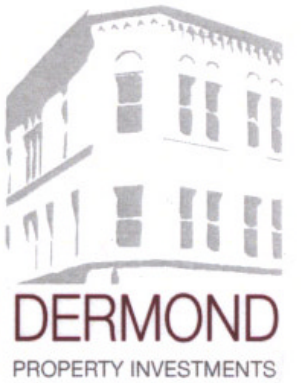




02 MARCH 2012



1601 JACKSON APARTMENTS

1601 North Jackson Street Milwaukee, Wisconsin 53202

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SITE PHOTOS

VIEW NORTH UP JACKSON

1601 JACKSON APARTMENTS

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JACKSON STREET: WEST SIDE ADJACENT TO 1601

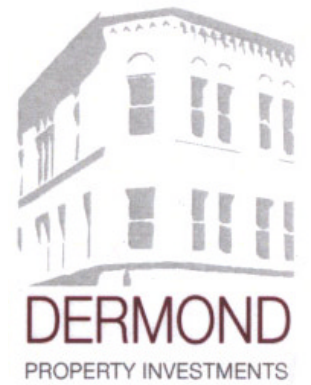


JACKSON STREET: EAST SIDE ACROSS FROM SITE

CONTEXT

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NW CORNER (1601 N JACKSON)



NE CORNER



SW CORNER

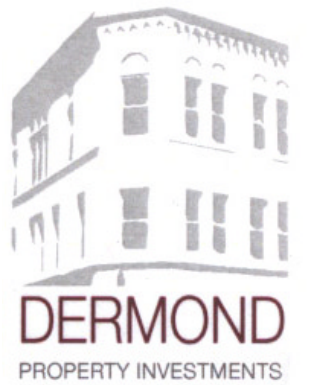


