporate Pkwy  
Mequon, WI 53052  
262.236.9372

**APPROVED**  
By Tim Askin - Milwaukee HPC at 3:32 pm, Mar 10, 2022



## DOOR SCHEDULE

LOCATION			DOOR							FRAME			INFORMATION					
DOOR No.	ROOM NAME OR DESCRIPTION	ROOM No.	SIZE			DOOR U.N.O.	TYPE	MATERIAL	FINISH	GLAZING	TYPE	MAT.	DETAIL NO.			LABEL	HDWR GROUP NOTES	SCHEDULE NOTES
			WIDTH	HEIGHT	1 3/4" THICK								HEAD	JAMB	SILL			
FIRST FLOOR																		
100	LIVE / SLEEP	100A	(2) 3'-0"	8'-0"	--	B	WD	PAINTED	INSUL	--	WD	5/A3.1	SEE WINDOWS DETAIL FOR SIMILAR	9/A3.1	3	1, 2		
100	LIVE / SLEEP	100B	3'-0"	8'-0"	--	C	WD	PAINTED	INSUL	--	WD	5/A3.1		9/A3.1	3	1, 2		
101	BATH	101	3'-0"	7'-0"	--	F	WD	PAINTED		--	WD				3	1, 2		
102	KITCHEN	102A	3'-0"	7'-0"	--	E	WD	PAINTED			WD				3	1, 2, 4		
102	KITCHEN	102B	2'-3"	7'-0"	--	E	WD	PAINTED	INSUL		WD			3	1, 2			
104	GARAGE	104A	9'-0"	8'-0"		D	FIBERGLASS	PAINTED	INSUL		MTL	3/A3.1		7/A3.1	3	1, 2		
104	GARAGE	104B	9'-0"	8'-0"		D	FIBERGLASS	PAINTED			MTL	3/A3.1		7/A3.1	3	1, 2		
104	GARAGE	104C	2'-0"	7'-0"		E	FIBERGLASS	PAINTED			FIBERGLASS				3	1, 2, 4		
104	GARAGE	104D	(2) 3'-0"	8'-0"		A	WD	PAINTED			WD	5/A3.1, SIM		9/A3.1, SIM	3	1, 2		

### NOTES

- SEE SPECIFICATIONS FOR SERIES & MODEL NUMBER
- SEE SPECIFICATIONS FOR WOOD SPECIES & DETAILED DESCRIPTION
- SEE SPECIFICATIONS HARDWARE SELECTIONS
- 20 MINUTE RATING PER WISCONSIN SPS 321.08 (C)

### DOOR GENERAL NOTES

- IF ANY PORTION OF THE CONSTRUCTION DOCUMENTS IS UNCLEAR, INCOMPLETE IN ITS DIRECTION, OR CONFLICTS WITH OTHER PORTIONS OF THE WORK, PLEASE NOTIFY THE ARCHITECT PRIOR TO EXECUTING THAT WORK.
- NOTIFY ARCHITECT PROMPTLY IF THE INFORMATION SHOWN IN ONE PORTION OF THE CONSTRUCTION DOCUMENTS CONFLICTS WITH THAT SHOWN IN ANOTHER.
- NOTIFY ARCHITECT PROMPTLY IF THE CONSTRUCTION DOCUMENTS ARE INCONSISTENT WITH ANY APPLICABLE CODES OR REGULATIONS.
- ATTENTION:** CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO EXECUTION OF WORK. DIMENSIONS SHOWN ON FRAME ELEVATIONS MAY NOT ACCURATELY REFLECT FIELD CONDITIONS.
- DOOR MANUFACTURER TO PROVIDE SHOP DRAWINGS FOR REVIEW. CONTRACTOR TO REVIEW DRAWINGS FOR COMPLIANCE WITH CONTRACT DOCUMENTS AND FIELD CONDITIONS PRIOR TO SUBMITTING TO ARCHITECT.
- GLASS TO BE 1" CLEAR, LOW E COATING, WITH ARGON FILL.
- PROVIDE TEMPERED SAFETY GLASS IN ALL LOCATIONS NOTED ON DRAWINGS AND PER WISCONSIN SPS-21.05.3
- VERIFY ALL ROUGH OPENINGS AND SHIM SPACES DIMENSIONS WITH MANUFACTURER'S RECOMMENDED INSTALLATION TOLERANCES.
- OPERATORS AND OPERATING DIRECTION AS SHOWN IN ELEVATIONS & PLANS
- SEE ELEVATIONS FOR ASSEMBLIES AND OPERATIONS.

REVISIONS

**CONSTRUCTION  
DOCUMENTS**

NOVEMBER 20, 2020

GARAGE & ADU  
DOOR TYPES & SCHEDULE

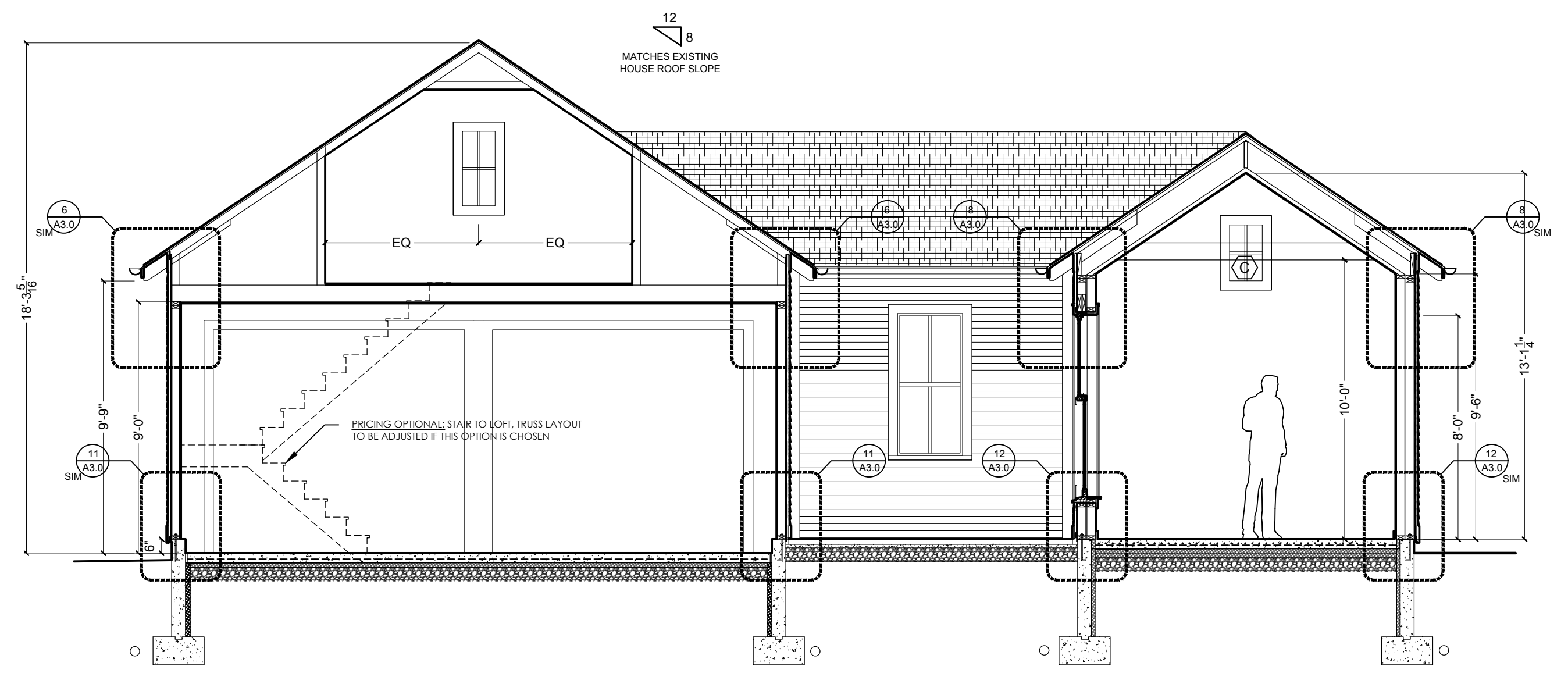
**A2.2**

© COPYRIGHT 2020. ALL RIGHTS RESERVED

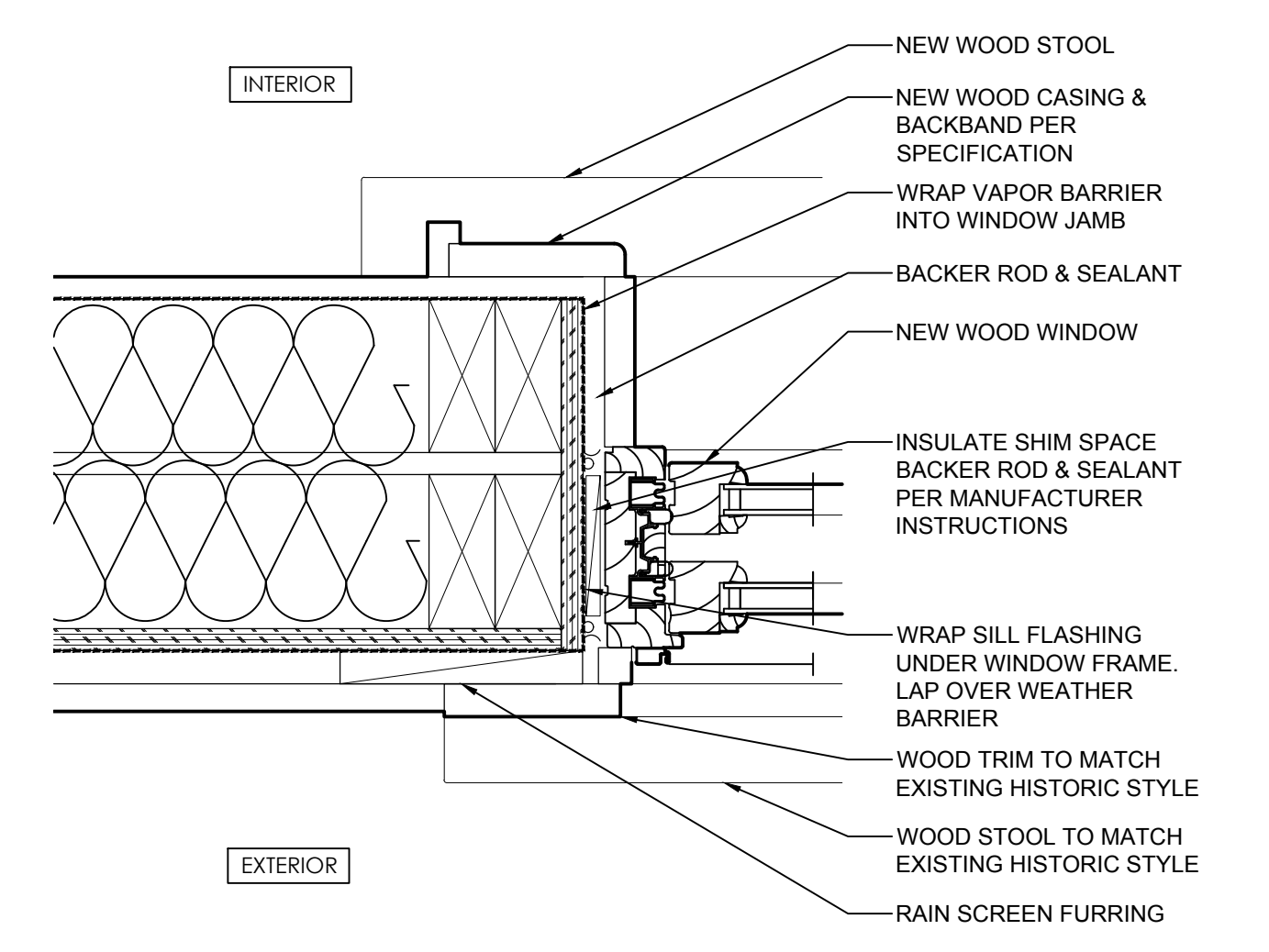
**APPROVED**  
By Tim Askin - Milwaukee HPC at 3:32 pm, Mar 10, 2022

**AMY  
CARMAN  
DESIGN**

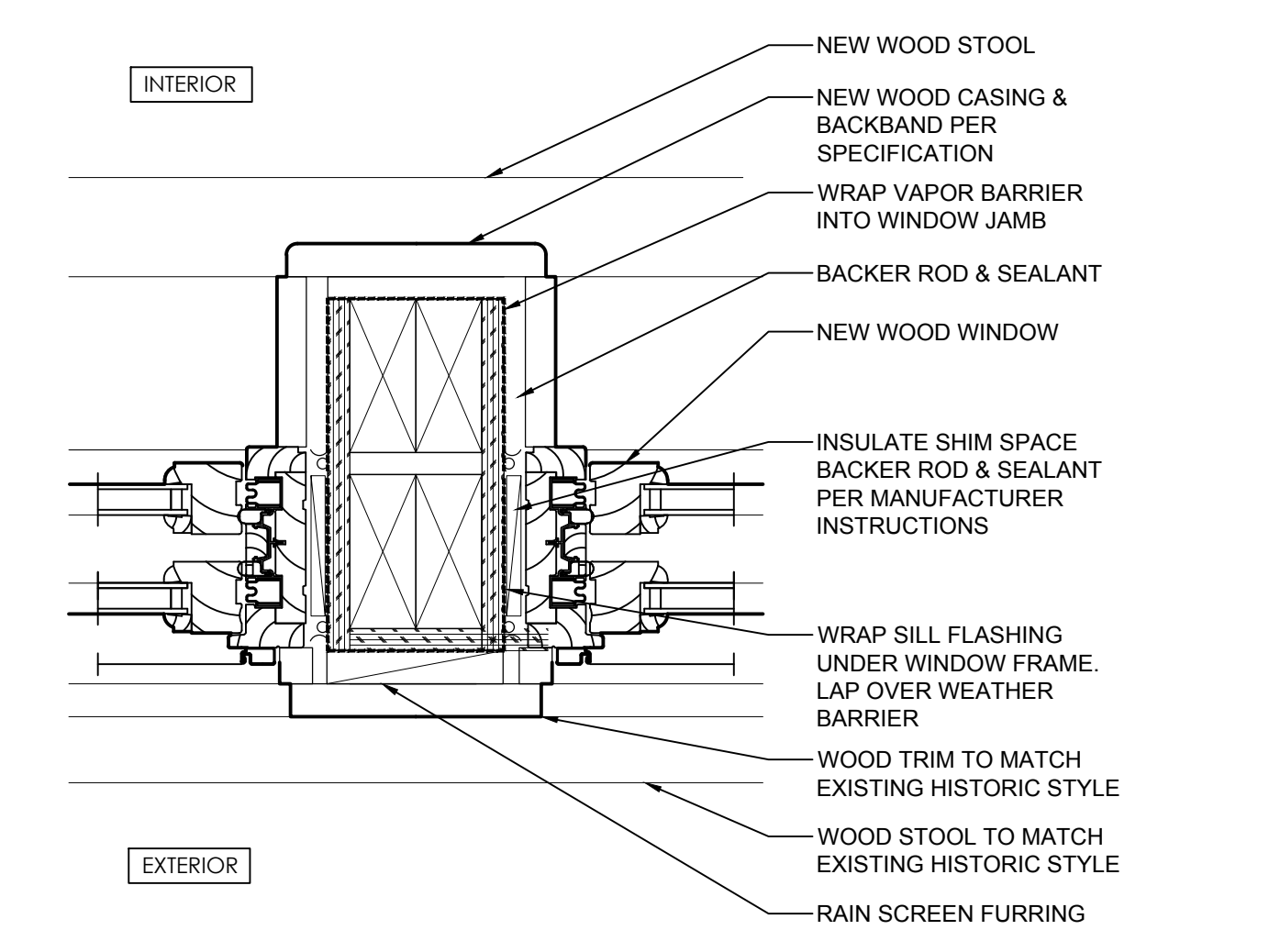
RENOVATION FOR  
**STORM  
FOSTER**  
1911 NORTH 2ND ST  
MILWAUKEE, WI 53212  
GENERAL CONTRACTOR  
**TED STORM**  
Storm DBR, LLC  
414.400.1951  
STRUCTURAL ENGINEER  
**CORE 4 ENGINEERING**  
12308 Corporate Pkwy  
Mequon, WI 53052  
262.236.9372