SE CORNER

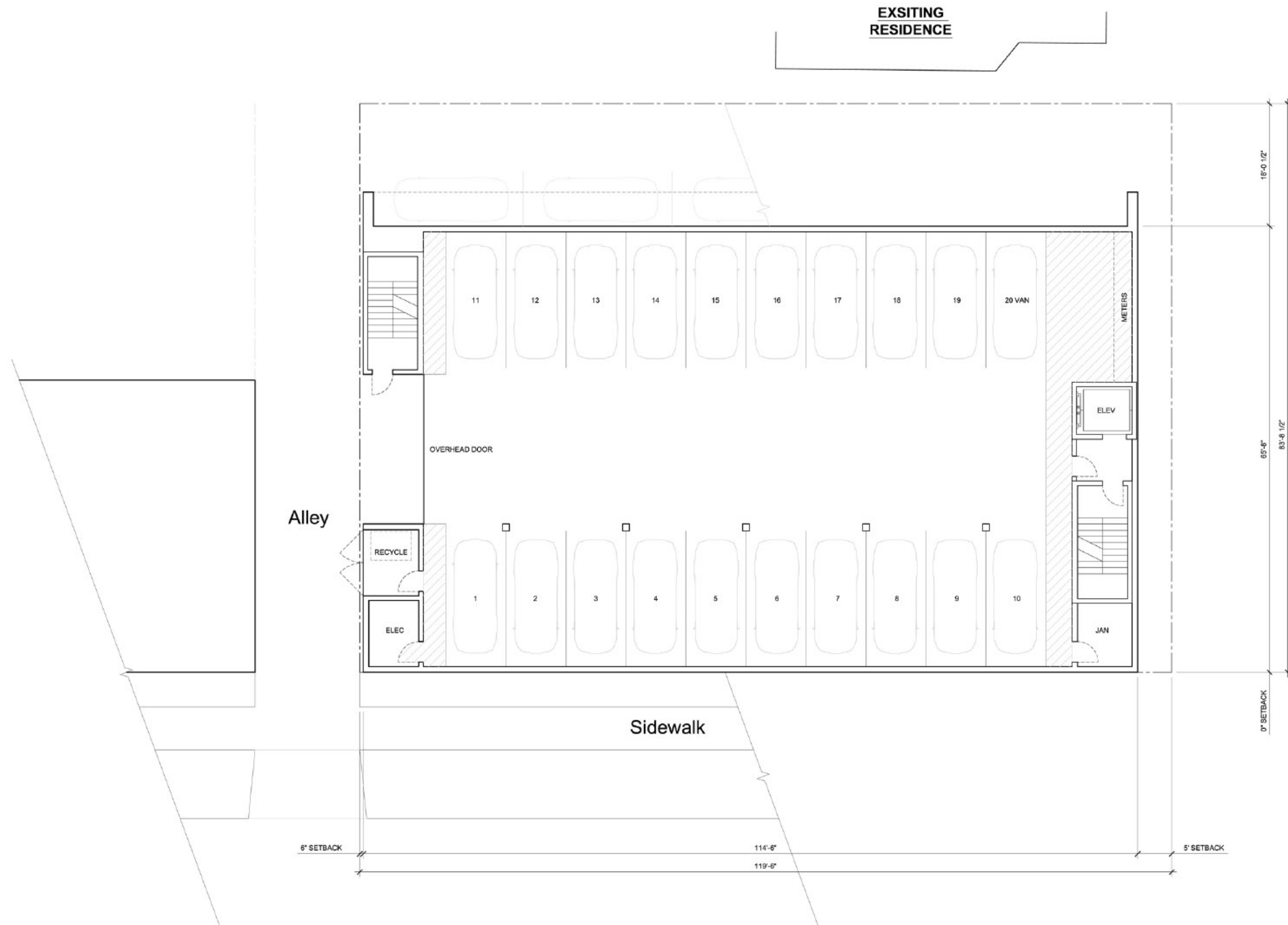
JACKSON - PLEASANT INTERSECTION

1601 JACKSON APARTMENTS

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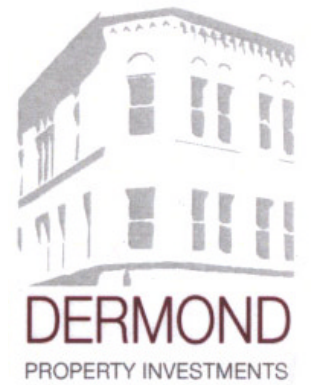
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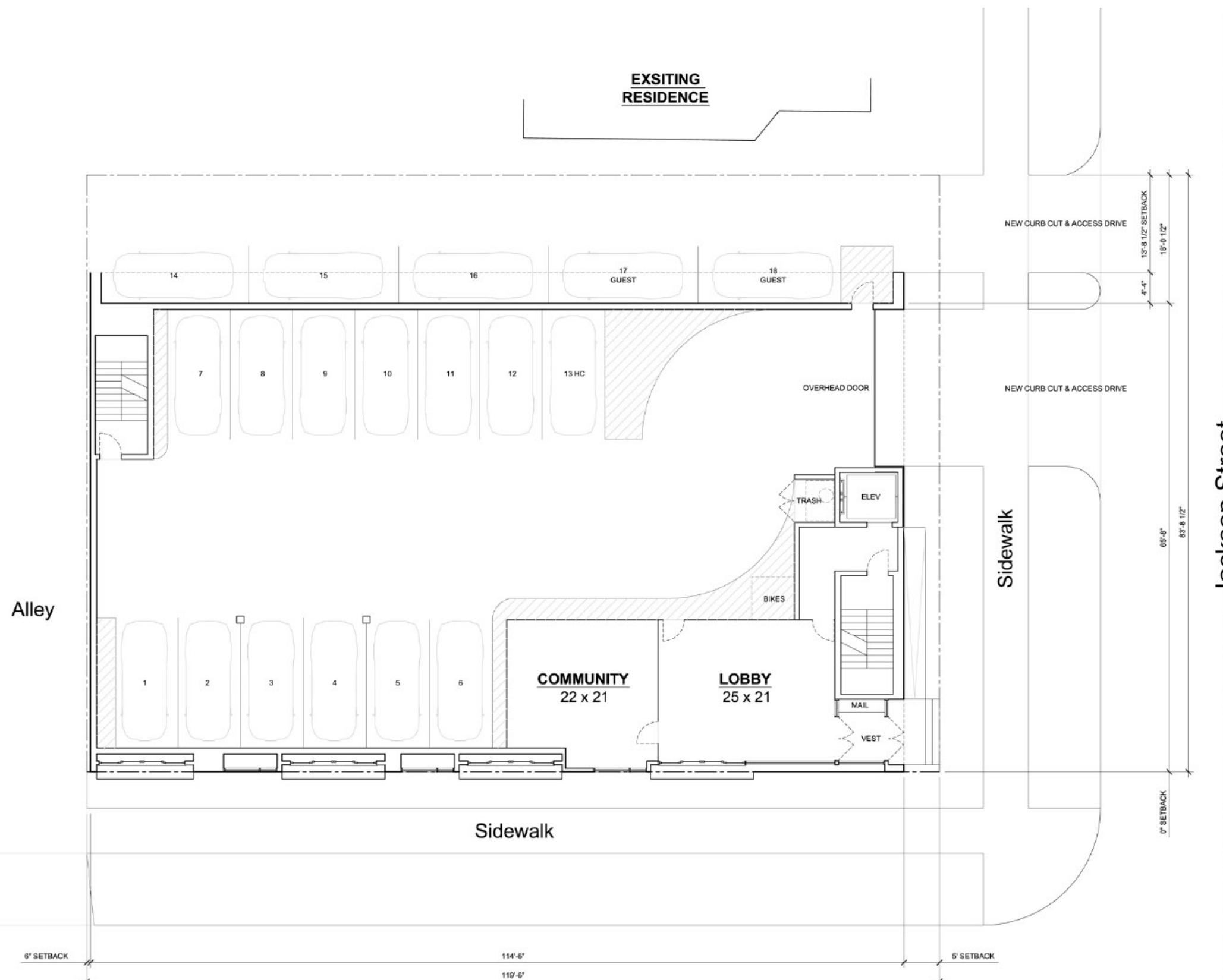
BASEMENT LEVEL PLAN (1" = 16')

1601 JACKSON APARTMENTS

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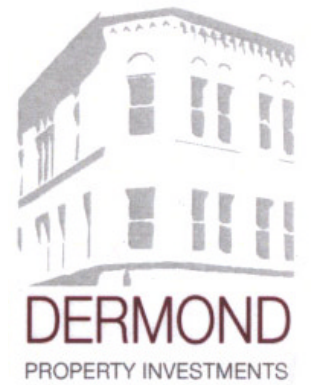
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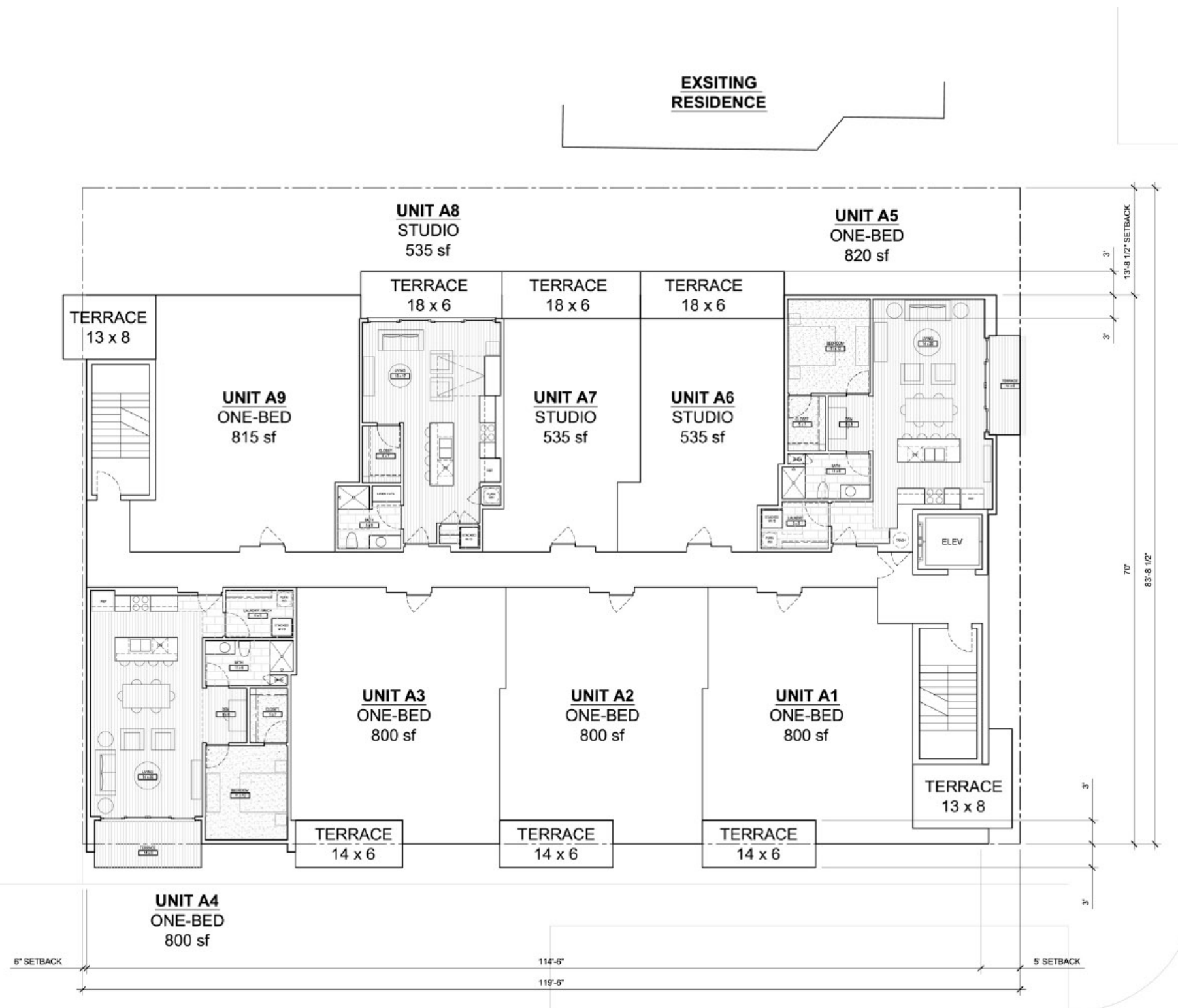
ENTRY LEVEL PLAN (1" = 16')

1601 JACKSON APARTMENTS

1601 North Jackson Street Milwaukee, Wisconsin 53202



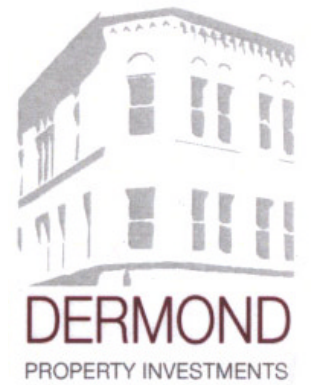
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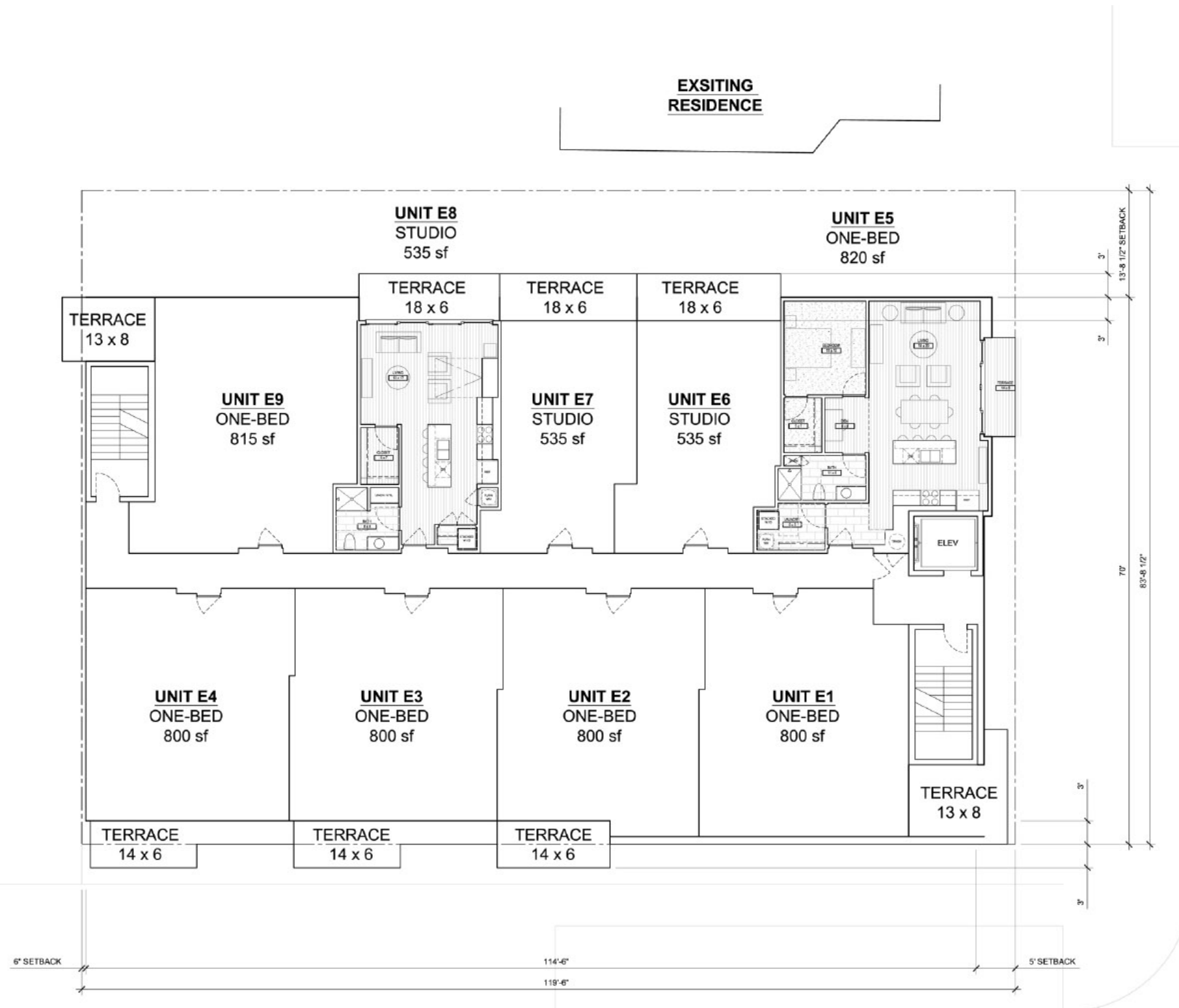
TYPICAL FLOOR 2 THROUGH 4 (1" = 16')

1601 JACKSON APARTMENTS

1601 North Jackson Street Milwaukee, Wisconsin 53202



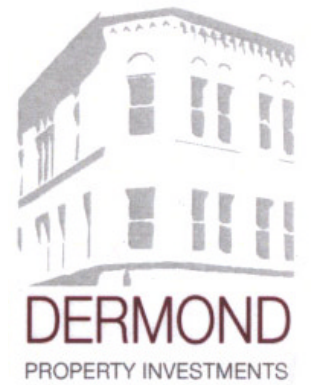
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FLOOR 5 (1" = 16')

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IN-FILL 'MIDDLE', TYPICAL

PAINTED STEEL CHANNEL, TYPICAL

'MIDDLE', TYPICAL

STEEL GUARDRAIL W/ STEEL MESH IN-FILL

'TOP'

'TOP'

IN-FILL 'MIDDLE', TYPICAL

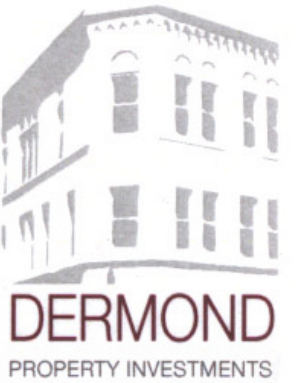
CONCRETE 'BASE', TYPICAL

'BASE'

JACKSON - PLEASANT STREET CORNER

1601 JACKSON APARTMENTS

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JACKSON - PLEASANT STREET CORNER ALT