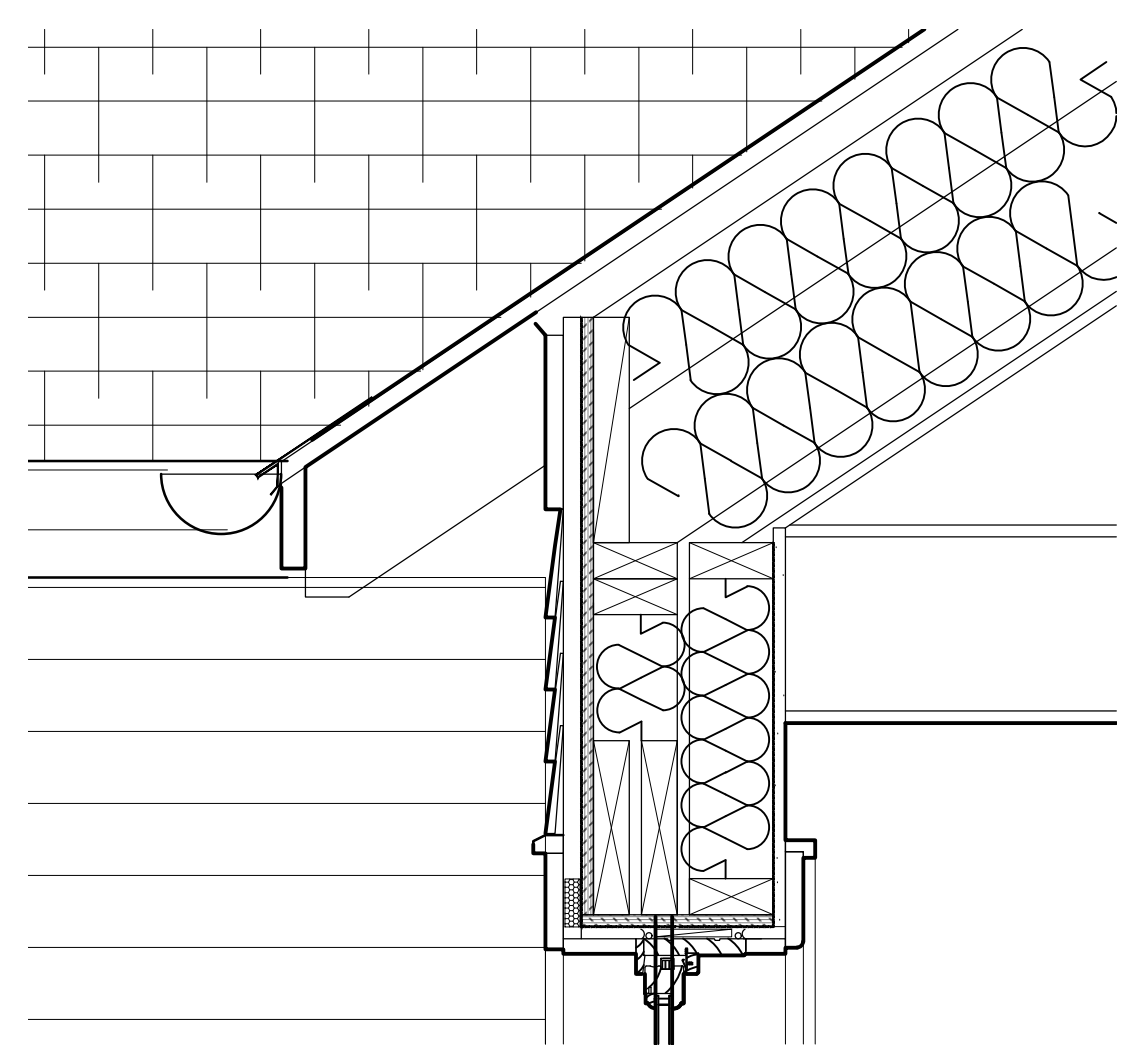
1 | BUILDING SECTION  
1/4" = 1'



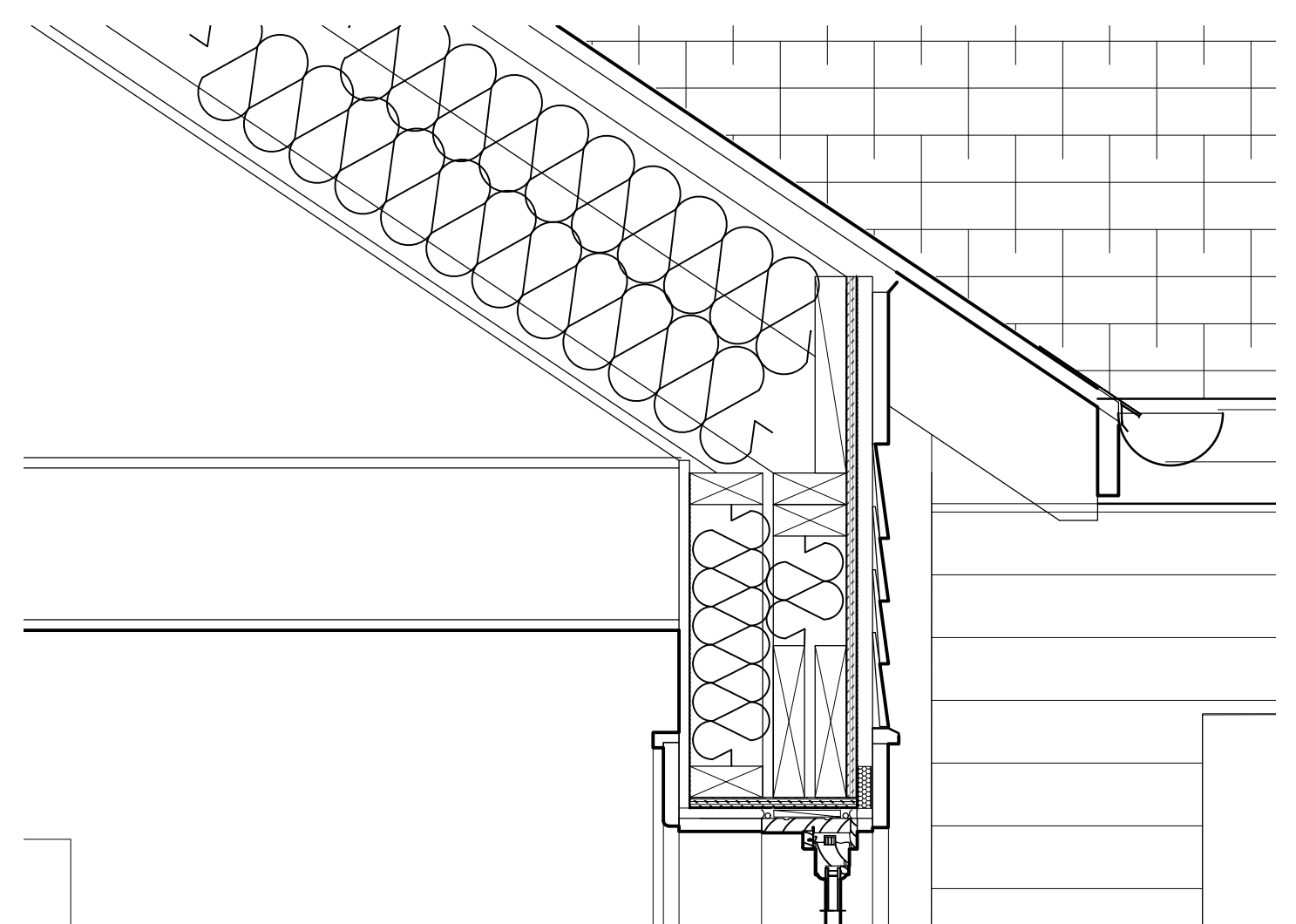
2 | DETAIL  
3" = 1'



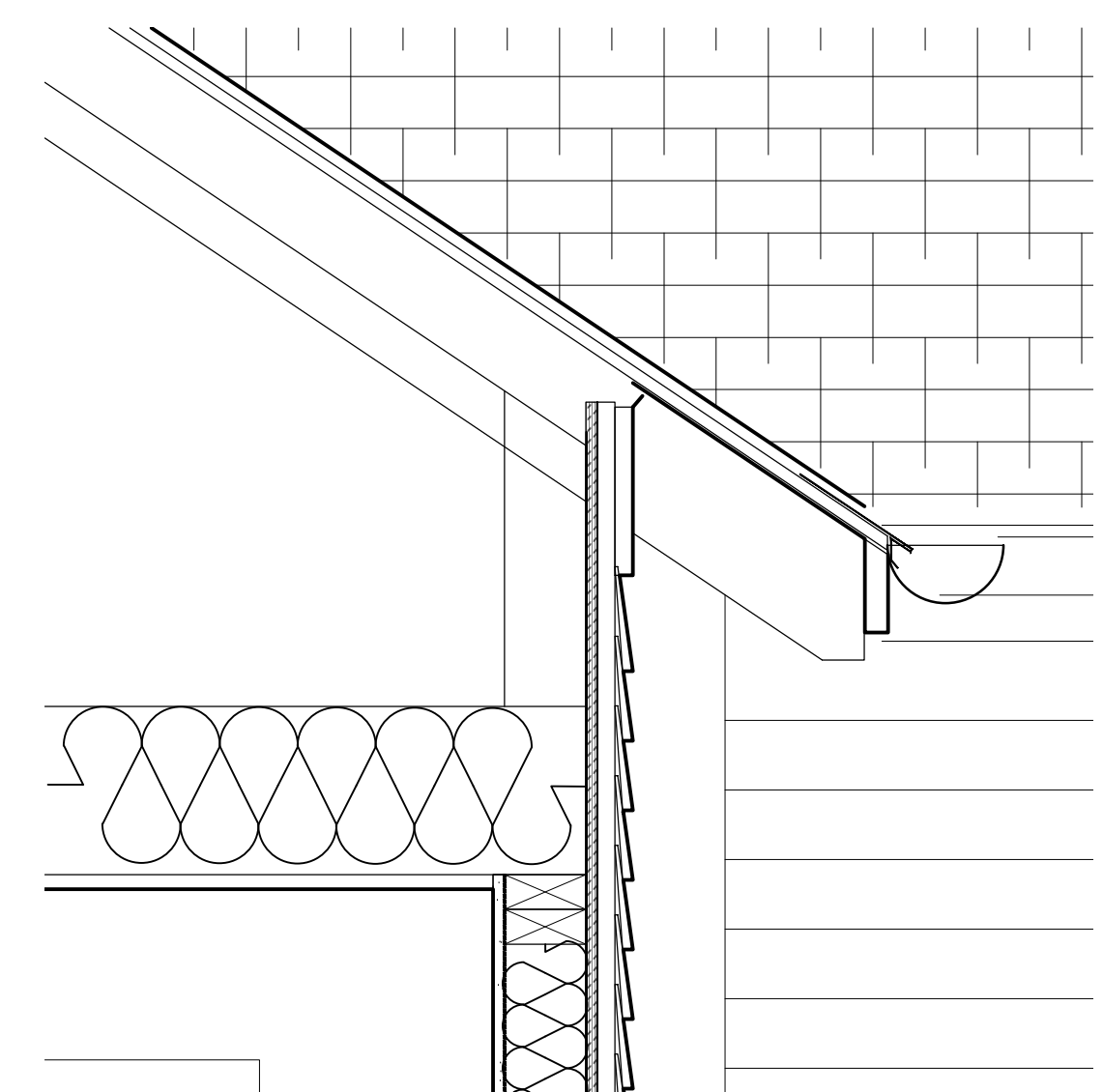
3 | DETAIL  
3" = 1'



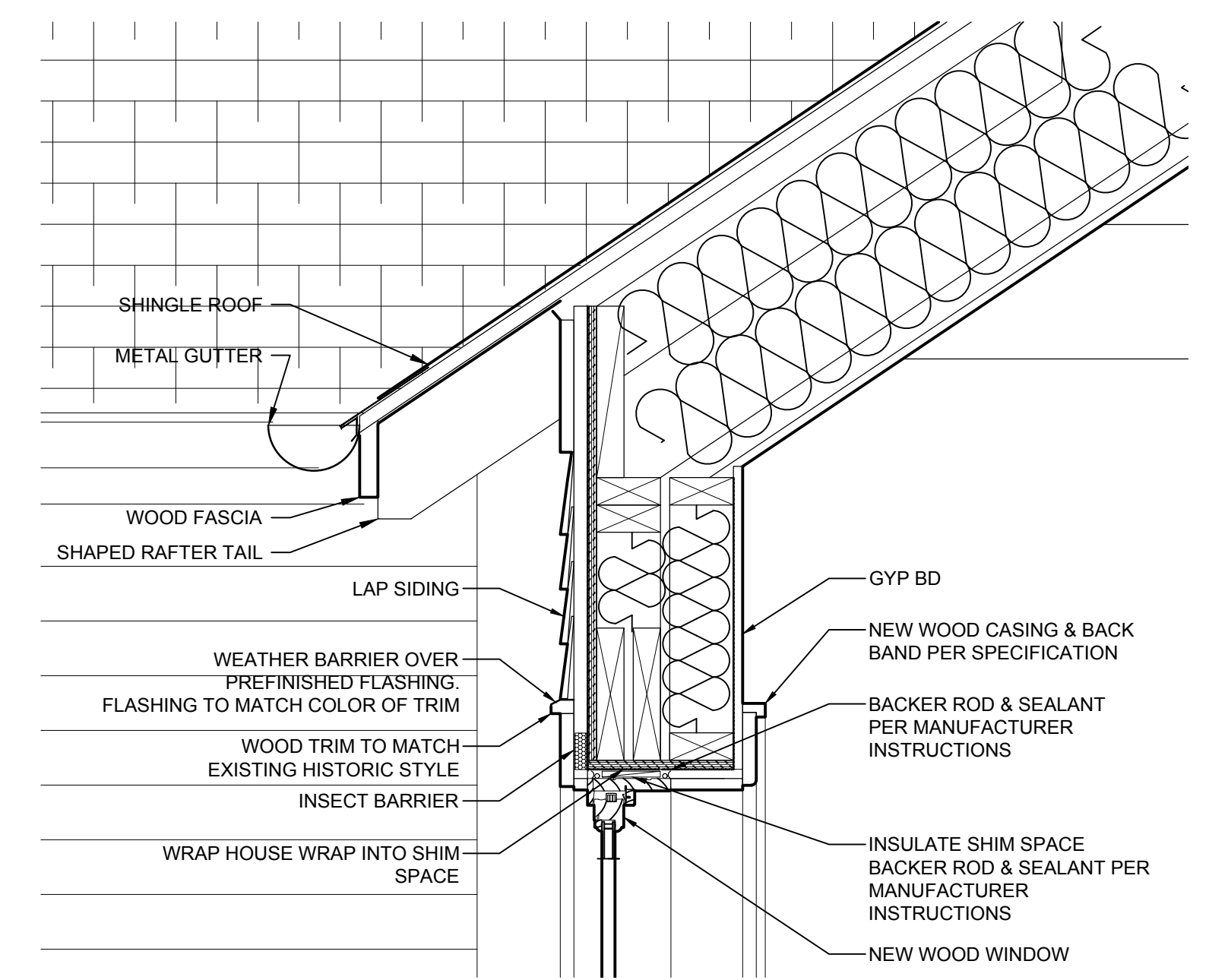
4 | DETAIL  
1-1/2" = 1'



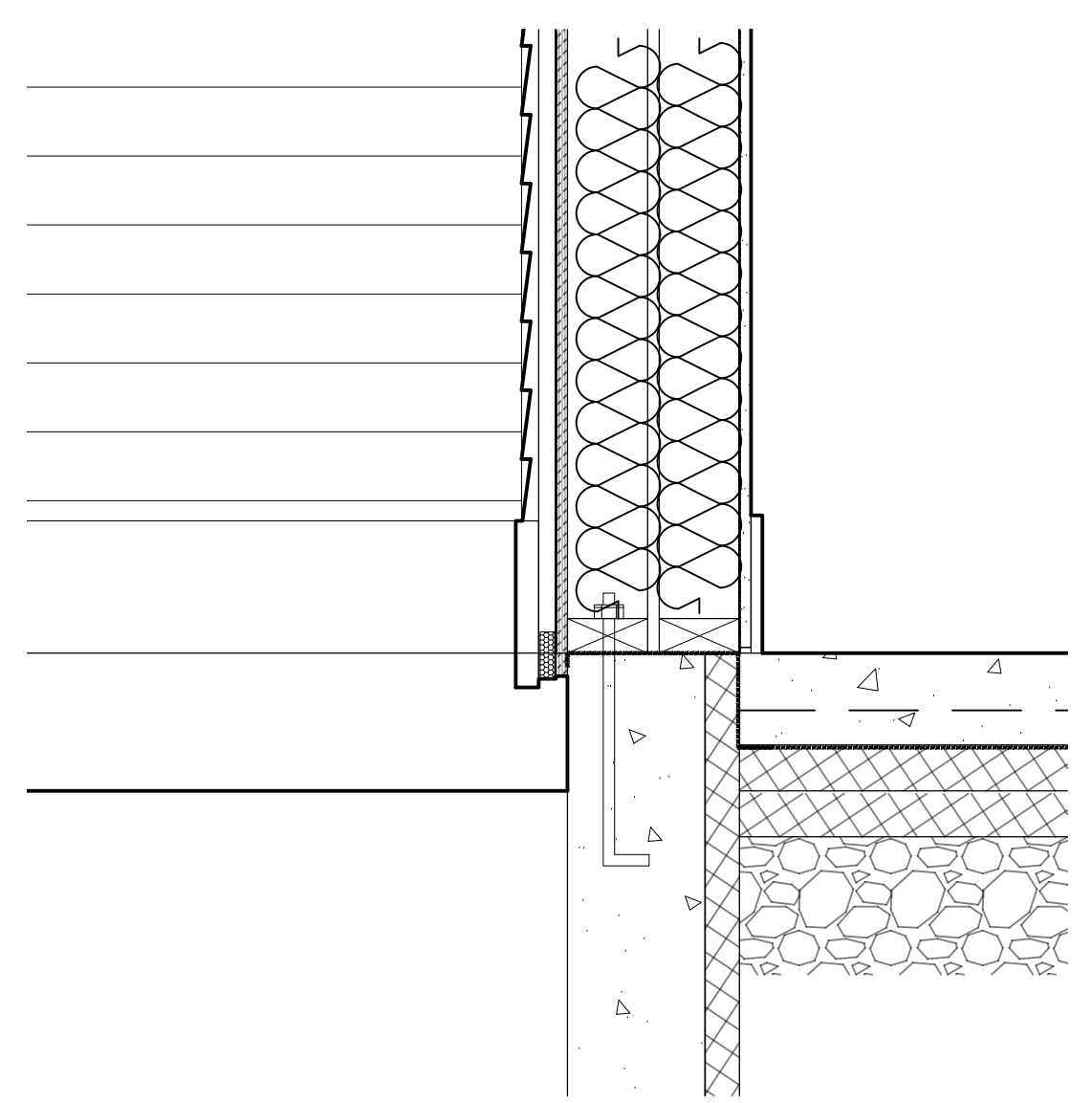
5 | DETAIL  
1-1/2" = 1'



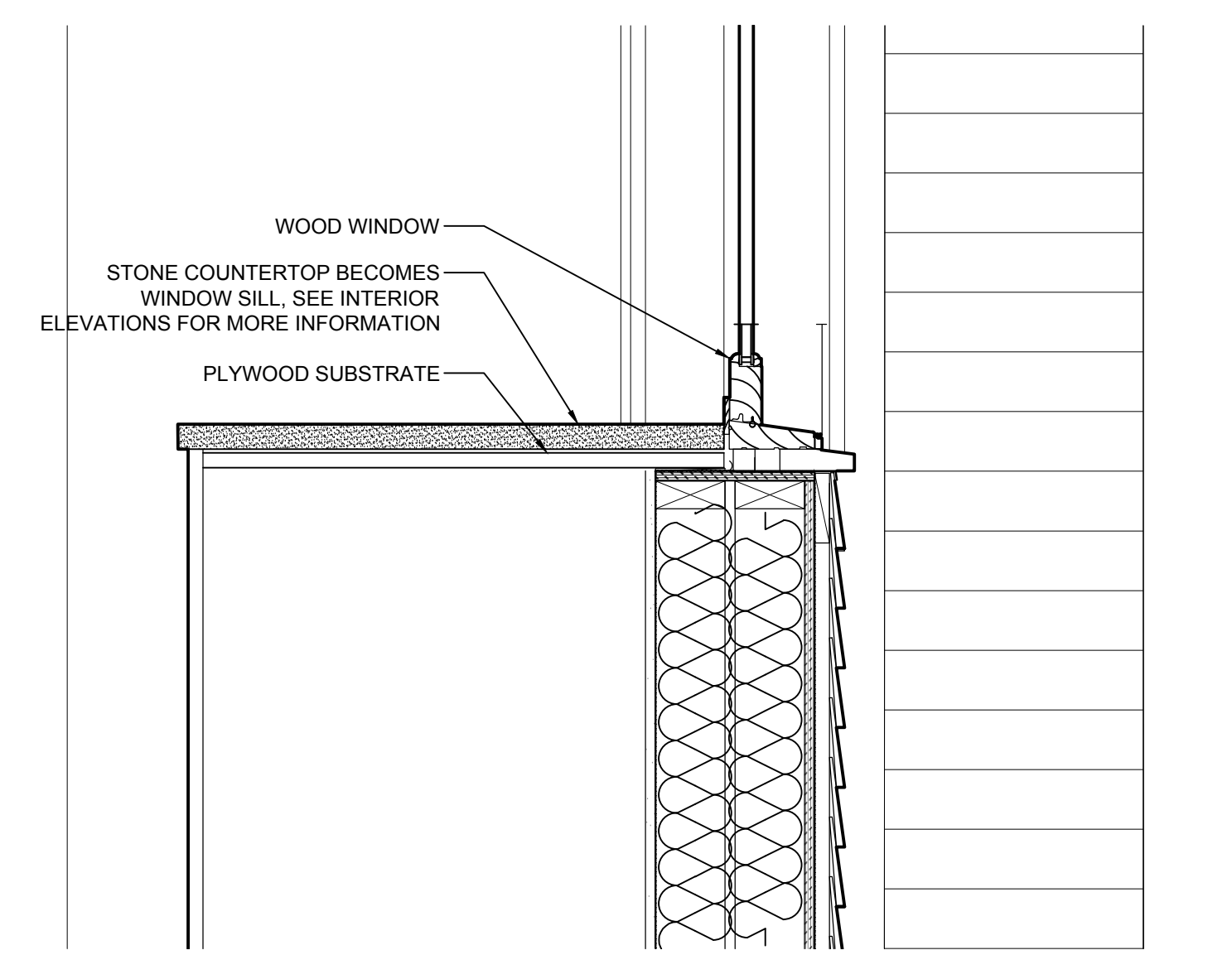
6 | DETAIL  
1-1/2" = 1'



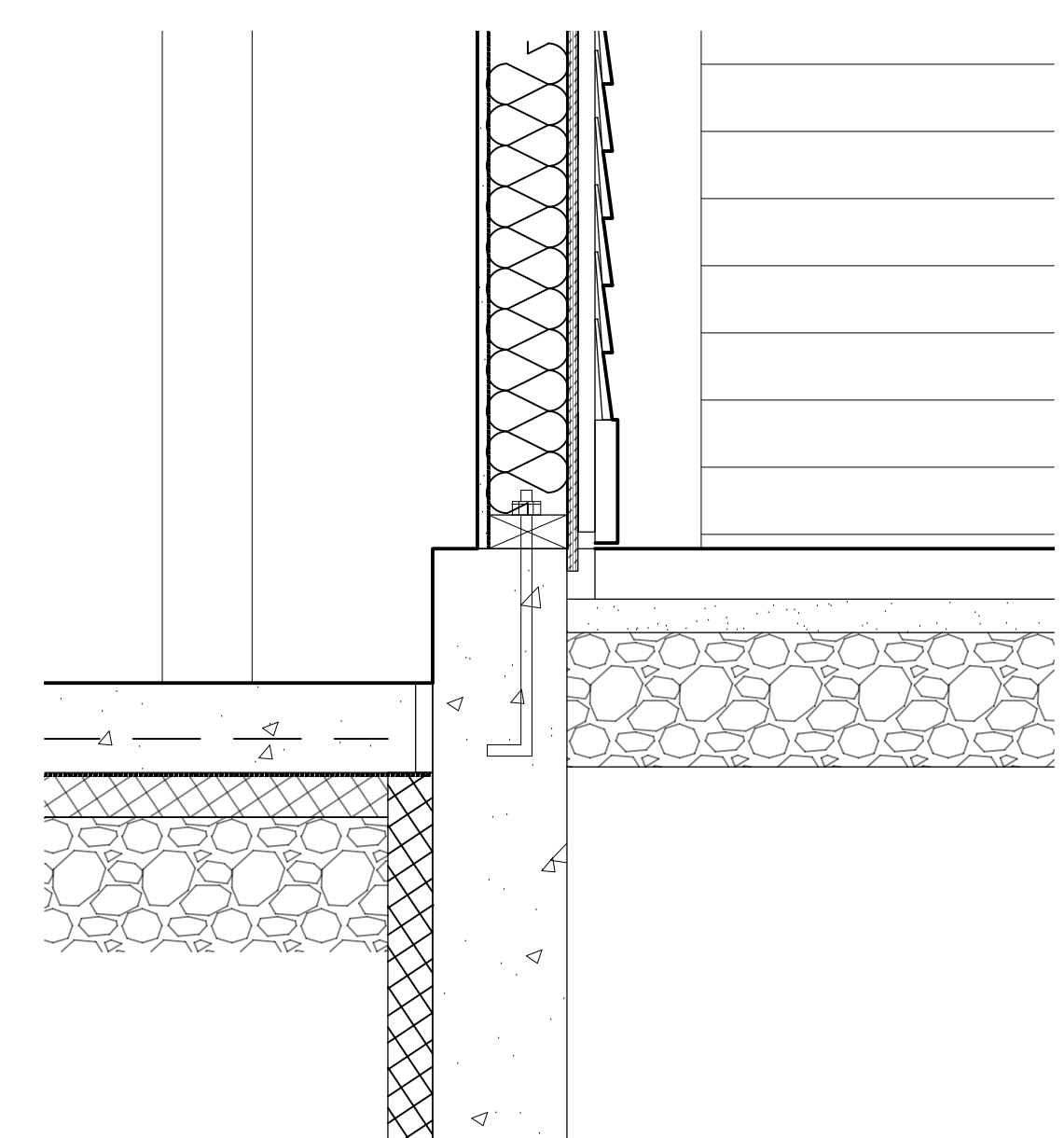
8 | DETAIL  
1-1/2" = 1'



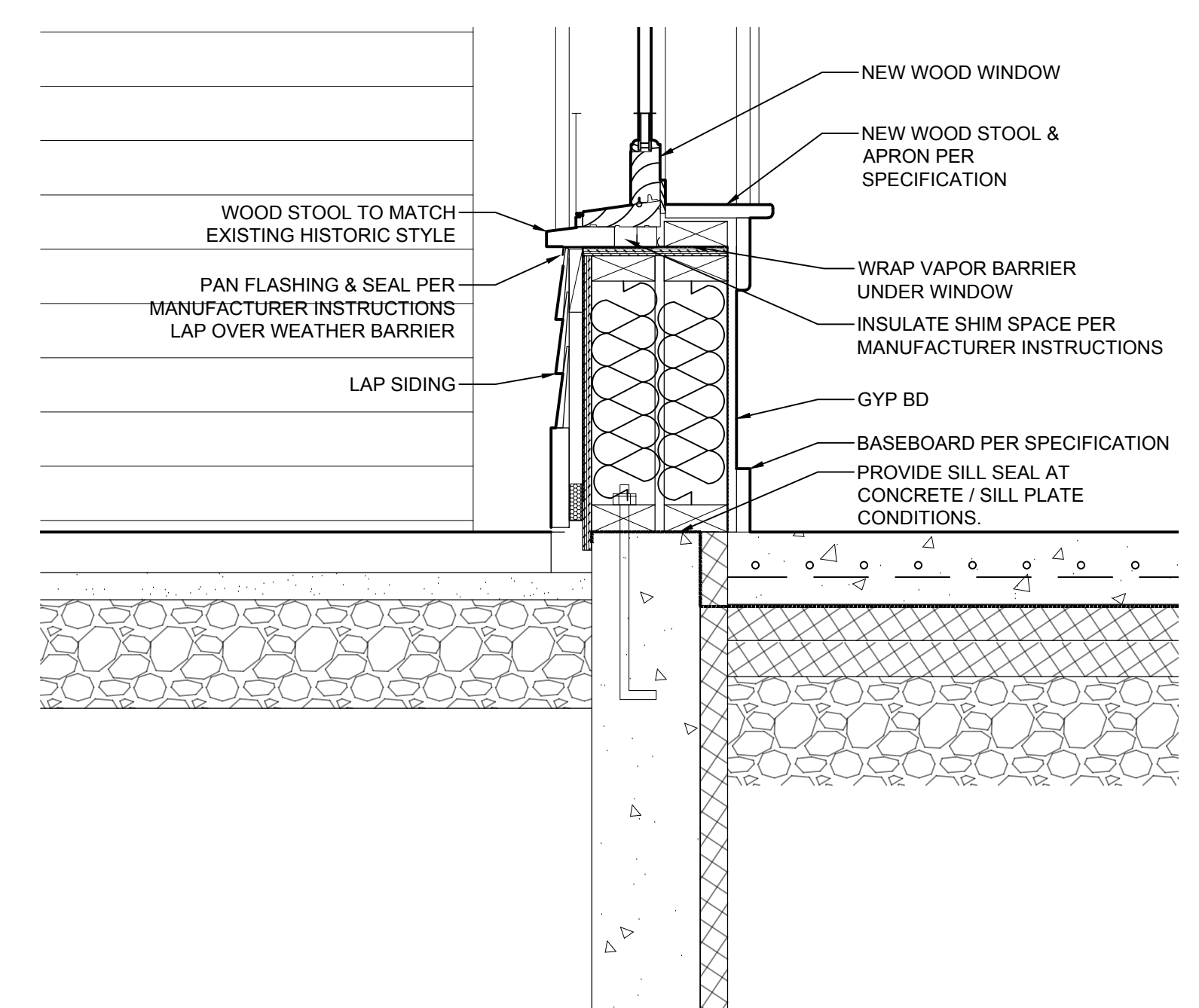
9 | DETAIL  
1-1/2" = 1'



10 | DETAIL  
1-1/2" = 1'



11 | DETAIL  
1-1/2" = 1'



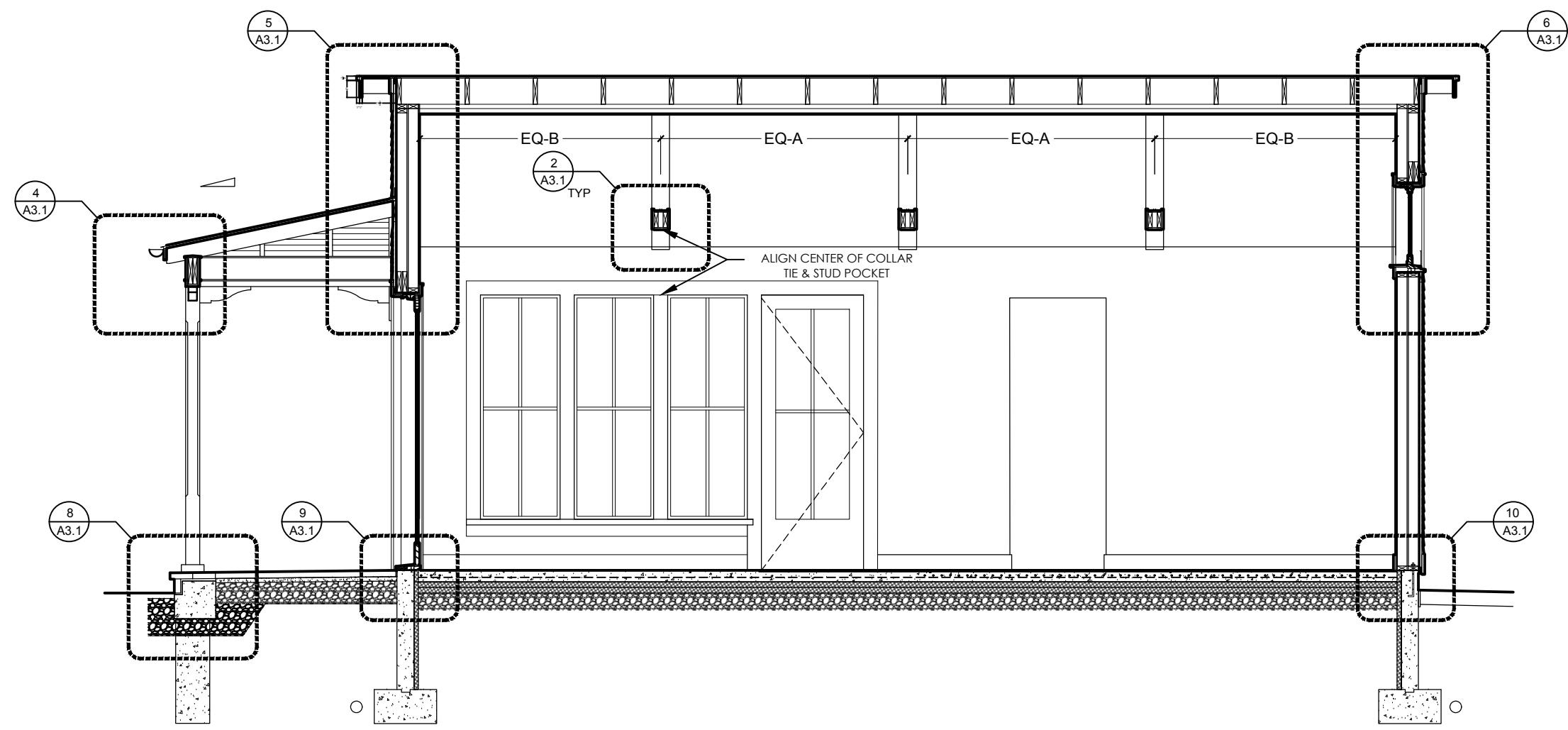
12 | DETAIL  
1-1/2" = 1'