1601 JACKSON APARTMENTS

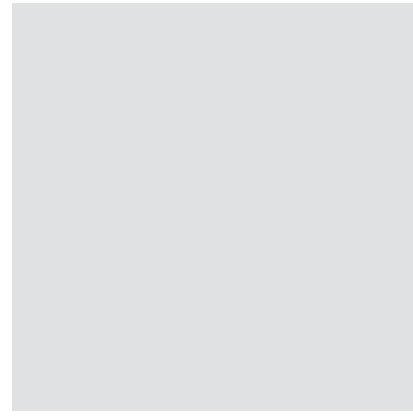
1601 North Jackson Street Milwaukee, Wisconsin 53202



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CEMENTITIOUS PANEL (ALT)



METAL PANEL (ALT)



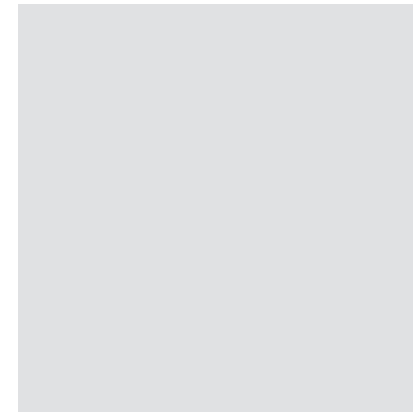
CEMENTITIOUS PANEL



CEMENTITIOUS PANEL (ALT)



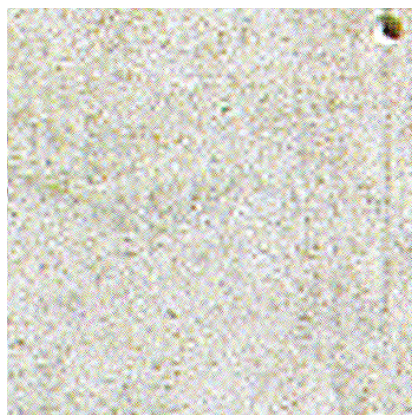
METAL PANEL (ALT)



METAL PANEL (ALT)



GLASS IN-FILL



POURED CONCRETE



CEMENTITIOUS PANEL



CEMENTITIOUS PANEL, PAINTED



CEMENTITIOUS PANEL



WIRE MESH IN-FILL

BASE:

MIDDLE:

IN-FILL MIDDLE:

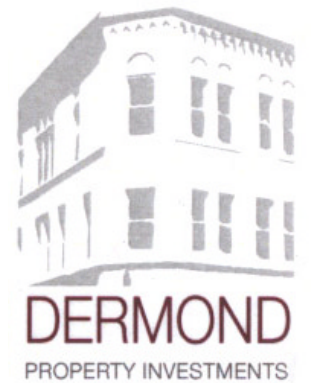
TOP:

GUARDRAILS:

EXTERIOR MATERIAL PALETTE

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SOUTH ELEVATION

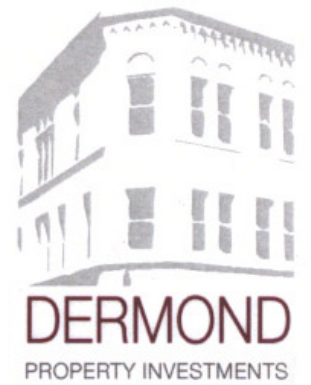


EAST ELEVATION

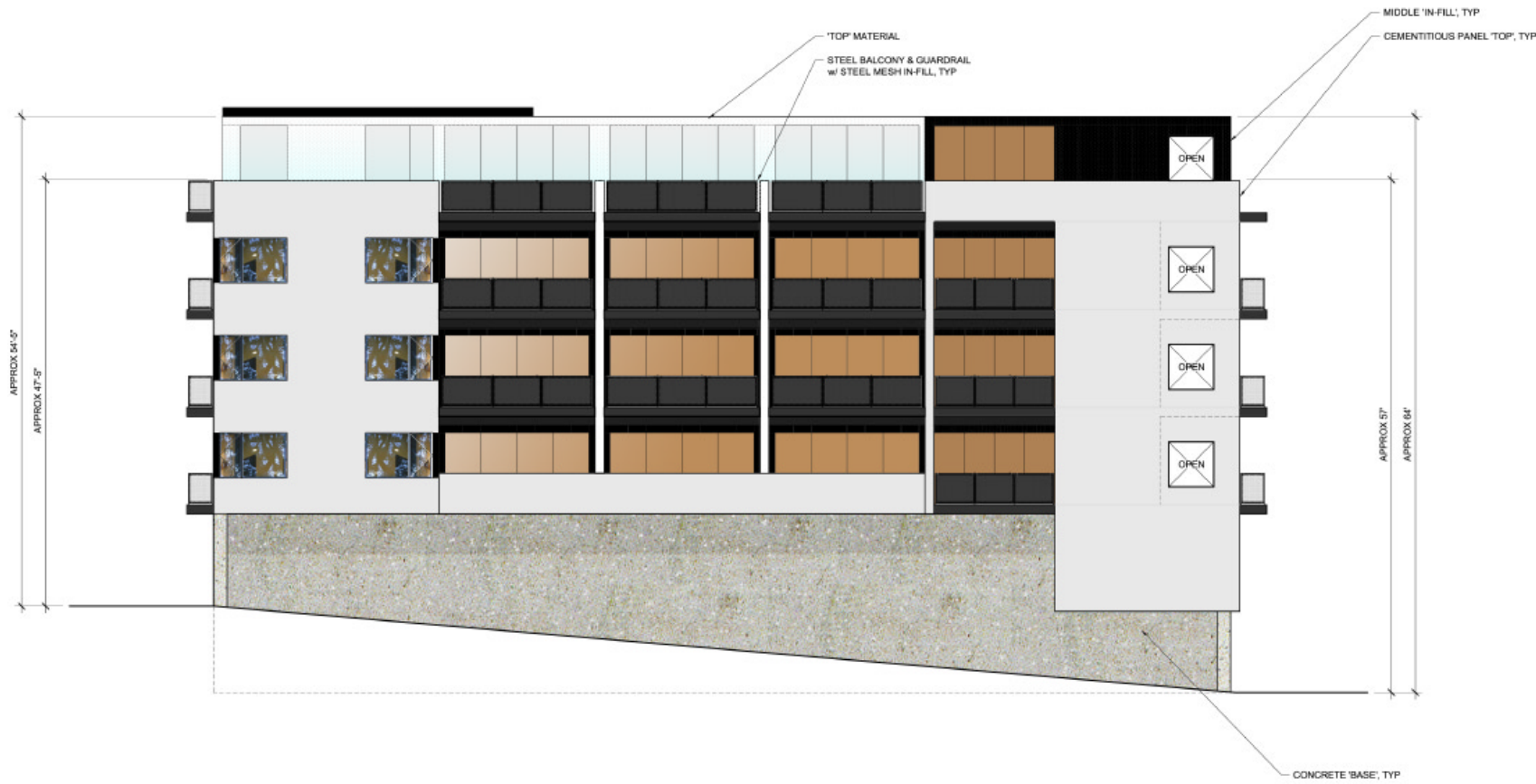
EXTERIOR ELEVATIONS

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NORTH ELEVATION

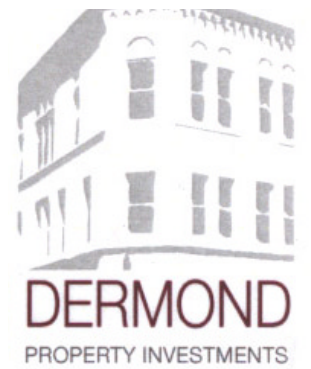


WEST ELEVATION

EXTERIOR ELEVATIONS

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PROPOSED 1601 N. JACKSON STREET BUILDING

N. JACKSON STREET & E. PLEASANT STREET

CITY OF MILWAUKEE, WI

PROJECT NOTES

EXISTING CONDITIONS AND DEMOLITION NOTES:

1. CONTRACTOR TO FIELD VERIFY EXISTING SITE PRIOR TO BIDDING. CONTRACTOR SHALL REMOVE, RELOCATE, REPLACE OR DEMOLISH ANY OTHER ITEMS AS DIRECTED BY THE CONSTRUCTION MANAGER.

SITE NOTES:

1. THE PROPOSED CIVIL PLANS ILLUSTRATE SITE IMPROVEMENTS ASSOCIATED WITH THE NEW BUILDING CONSTRUCTION. CONTRACTOR TO REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL CONSTRUCTION INFORMATION.
2. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FOR CONSTRUCTION.

GRADING AND EROSION CONTROL NOTES:

1. SEE PLANS FOR EROSION CONTROL DETAILS & CONSTRUCTION SEQUENCE.
2. THE PROPOSED BUILDING PROJECT WILL DISTURB APPROXIMATELY 0.3 ACRES OF LAND, THEREFORE UNDER NR 151 AND NR 216 PERMITTING REQUIREMENTS ARE NOT APPLICABLE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY NECESSARY CONSTRUCTION SITE AND/OR EROSION CONTROL PERMITS FROM THE CITY OF MILWAUKEE.

UTILITY NOTES:

1. OWNER AND CONTRACTOR TO COORDINATE WITH UTILITY COMPANY REGARDING OVERHEAD UTILITY LINE PROTECTION AND/OR RELOCATION ALONG WEST ALLEY.
2. CONTRACTOR TO FIELD VERIFY EXISTING UNDERGROUND UTILITIES ON SITE. CONTRACTOR TO VERIFY PIPE LOCATIONS, SIZES, AND DEPTHS AT POINT OF ALL EXISTING UTILITIES AND VERIFY PROPOSED UTILITY ROUTE IS CLEAR TO COME. COSTS INCURRED FOR FAILURE TO DO SO SHALL BE THE CONTRACTORS RESPONSIBILITY.
3. CONTRACTOR SHALL PROVIDE NOTIFICATION TO UTILITY OWNERS (INCLUDING SEWER AND WATER) AT LEAST 72 HOURS PRIOR TO EXCAVATION. ALL PROPOSED WATERMAIN PIPE SHALL BE 6" OR GREATER UNLESS OTHERWISE NOTED.
5. ALL UTILITIES SHALL BE INSTALLED WITH PLASTIC COATED TRACER WIRE (10 TO 14 GAUGE SOLID COPPER, OR COPPER COATED STEEL WIRES). PLASTIC WIRE MAY BE TAPPED TO PLASTIC WATER OR DRAIN PIPE. IF ATTACHED THE TRACER WIRE SHALL BE SECURED EVERY 6 TO 20 FEET AND AT ALL BENDS. TRACER WIRE SHALL HAVE ACCESS POINTS AT LEAST EVERY 300 FEET.
6. SEE PLANS FOR ADDITIONAL UTILITY SPECIFICATIONS AND DETAILS.
7. SITE UTILITY CONTRACTOR SHALL RUN SANITARY SERVICE TO A POINT WHICH IS A MINIMUM 5 FEET FROM THE EXTERIOR WALL OF FOUNDATION. SITE UTILITY CONTRACTOR SHALL RUN WATER SERVICE TO A POINT WITHIN THE FOUNDATION SPECIFIED BY THE PLUMBING PLANS. CONTRACTOR TO CUT AND CAP WATER SERVICE 12" ABOVE FINISH FLOOR ELEVATION (OR AS OTHERWISE DIRECTED BY THE CONSTRUCTION MANAGER).

LANDSCAPE NOTES:

1. CONTRACTOR SHALL SEED, FERTILIZE AND MULCH LAWN AREAS AND DISTURBED AREAS AFTER COMPLETION OF CONSTRUCTION.



EXISTING SITE PHOTOGRAPH



LOCALITY MAP

NORTH PART OF THE WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 21, TOWN 7 NORTH, RANGE 22 EAST, IN THE CITY OF MILWAUKEE, COUNTY OF MILWAUKEE, STATE OF WISCONSIN

LEGEND

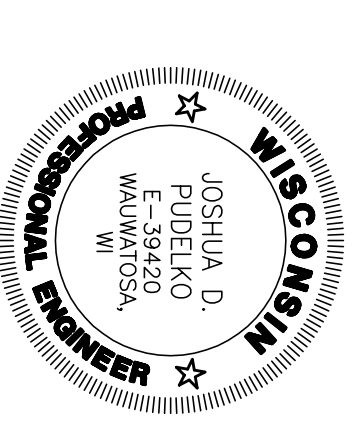
- X 36.00 - DENOTES EXISTING SPOT ELEVATION
- P/L - DENOTES PROPERTY LINE
- - DENOTES CATCH BASIN
- - DENOTES UTILITY POLE
- ⊗ - DENOTES WATER VALVE
- ⊗ - DENOTES GAS VALVE
- ⊗ - DENOTES ELECTRIC MANHOLE
- ⊗ - DENOTES WEP/CO MANHOLE
- ⊗ - DENOTES SEWER MANHOLE
- - DENOTES OVERHEAD UTILITY
- - DENOTES UNDERGROUND GAS
- - DENOTES UNDERGROUND WATER
- - DENOTES UNDERGROUND TELECOMMUNICATION
- - DENOTES UNDERGROUND ELECTRIC
- - DENOTES UNDERGROUND SANITARY SEWER
- - DENOTES UNDERGROUND WATER
- - DENOTES COMBINED SEWER
- - DENOTES STORM SEWER
- - DENOTES SANITARY SEWER
- - DENOTES UNDERGROUND ELECTRIC
- - DENOTES UNDERGROUND TELECOMMUNICATION
- - DENOTES UNDERGROUND WATER
- - EXTERIOR PROPERTY LINE
- - PROPOSED STORM
- - PROPOSED 6" SANITARY
- - PROPOSED 6" WATER
- - PROPOSED DRAINAGE FLOW
- - PROPOSED SPOT ELEVATIONS (FLOW LINE OF CURB UNLESS OTHERWISE SPECIFIED)
- - PROPOSED GATE VALVE
- - PROPOSED SANITARY CLEANOUT