REVISIONS

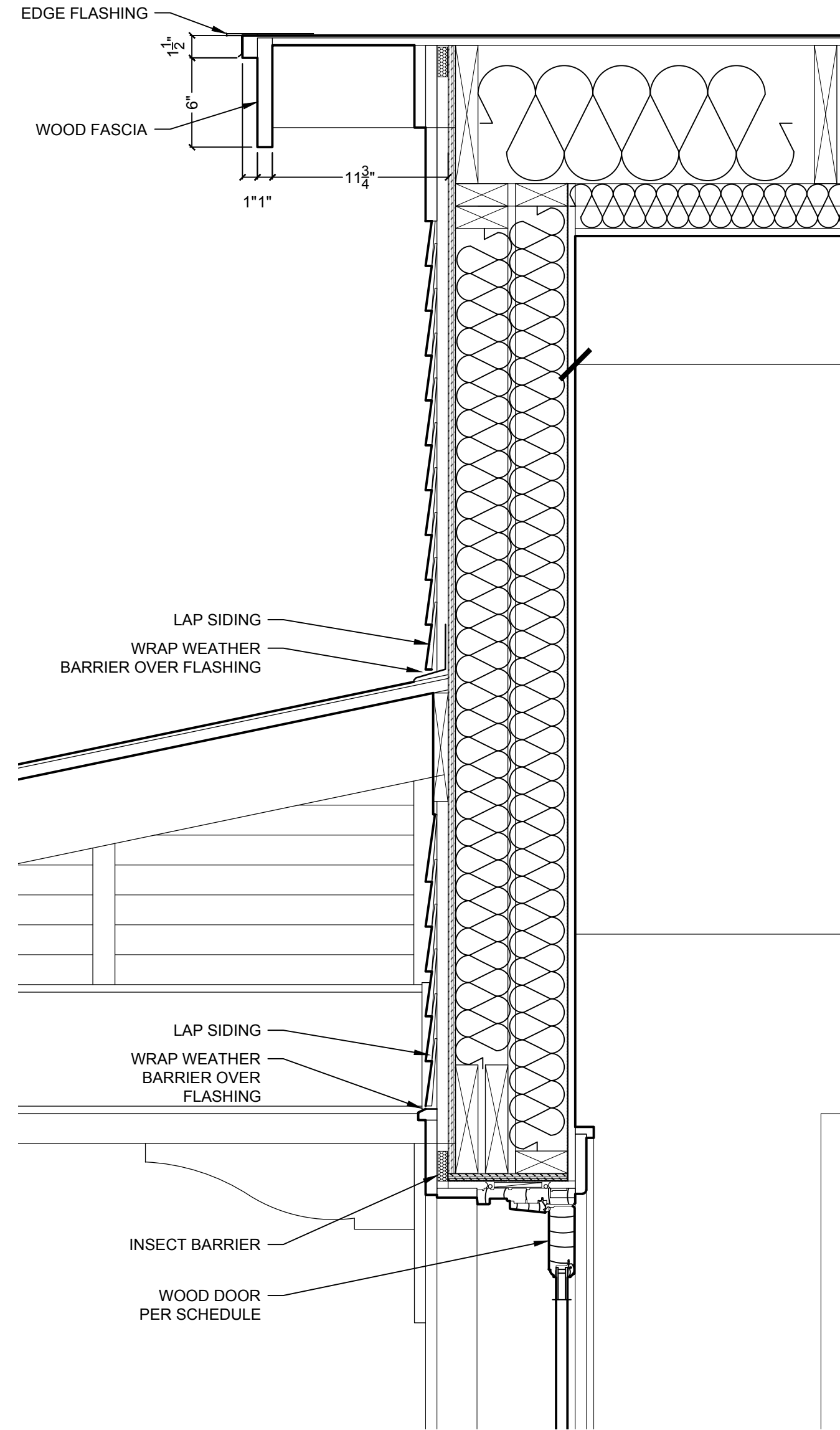
**CONSTRUCTION  
DOCUMENTS**  
NOVEMBER 20, 2020  
GARAGE & ADU  
BUILDING SECTIONS  
**A3.0**  
© COPYRIGHT 2020. ALL RIGHTS RESERVED

**APPROVED**  
By Tim Askin - Milwaukee HPC at 3:32 pm, Mar 10, 2022

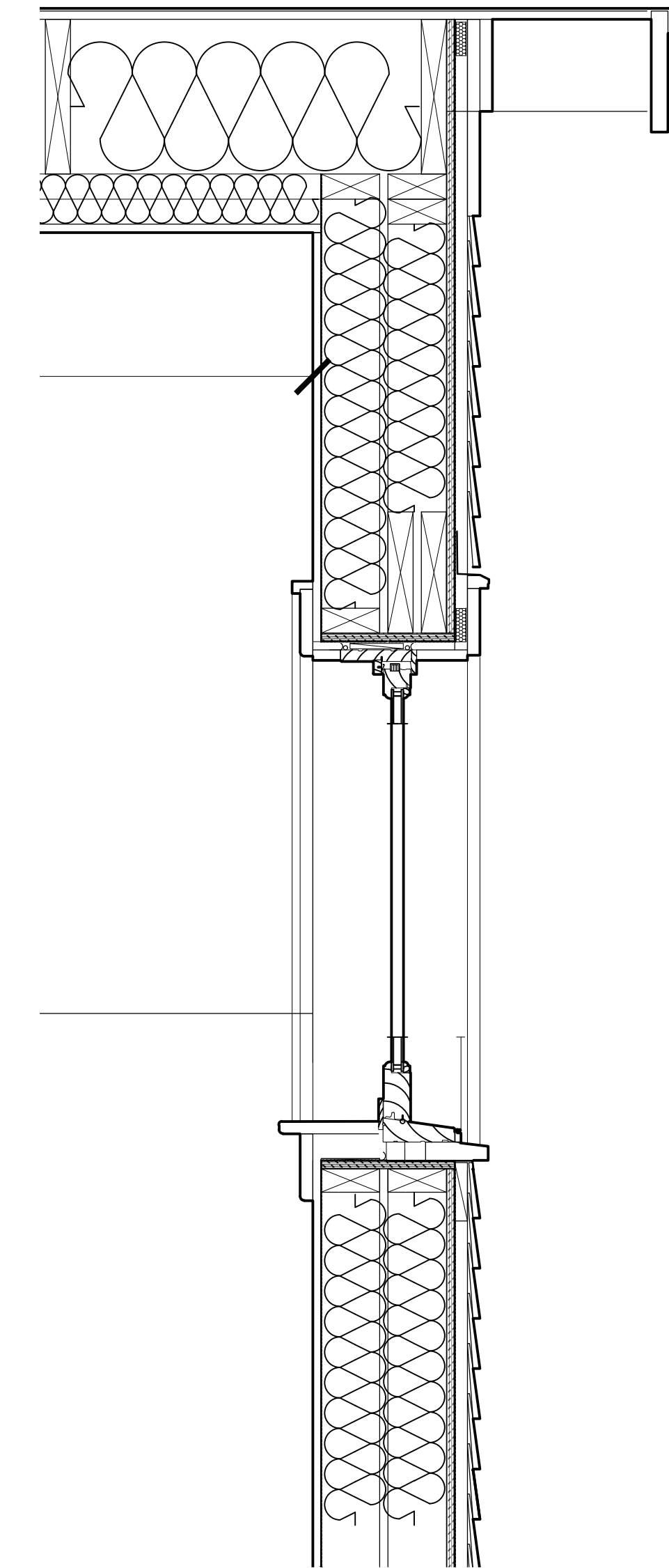
RENOVATION FOR  
**STORM  
FOSTER**  
1911 NORTH 2ND ST  
MILWAUKEE, WI 53212  
GENERAL CONTRACTOR  
**TED STORM**  
Storm DBR, LLC  
414.400.1951  
STRUCTURAL ENGINEER  
**CORE 4 ENGINEERING**  
12308 Corporate Pkwy  
Mequon, WI 53092  
262.236.9372



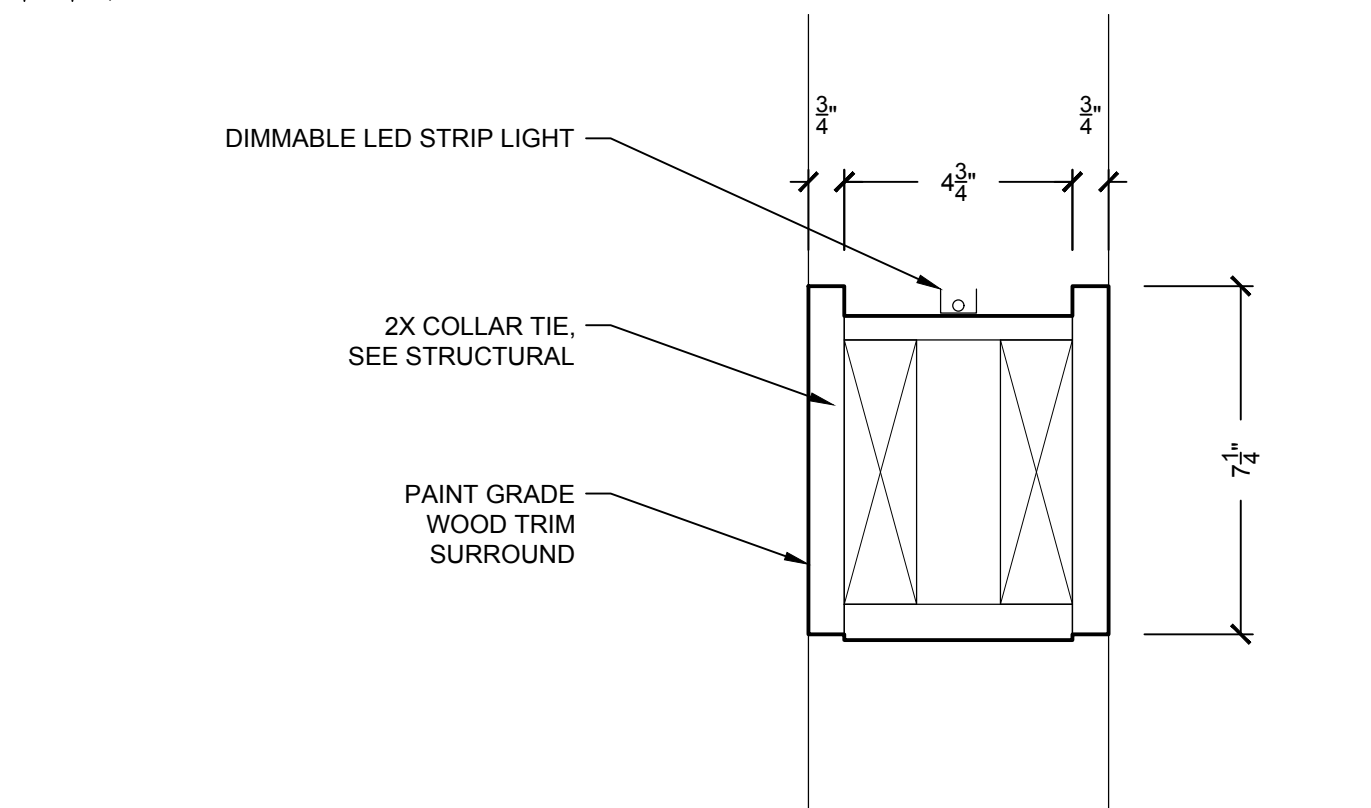
1 | BUILDING SECTION  
1/4" = 1'



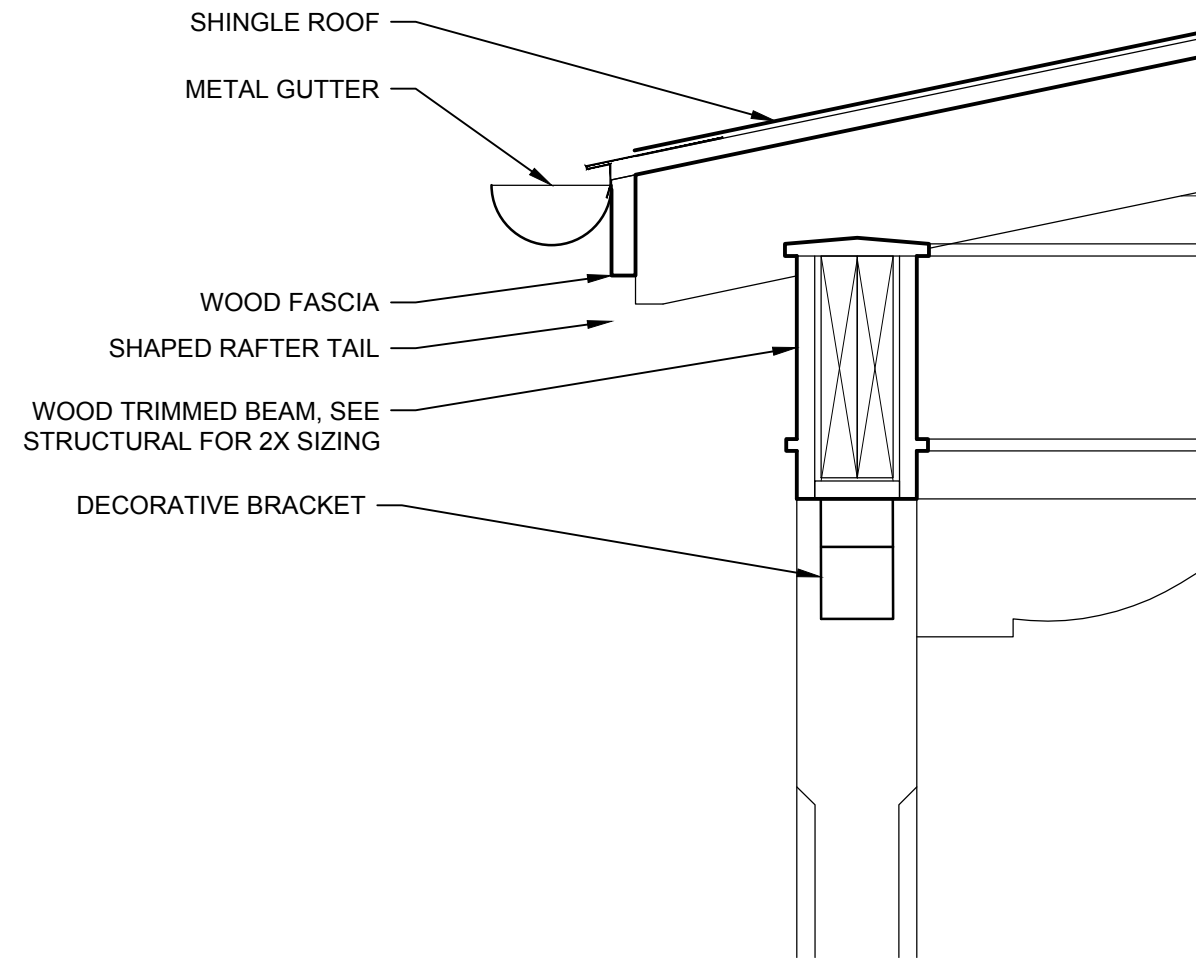
5 | DETAIL  
1-1/2" = 1'



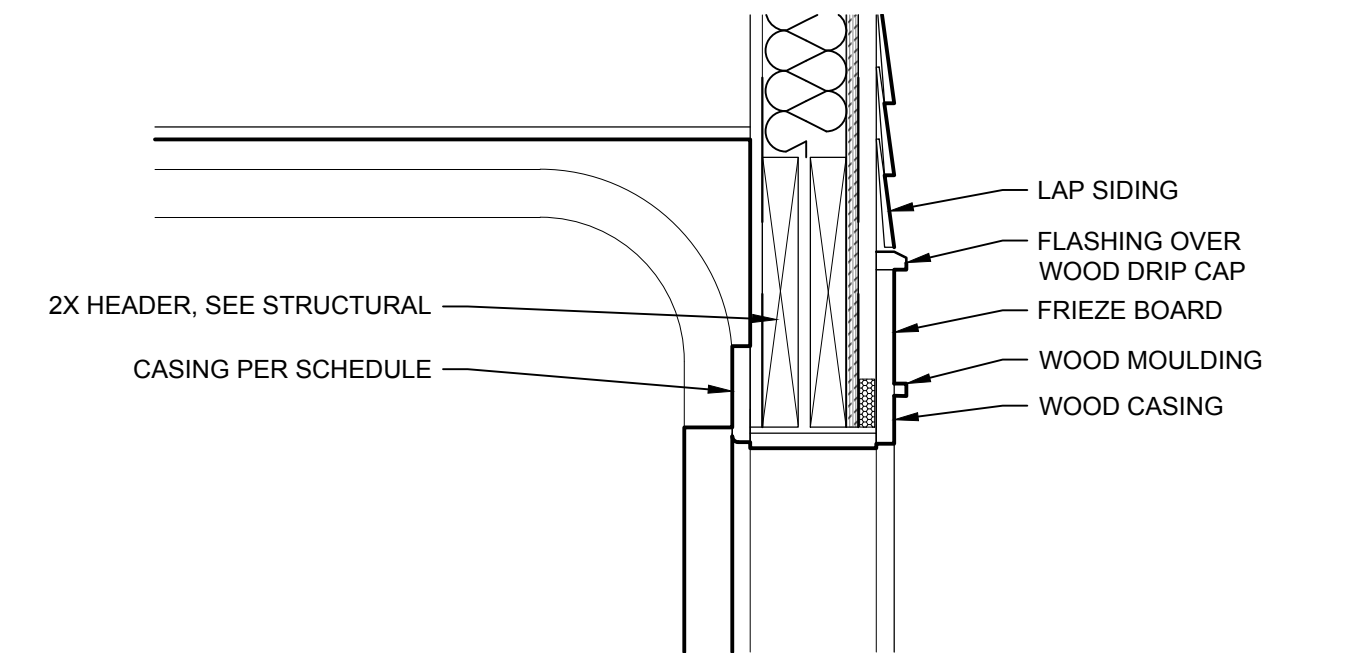
6 | DETAIL  
1-1/2" = 1'



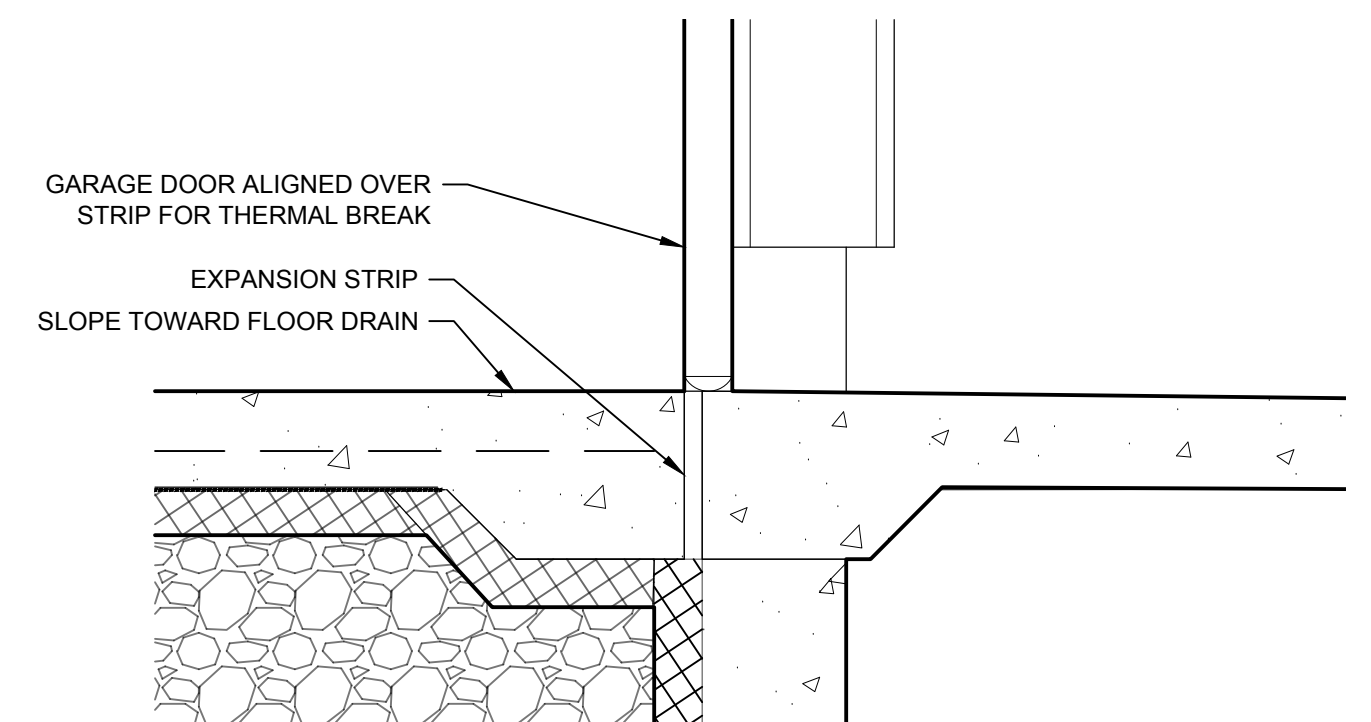
2 | DETAIL  
3" = 1'



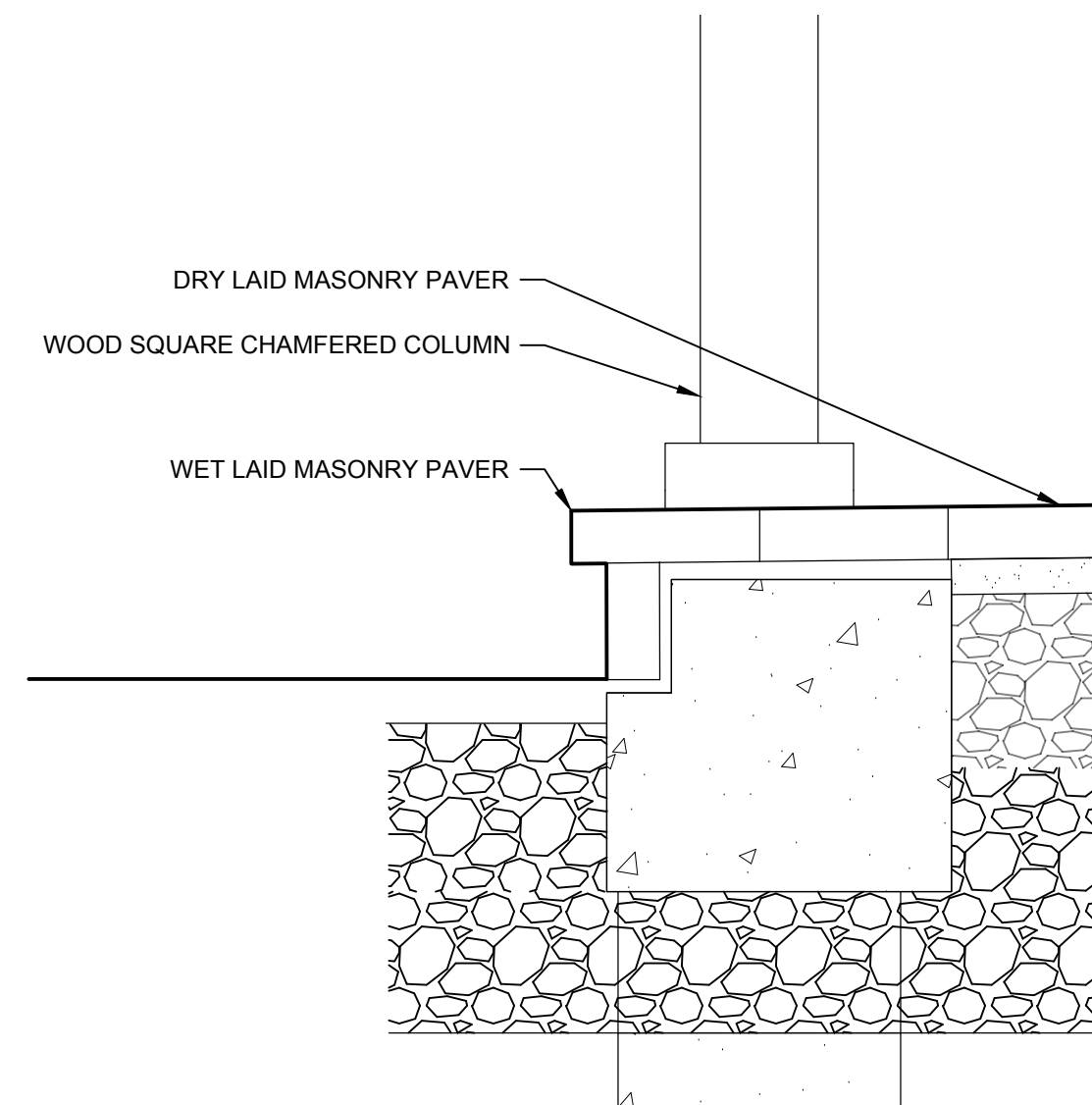
4 | DETAIL  
1-1/2" = 1'



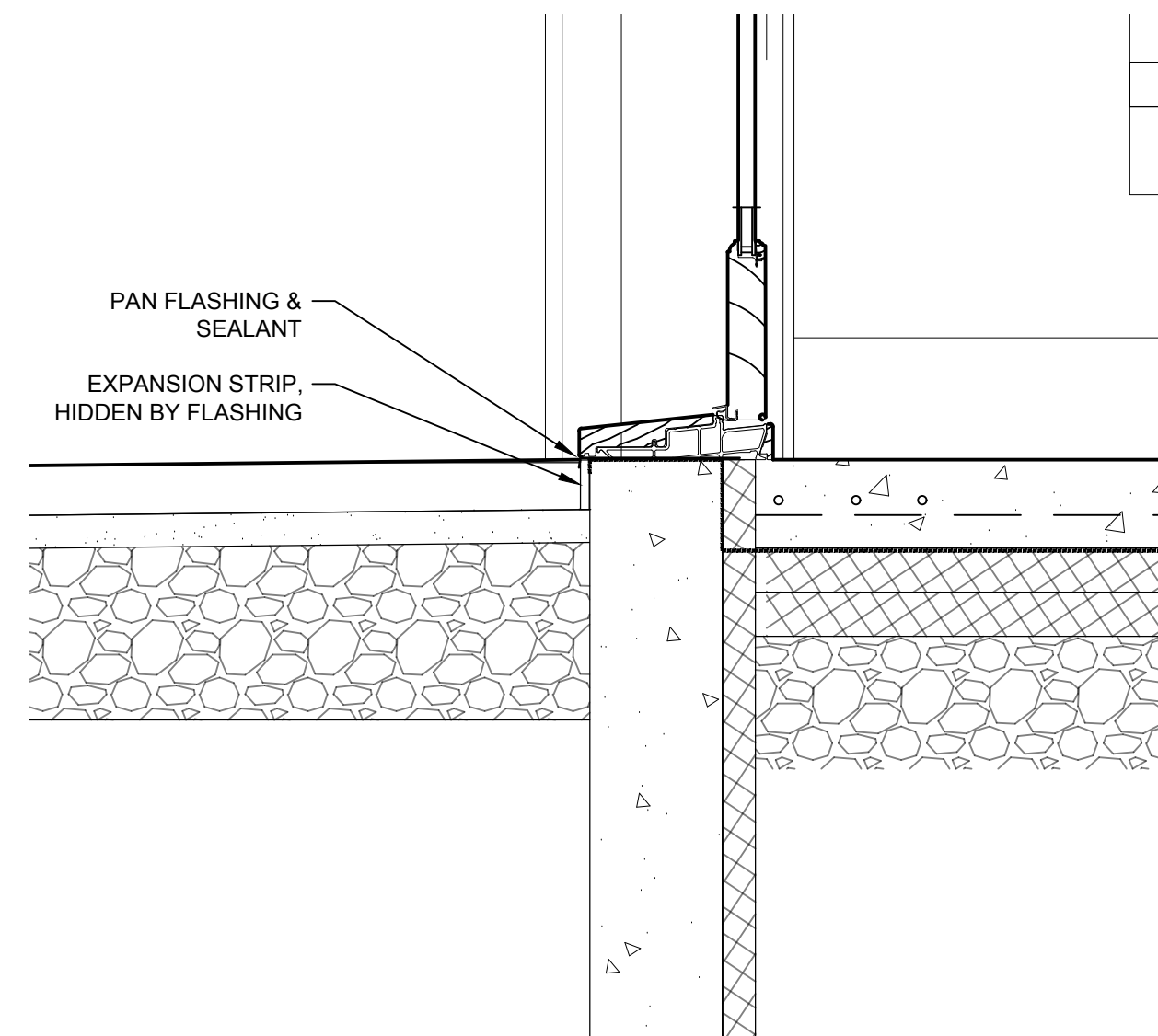
3 | DETAIL  
1-1/2" = 1'



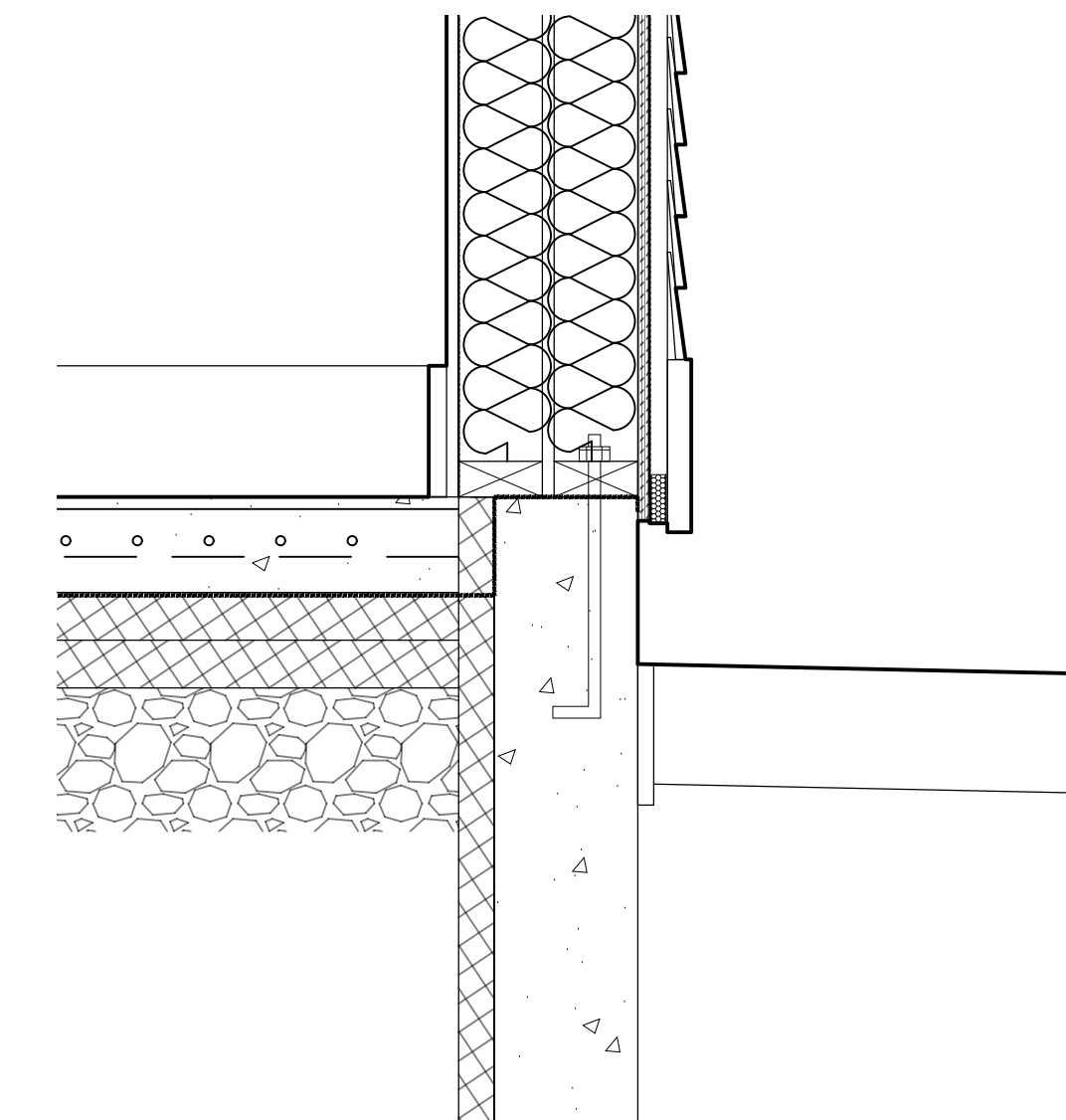
7 | DETAIL  
1-1/2" = 1'



8 | DETAIL  
1-1/2" = 1'

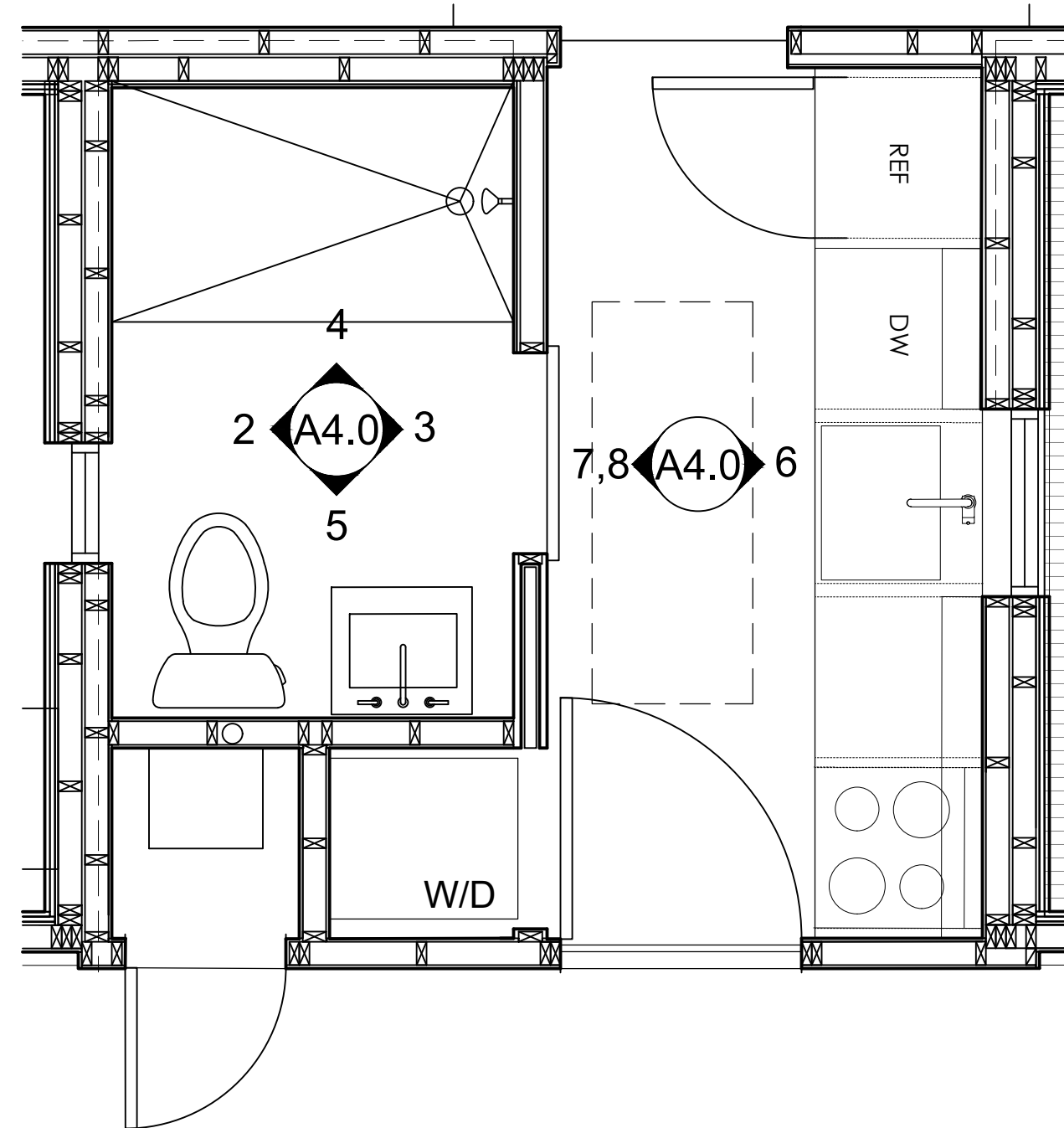


9 | DETAIL  
1-1/2" = 1'