CIVIL PLAN SHEET LIST

- C1.0 - EXISTING SITE PLAN
- C1.1 - PROPOSED SITE PLAN
- C1.2 - MASTER GRADING & EROSION CONTROL PLAN
- C1.3 - UTILITIES PLAN

LANDSCAPE PLAN SHEET LIST

- L1.0 - PROPOSED LANDSCAPE PLAN



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17700 W. CAPITOL DRIVE
BROOKFIELD, WI 53045
PHONE: (262) 796-1480
FAX: (262) 796-1481
EMAIL: j.pudzelko@strigelagacki.com



PROJECT:
1601 N. JACKSON STREET
1601 N. JACKSON STREET
Milwaukee, Wisconsin
BY:
Dermond Property Investments LLC
757 N. Water Street, Milwaukee, WI 53202

PLAN DATE:
MARCH 2, 2012

JOB NUMBER:
11032

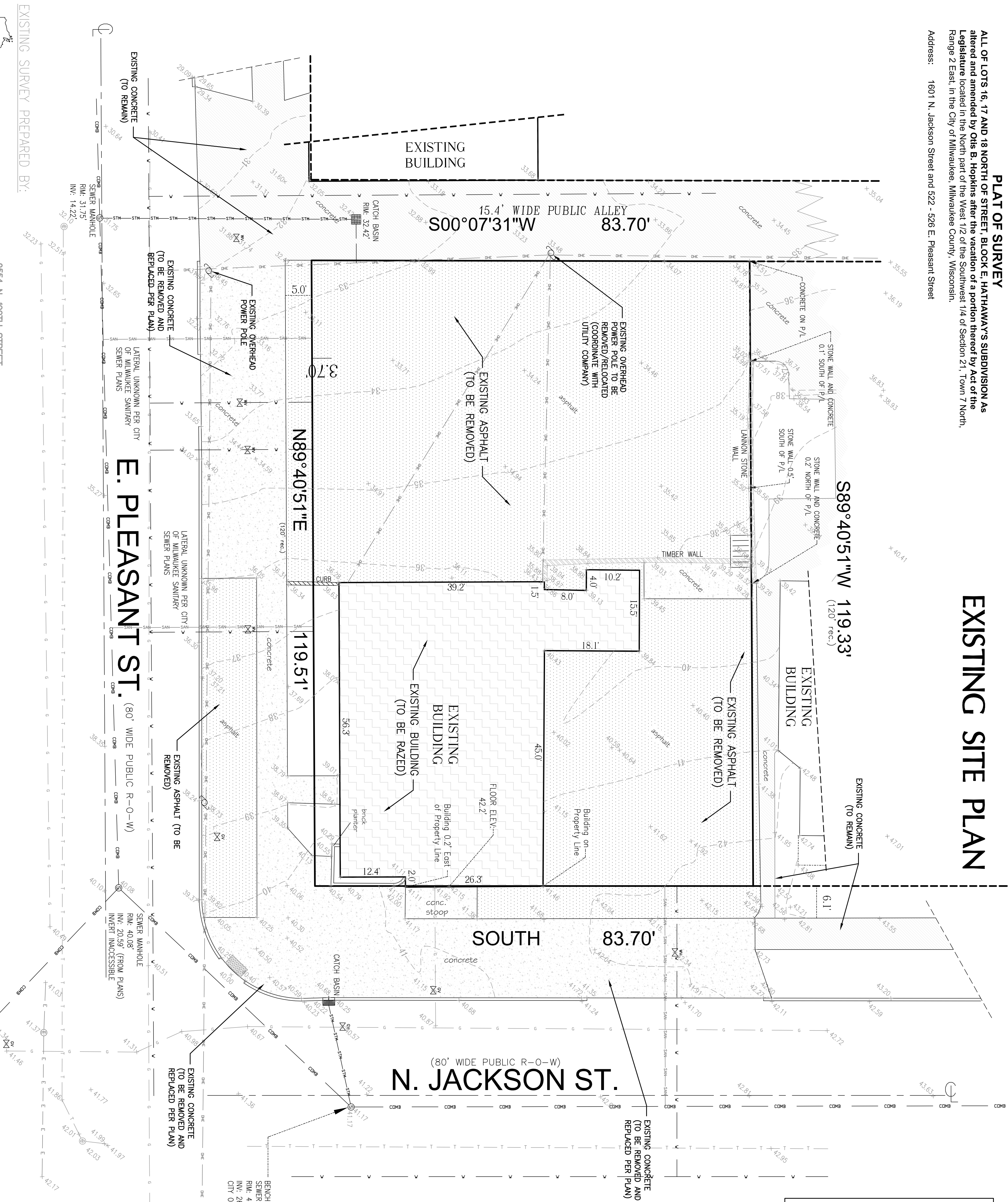
DESCRIPTION:
COVER SHEET

SHEET

T1

PLAT OF SURVEY
ALL OF LOTS 16, 17 AND 18 NORTH OF STREET, BLOCK E, HATHAWAY'S SUBDIVISION AS
 altered and amended by Otis B. Hopkins after the vacation of a portion thereof by Act of the
 Legislature located in the North part of the West 1/2 of the Southeast 1/4 of Section 21, Town 7 North,
 Range 2 East, in the City of Milwaukee, Milwaukee County, Wisconsin.
 Address: 1601 N. Jackson Street and 522 - 526 E. Pleasant Street

EXISTING SITE PLAN



EXISTING SITE DATA

LOT ZONED:	LB2 District
LOT AREA:	9,995.1 S.F. (0.23 Acres)
EXISTING PAVEMENT & SIDEWALK	7,276.1 S.F. (0.167 Acres)
EXISTING BUILDING	2,496.6 S.F. (0.057 Acres)
TOTAL IMPERVIOUS AREA:	9,772.7 S.F. (0.224 Acres) [97.78% of Site]
TOTAL OPEN SPACE:	222.4 S.F. (0.005 AC.) [2.22% of Site]