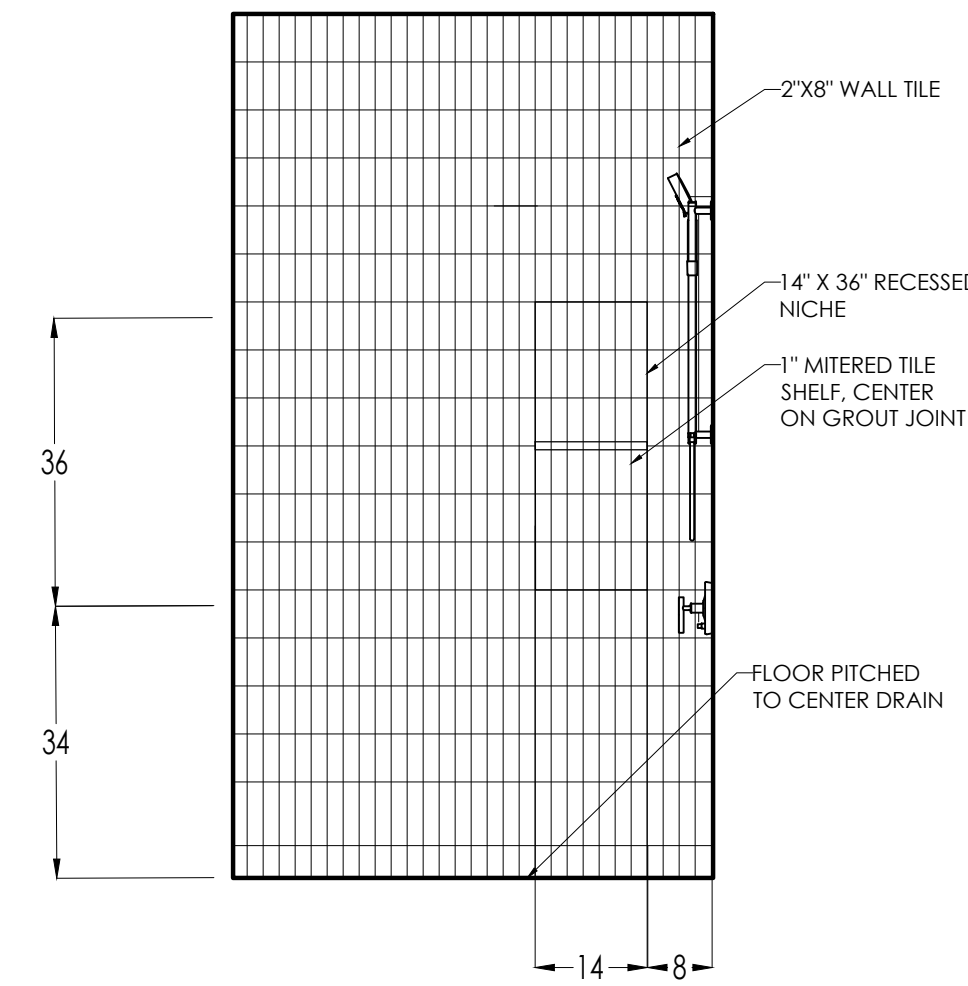


10 | DETAIL  
1-1/2" = 1'

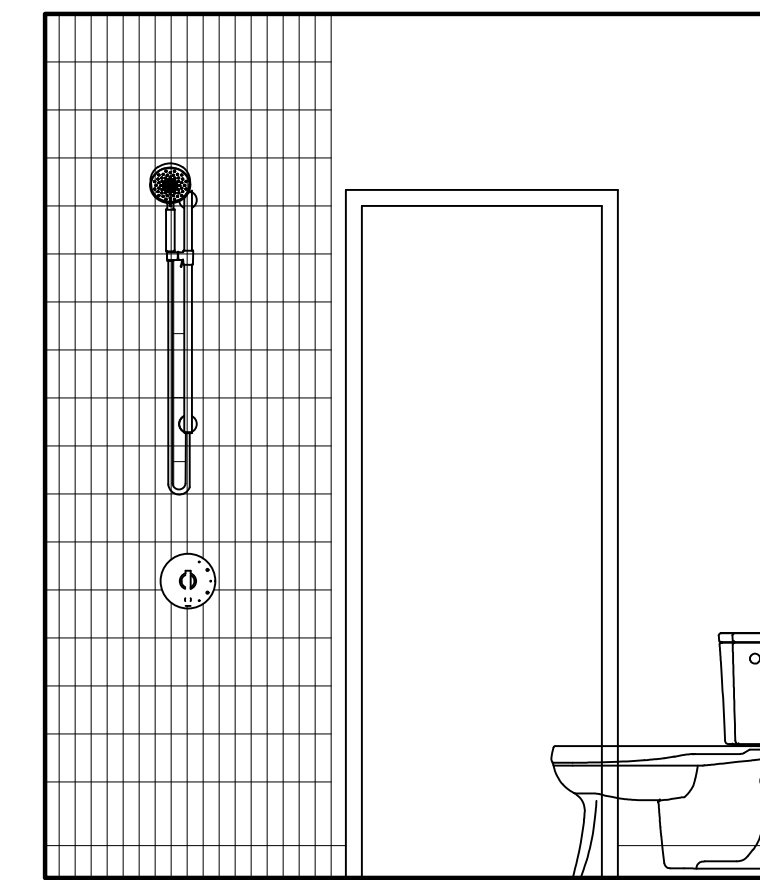
REVISIONS



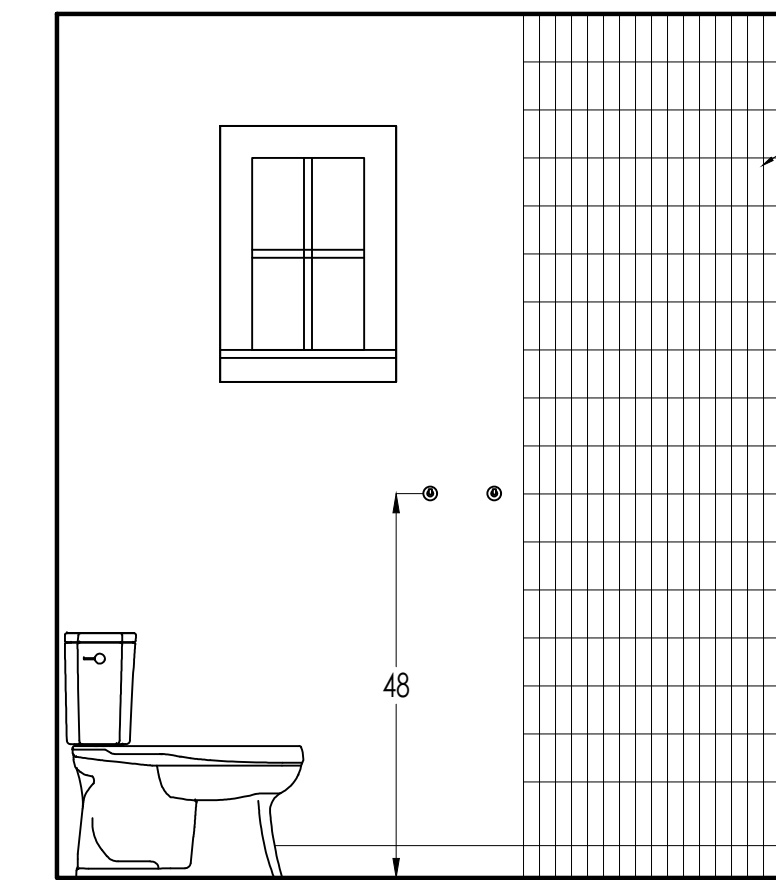
1 | ENLARGED FLOOR PLAN  
1/2" = 1'-0"



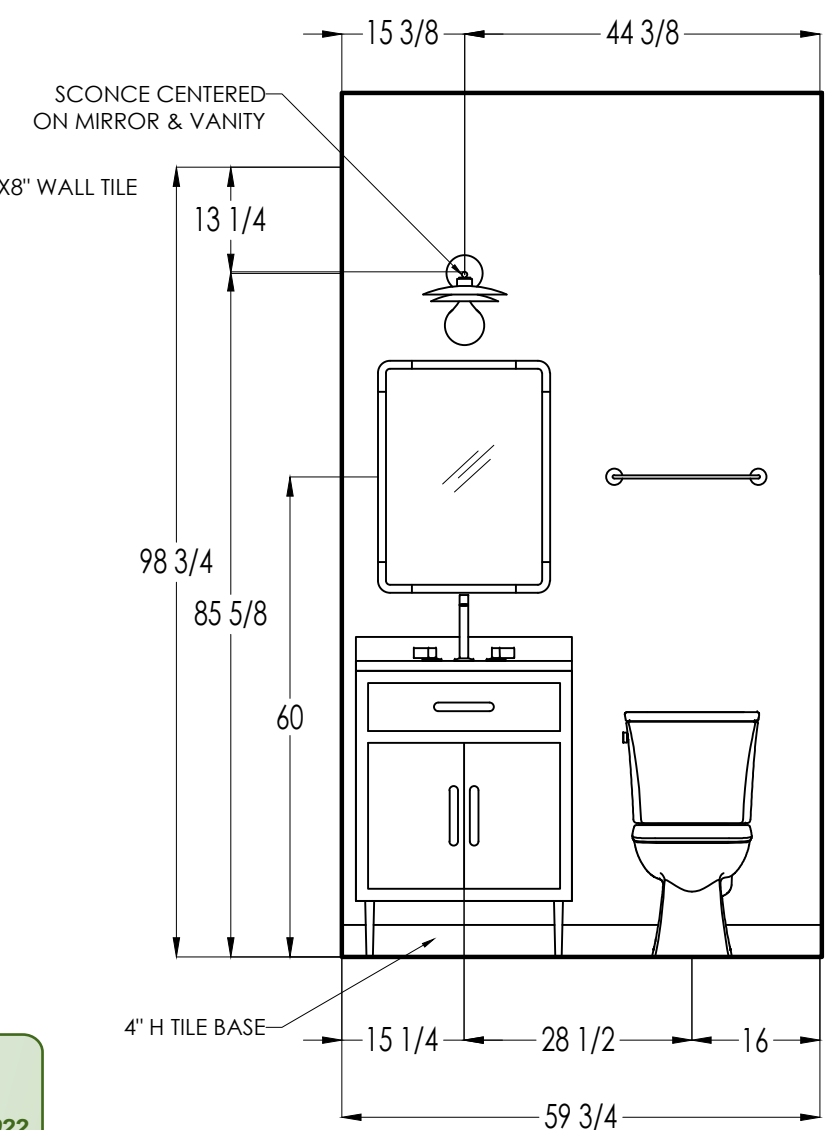
2 | INTERIOR ELEVATION - BATHROOM  
1/2" = 1'-0"



3 | INTERIOR ELEVATION - BATHROOM  
1/2" = 1'-0"

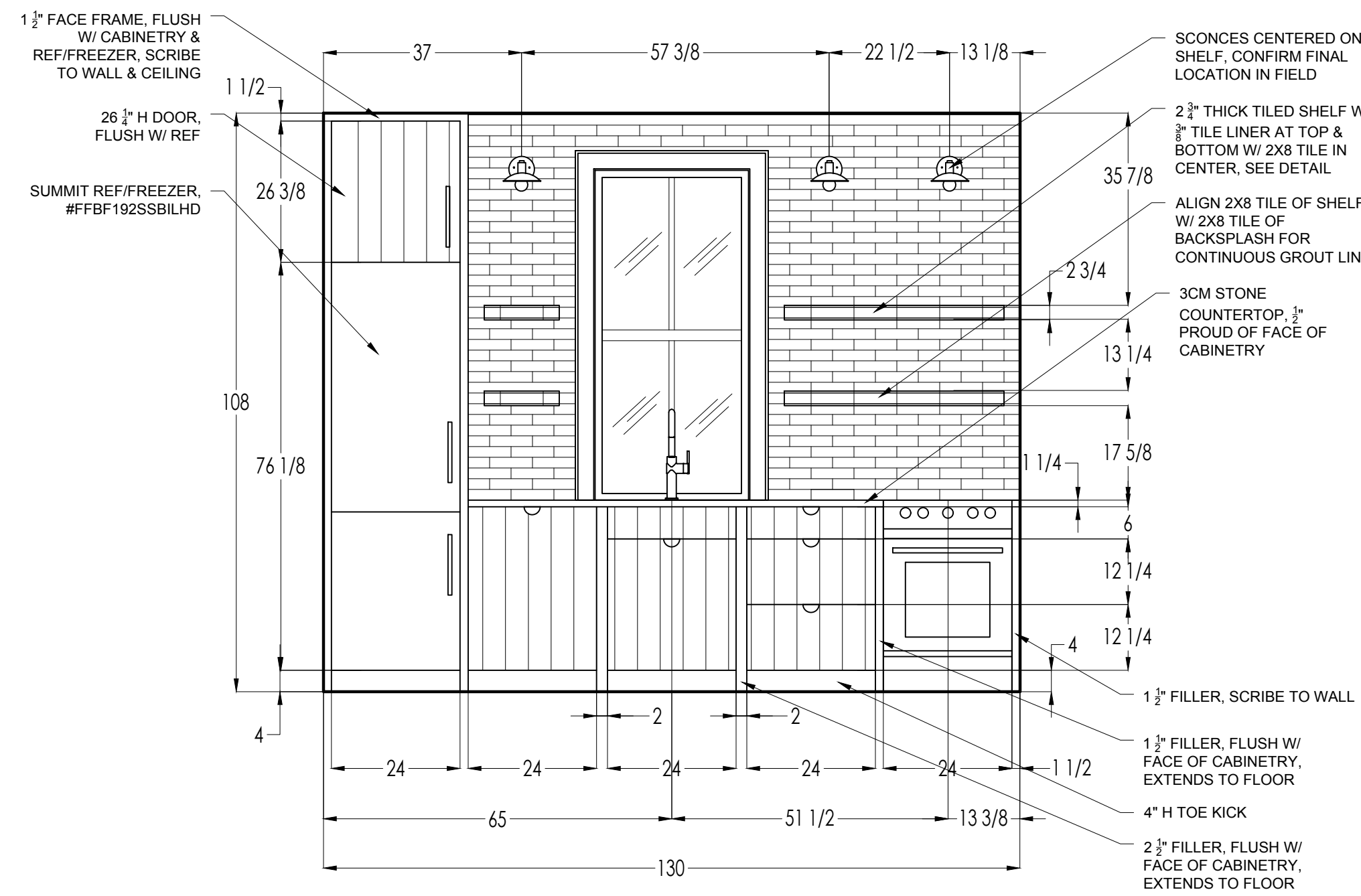


4 | INTERIOR ELEVATION - BATHROOM  
1/2" = 1'-0"

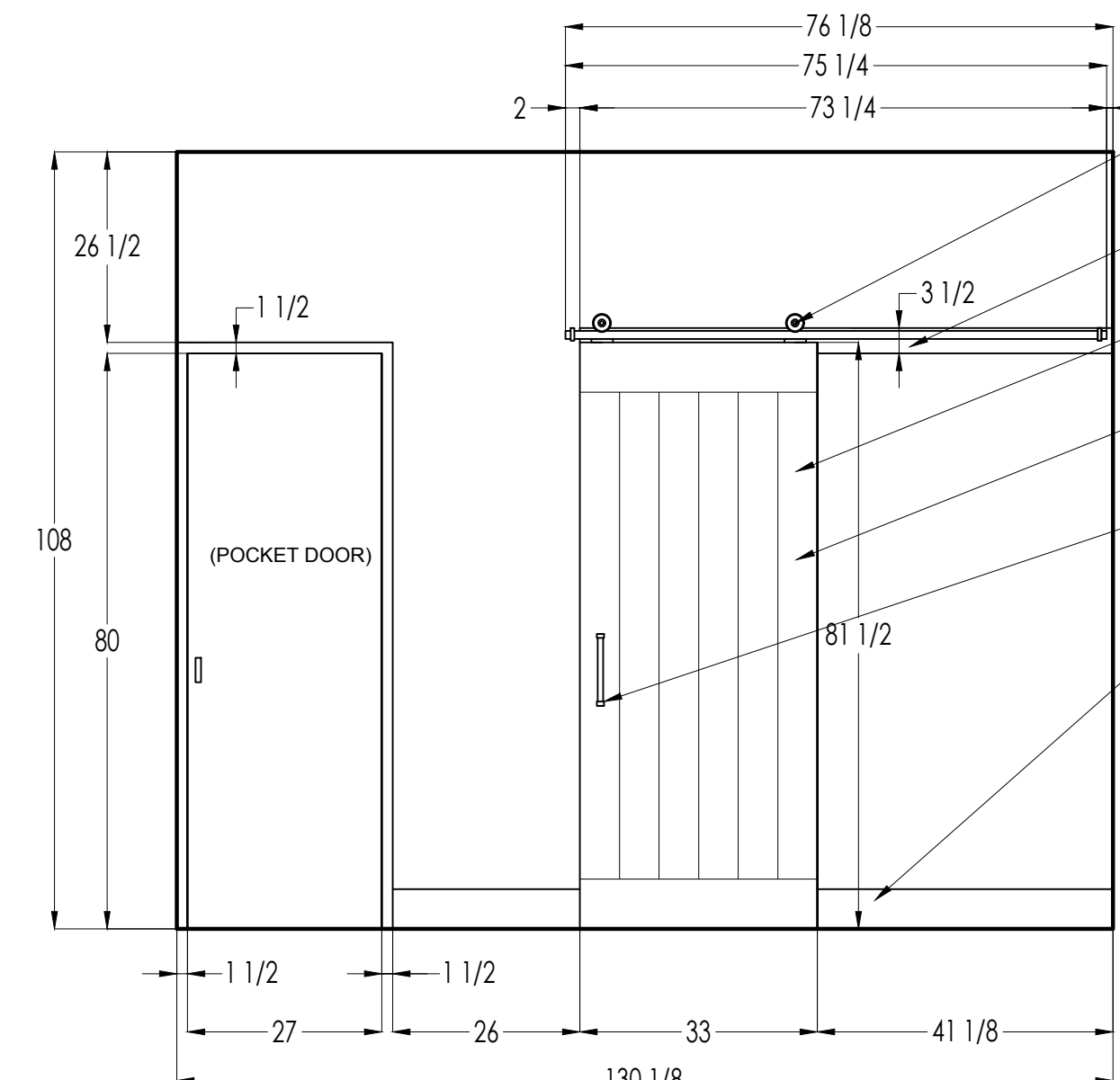


5 | INTERIOR ELEVATION - BATHROOM  
1/2" = 1'-0"

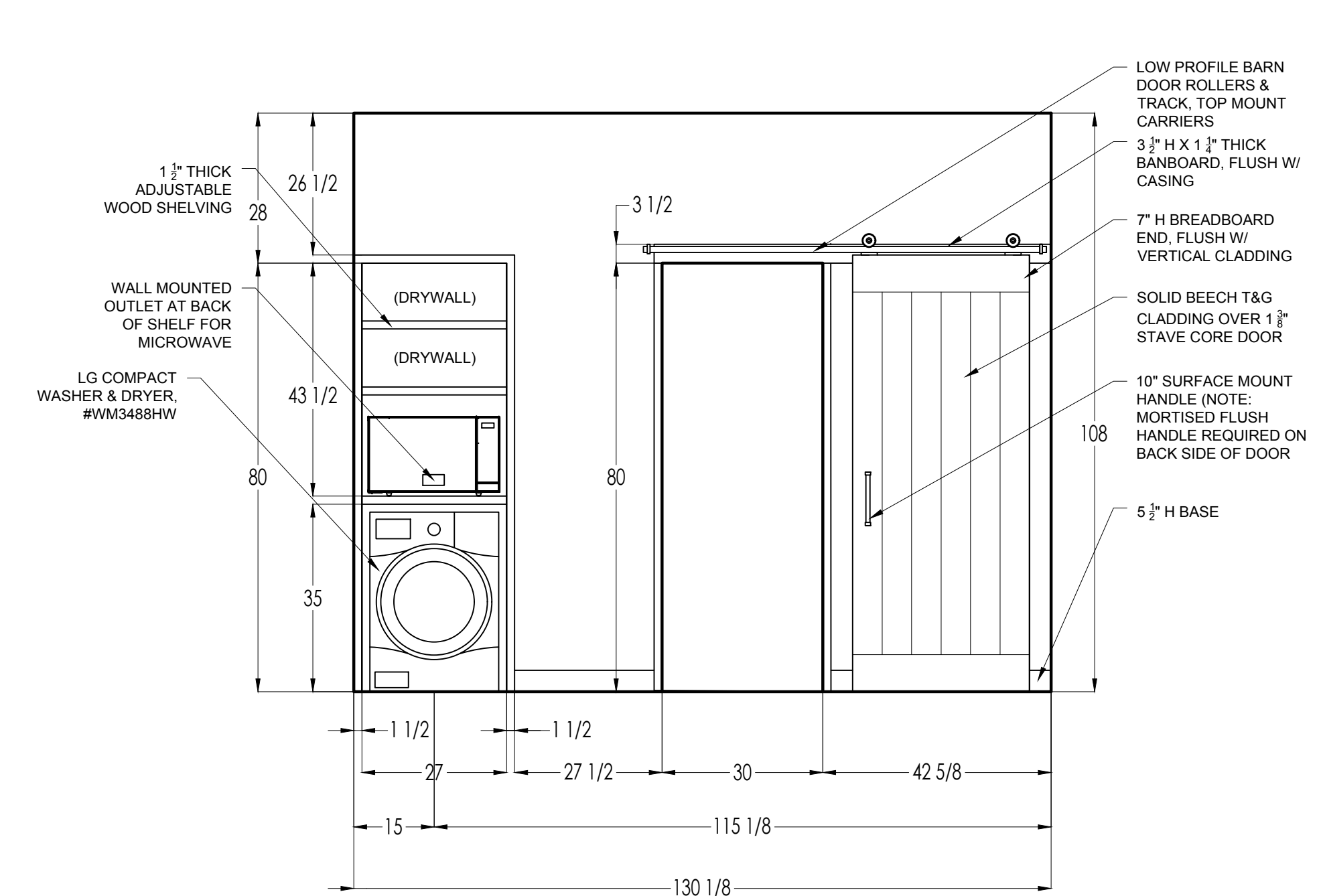
**APPROVED**  
By Tim Askin - Milwaukee HPC at 3:32 pm, Mar 10, 2022



6 | INTERIOR ELEVATION - KITCHEN  
1/2" = 1'-0"



7 | INTERIOR ELEVATION - KITCHEN WITH DOORS OPEN  
1/2" = 1'-0"



8 | INTERIOR ELEVATION - KITCHEN  
1/2" = 1'-0"



IMAGES ARE FOR REFERENCE. REFER TO ELEVATIONS FOR INFORMATION

9 | INTERIOR RENDERING



IMAGES ARE FOR REFERENCE. REFER TO ELEVATIONS FOR INFORMATION

10 | INTERIOR RENDERING



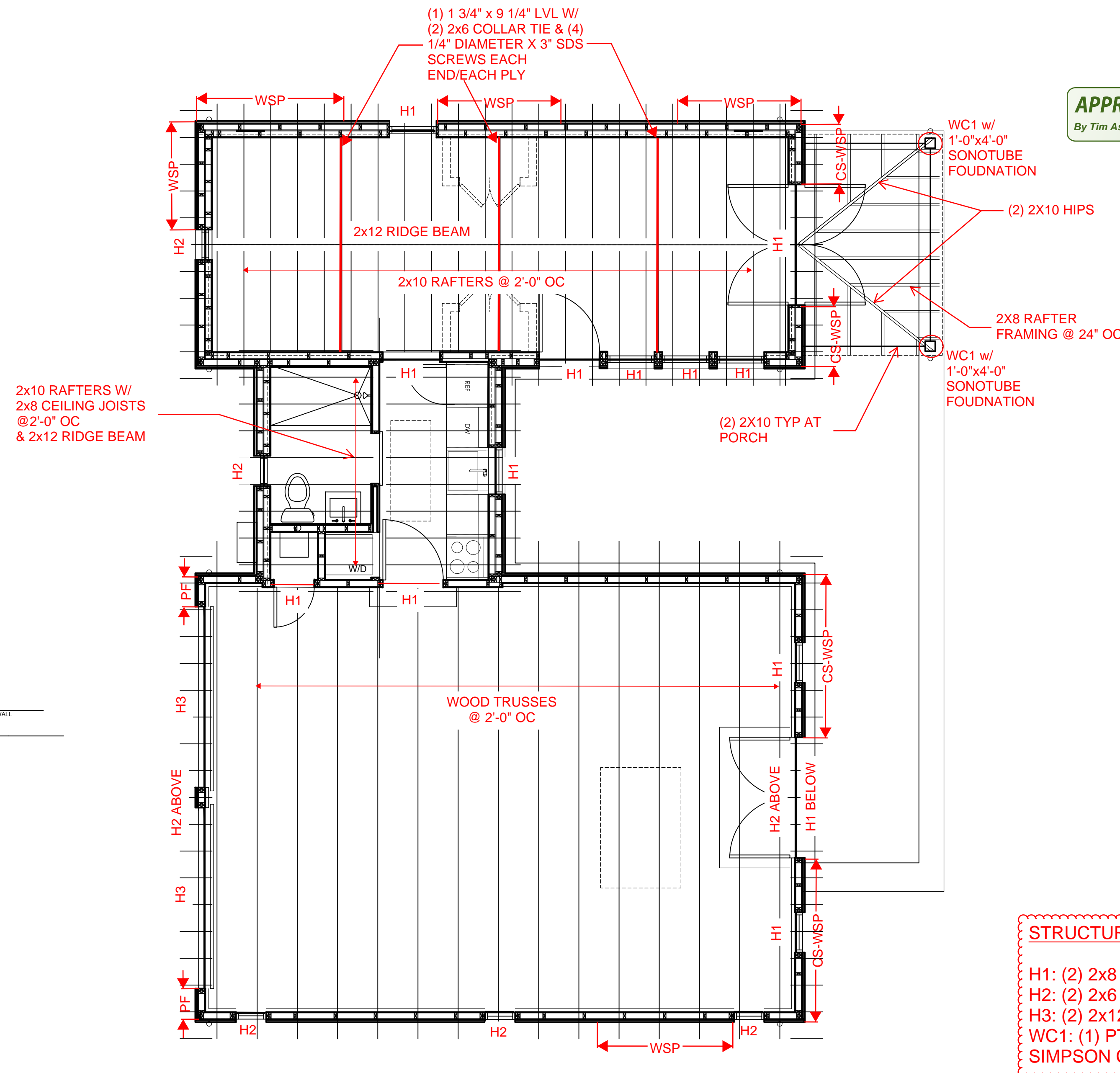
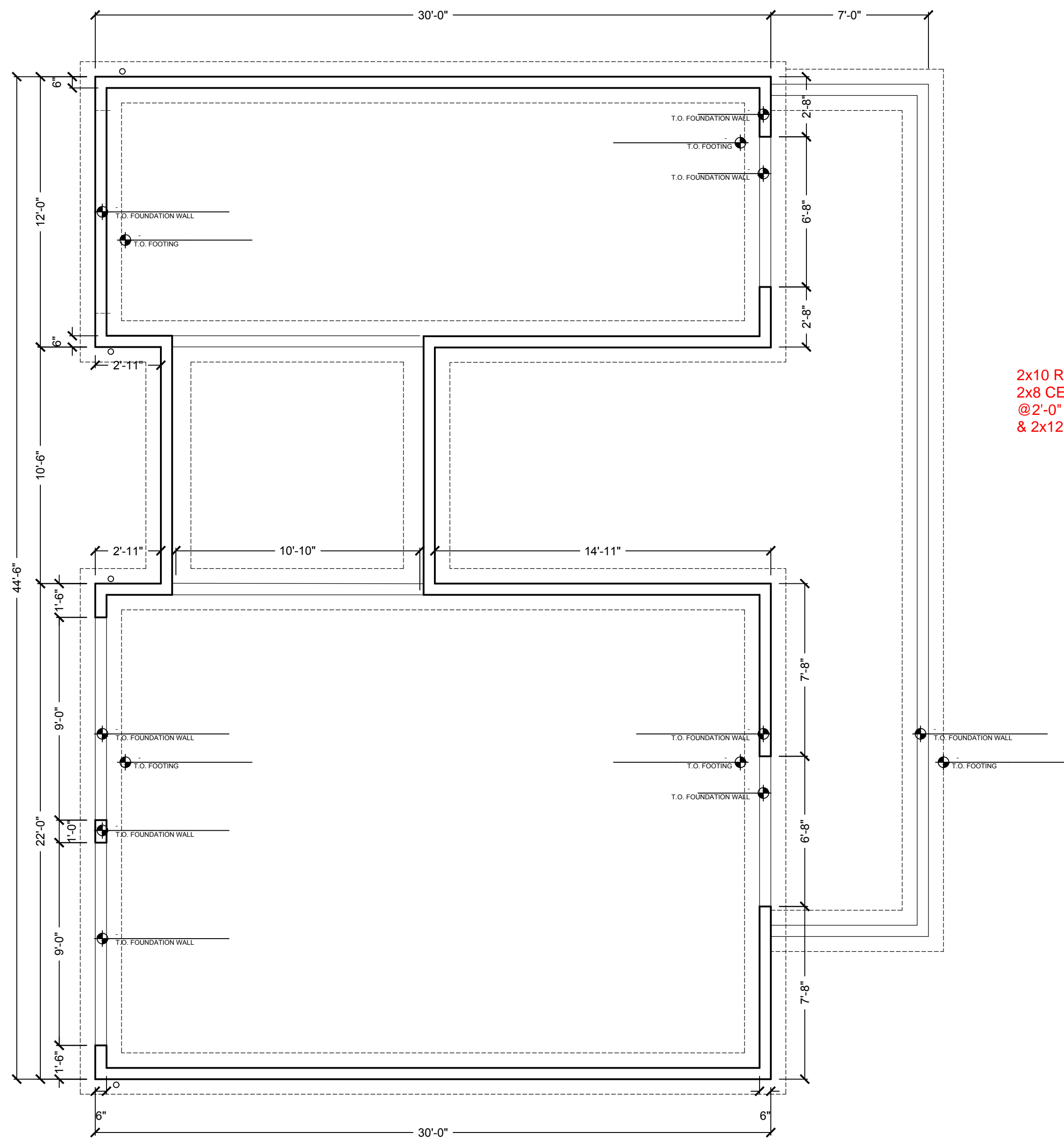
IMAGES ARE FOR REFERENCE. REFER TO ELEVATIONS FOR INFORMATION