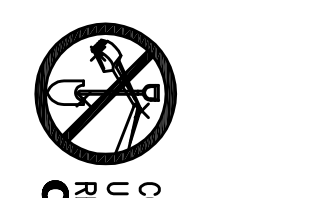
LEGEND

- X 36.00 - DENOTES EXISTING SPOT ELEVATION
- P/L - DENOTES PROPERTY LINE
- - DENOTES CATCH BASIN
- - DENOTES UTILITY POLE
- ⊗ - DENOTES WATER VALVE
- ⊗ - DENOTES GAS VALVE
- ⊗ - DENOTES ELECTRIC MANHOLE
- ⊗ - DENOTES WEP/O MANHOLE
- ⊗ - DENOTES SEWER MANHOLE
- - DENOTES OVERHEAD UTILITY
- - DENOTES UNDERGROUND GAS
- - DENOTES UNDERGROUND WATER
- - DENOTES UNDERGROUND TELECOMMUNICATION
- - DENOTES UNDERGROUND ELECTRIC
- - DENOTES UNDERGROUND SANITARY SEWER
- - DENOTES UNDERGROUND COMBINED SEWER
- - DENOTES STORM SEWER
- - DENOTES SANITARY SEWER
- - DENOTES UNDERGROUND ELECTRIC
- - DENOTES UNDERGROUND TELECOMMUNICATION
- - DENOTES UNDERGROUND WATER

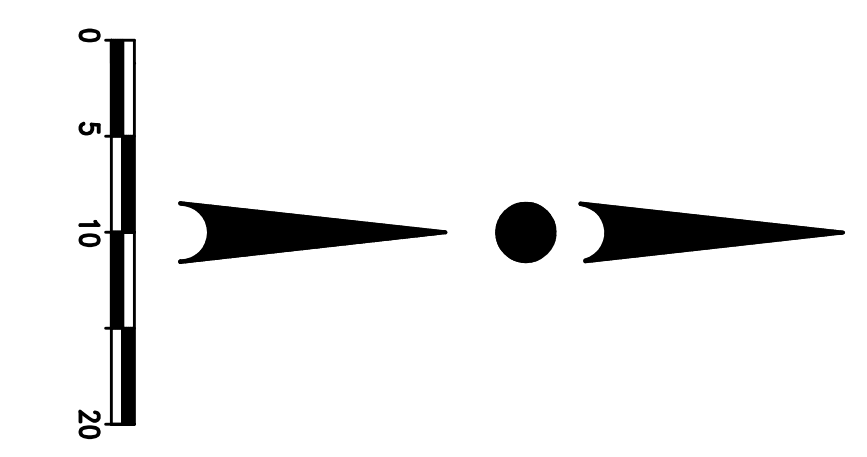


2554 N. 100TH STREET
 P.O. BOX 26596
 WAUWATOSA, WISCONSIN 53226
 (414) 257-2212 FAX: (414) 257-2443

NOTES:
 * THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.*



CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE
CALL DIGGERS HOTLINE 1-800-242-8511

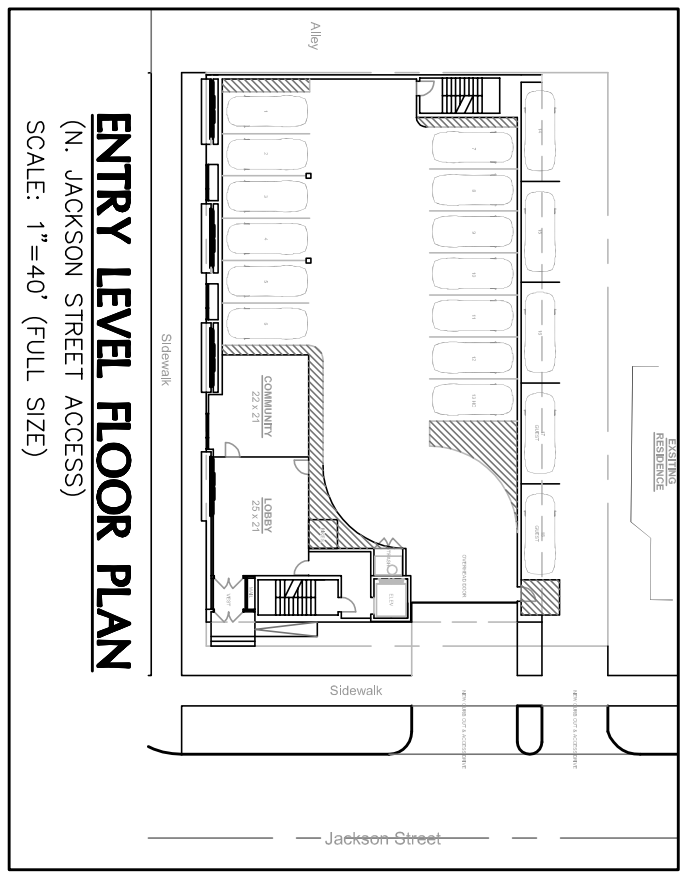
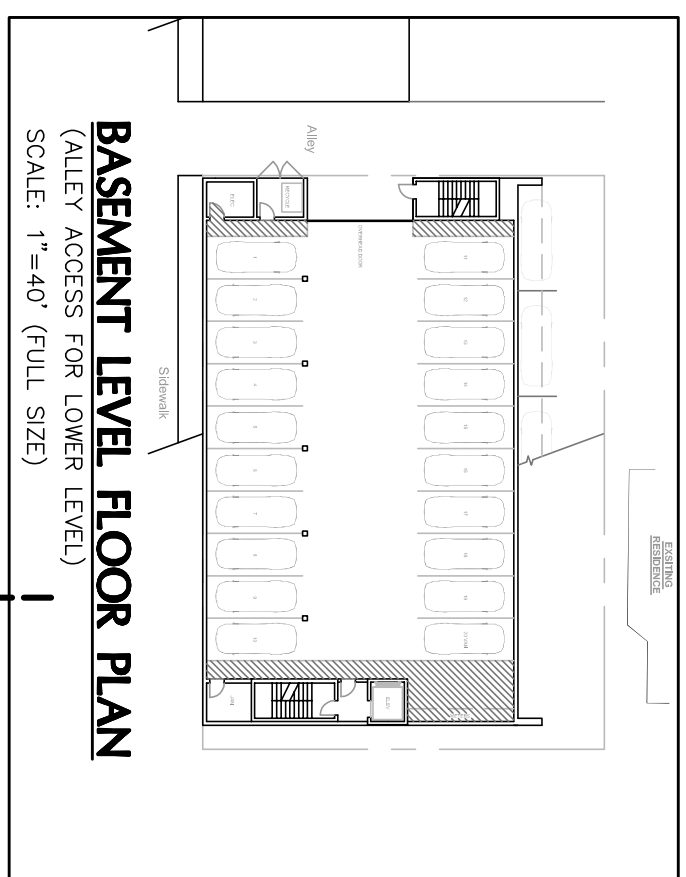