11 | INTERIOR RENDERING

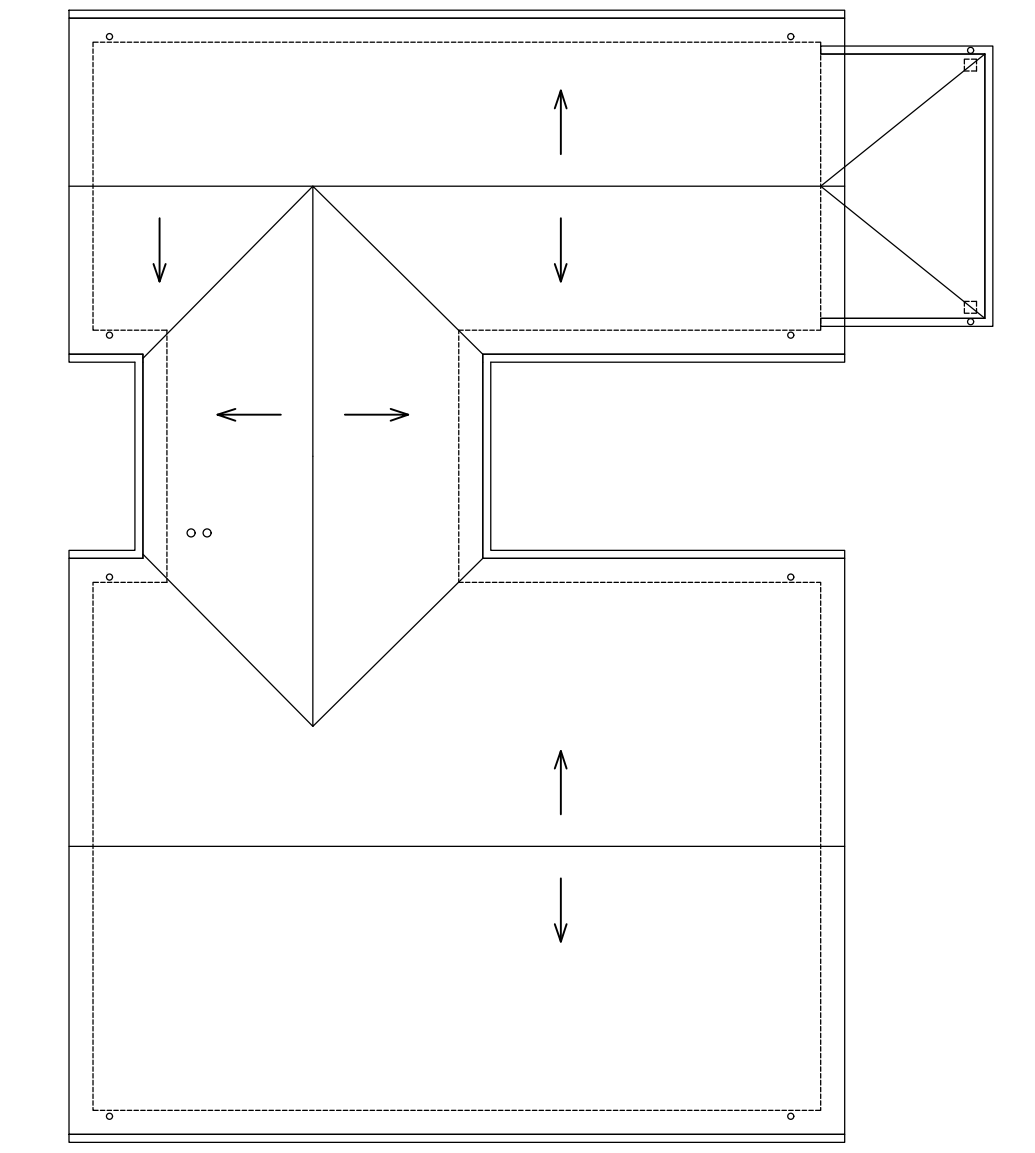
REVISIONS

**CONSTRUCTION  
DOCUMENTS**  
NOVEMBER 20, 2020

INTERIOR ELEVATIONS  
**A4.0**  
© COPYRIGHT 2020. ALL RIGHTS RESERVED



**APPROVED**  
By Tim Askin - Milwaukee HPC at 3:32 pm, Mar 10, 2022



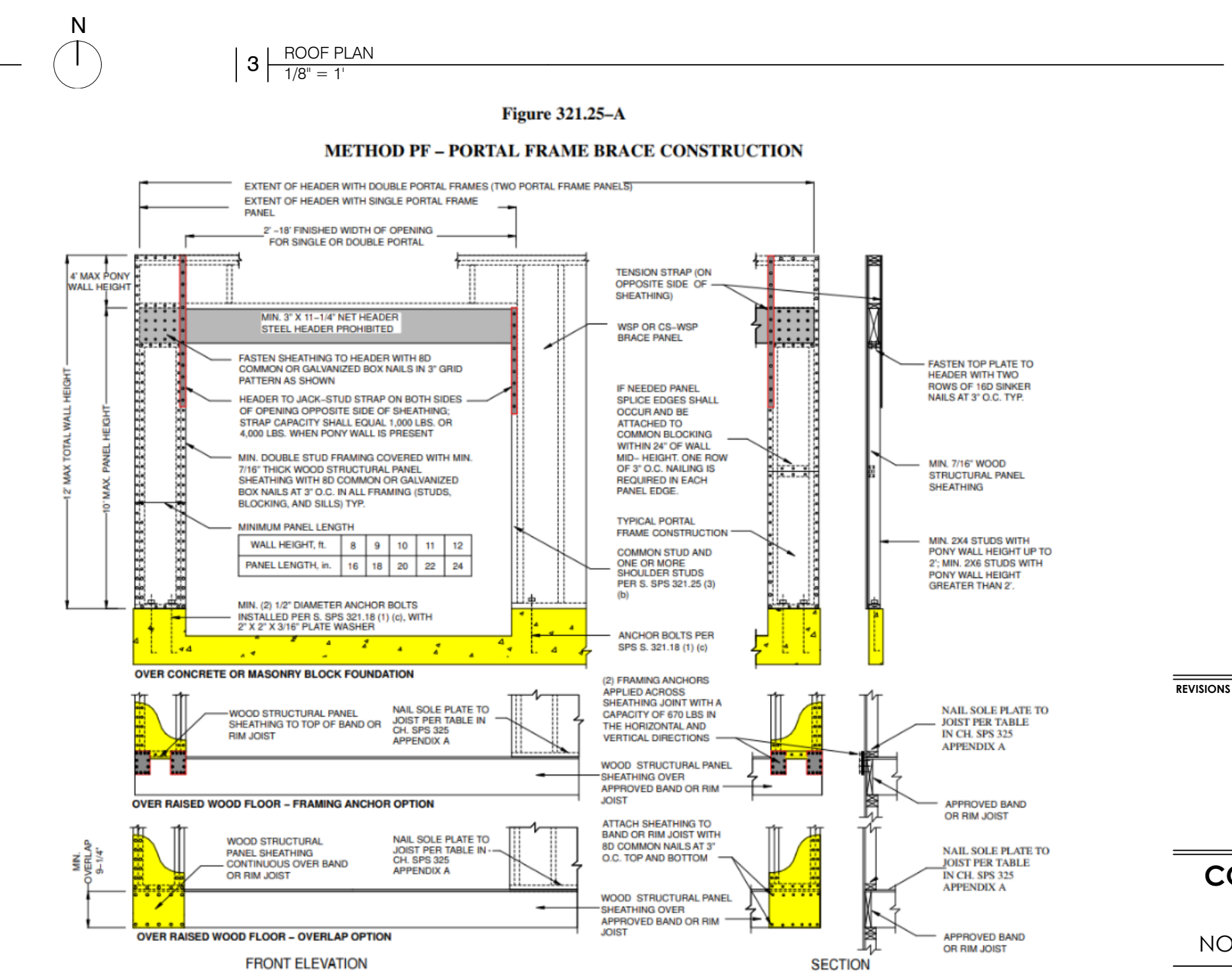
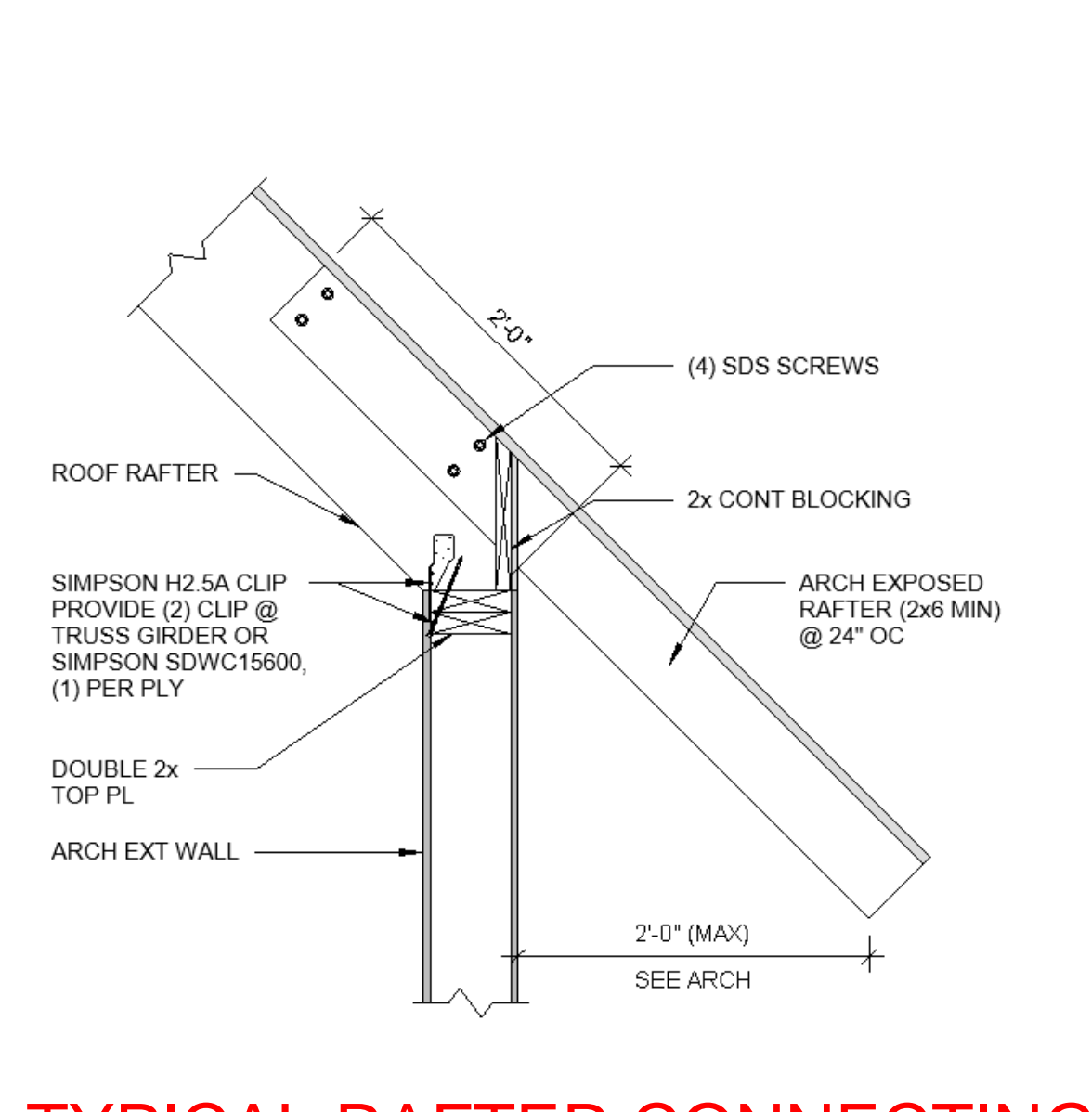
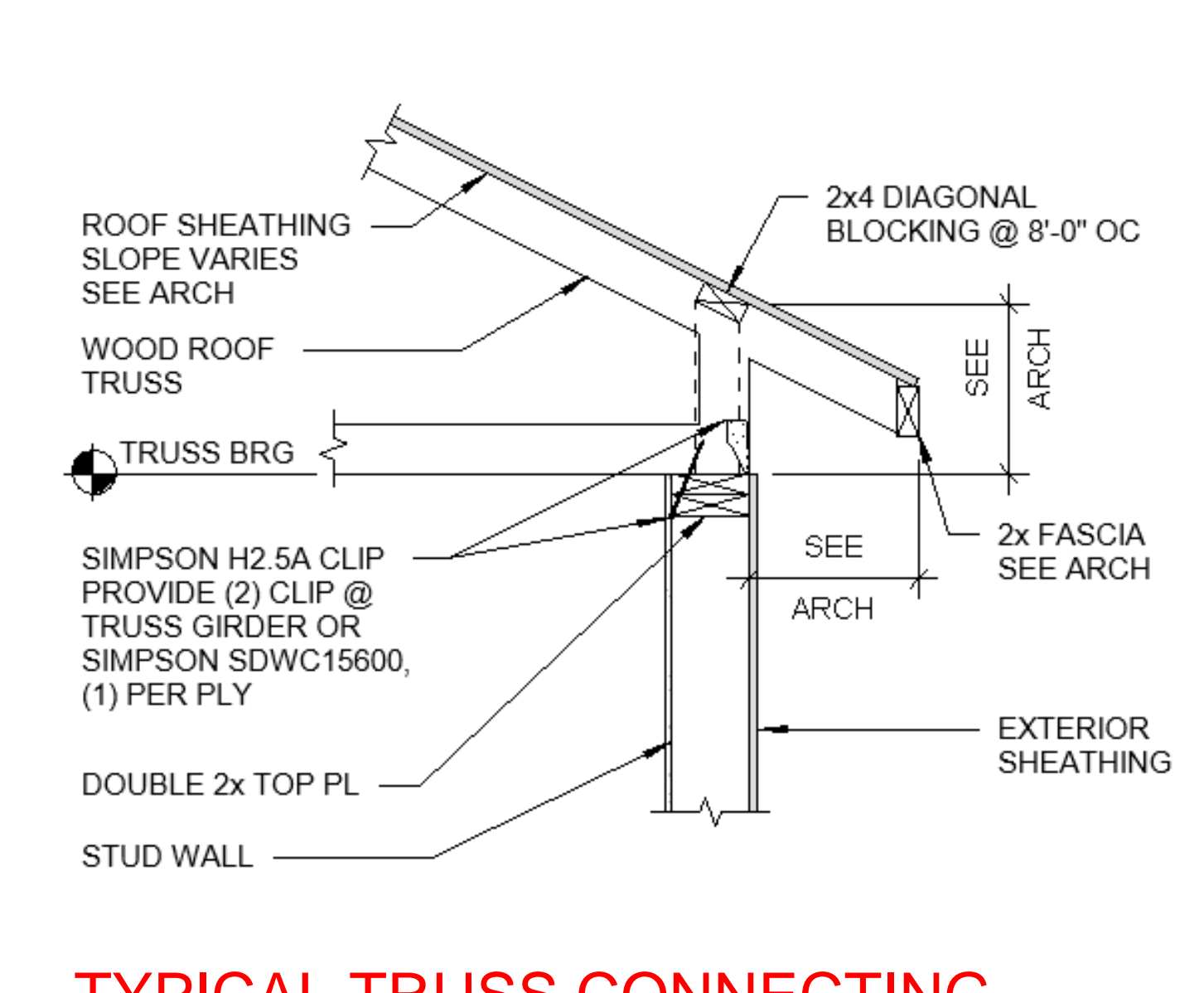
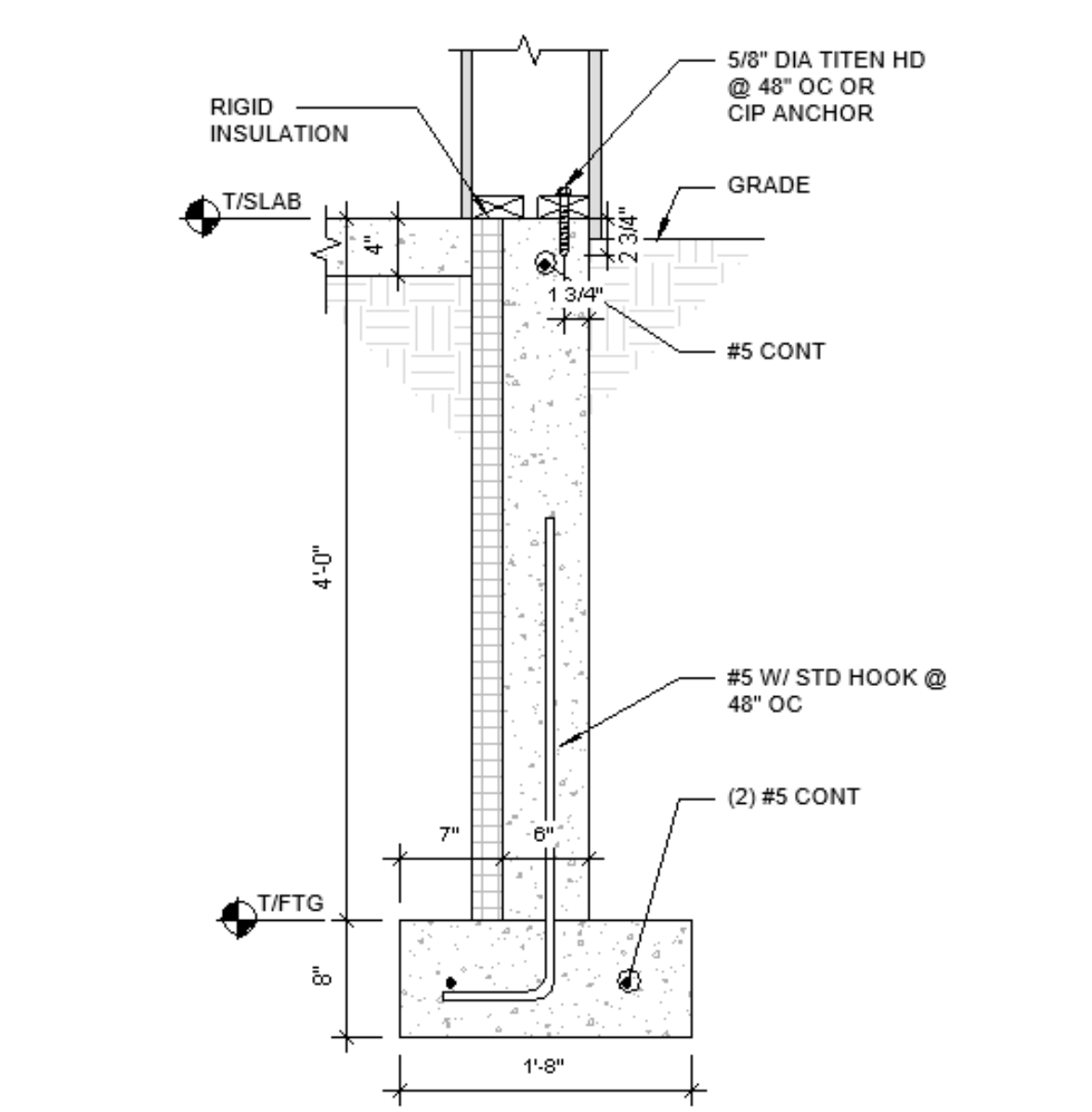
**STRUCTURAL KEY**

H1: (2) 2x8 W/ (1) 2X JAMB & (1) 2X KING STUD EA END  
H2: (2) 2x6 W/ (1) 2X JAMB & (1) 2X KING STUD EA END  
H3: (2) 2x12 W/ (2) 2X JAMB & (2) 2X KING STUDS EA END  
WC1: (1) PT 4x4 (OR MIN 3-1/2" X 3-1/2" NET TURNED WOOD POST) W/ SIMPSON CPTZ CONCEALED POST BASE

1 FOUNDATION PLAN  
1/4" = 1'

2 FRAMING PLAN  
1/4" = 1'

3 ROOF PLAN  
1/8" = 1'



REVISIONS