	<p>strigel-agacki studio architects milwaukee - los angeles</p>		<p>17700 W. CAPITOL DRIVE BROOKFIELD, WI 53045 PHONE: (262) 796-1480 FAX: (262) 784-1481 EMAIL: j.fudejko@strigelagacki.com</p>	<p>CATALYST CONSTRUCTION BUILDING YOUR VISION</p>
<p>PROJECT: 1601 N. JACKSON STREET 1601 N. JACKSON STREET Milwaukee, Wisconsin</p> <p>BY: Dermond Property Investments LLC 757 N. Water Street, Milwaukee, WI 53202</p>				
<p>PLAN DATE: MARCH 2, 2012</p>				
<p>JOB NUMBER: 1032</p>				
<p>DESCRIPTION: EXISTING SITE PLAN</p>				
<p>SHEET</p>				
<p>C10</p>				

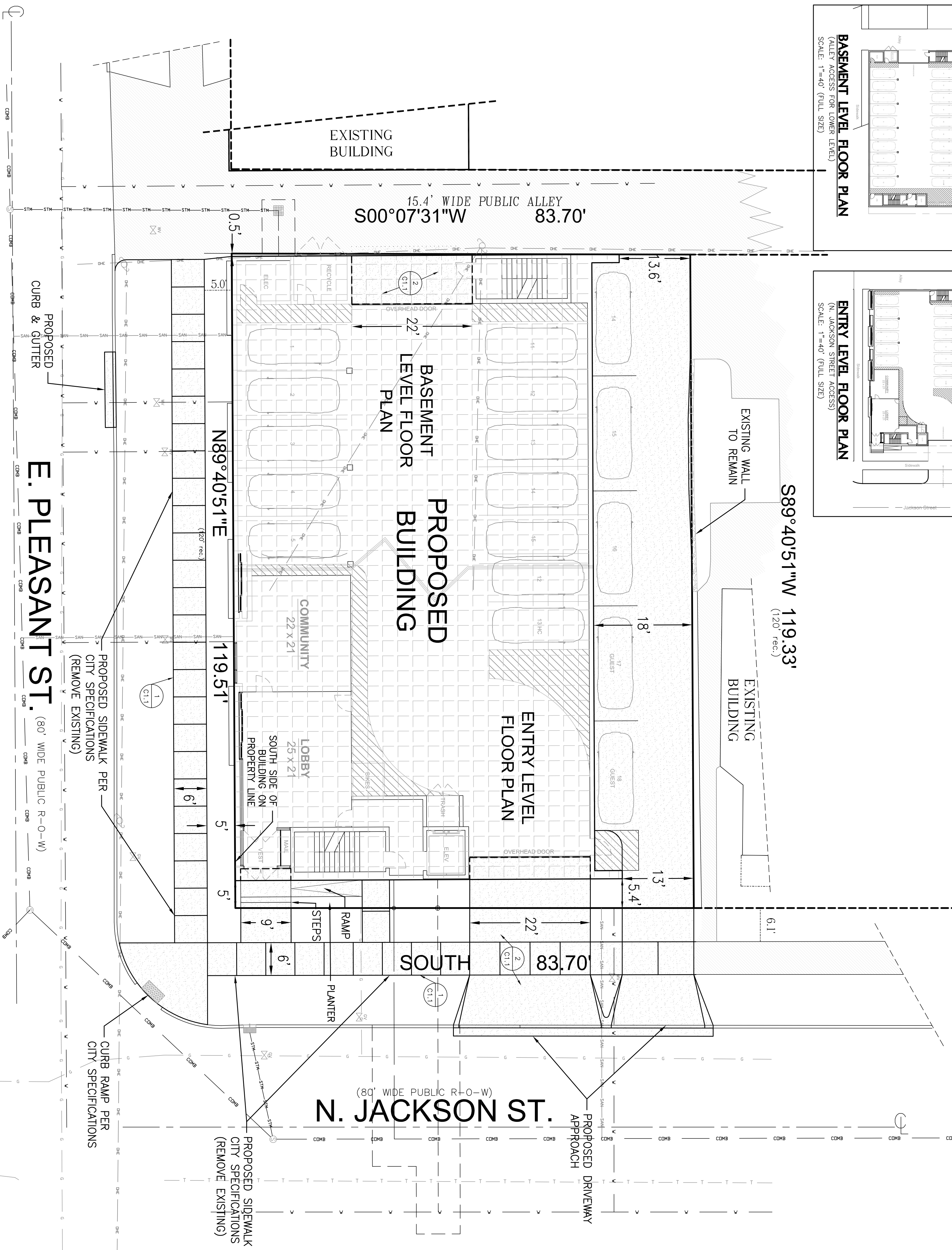


CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES BEFORE BEGINNING THE WORK. IN ACCORDANCE WITH WISCONSIN STATUTE 182.0715 CALL DIGGERS HOTLINE 1-800-942-8311

NOTE: EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED SURVEYING ASSOCIATES, INC. FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.

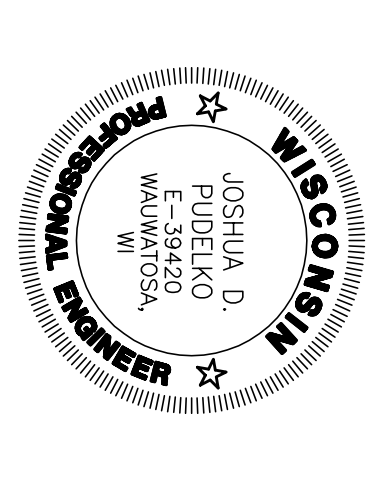
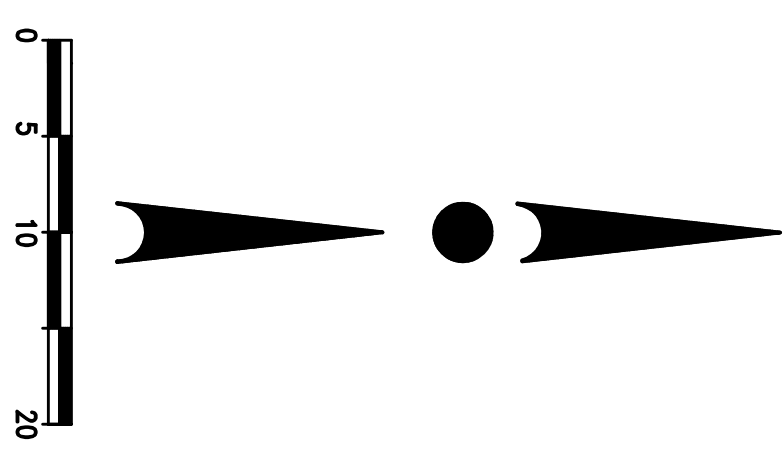
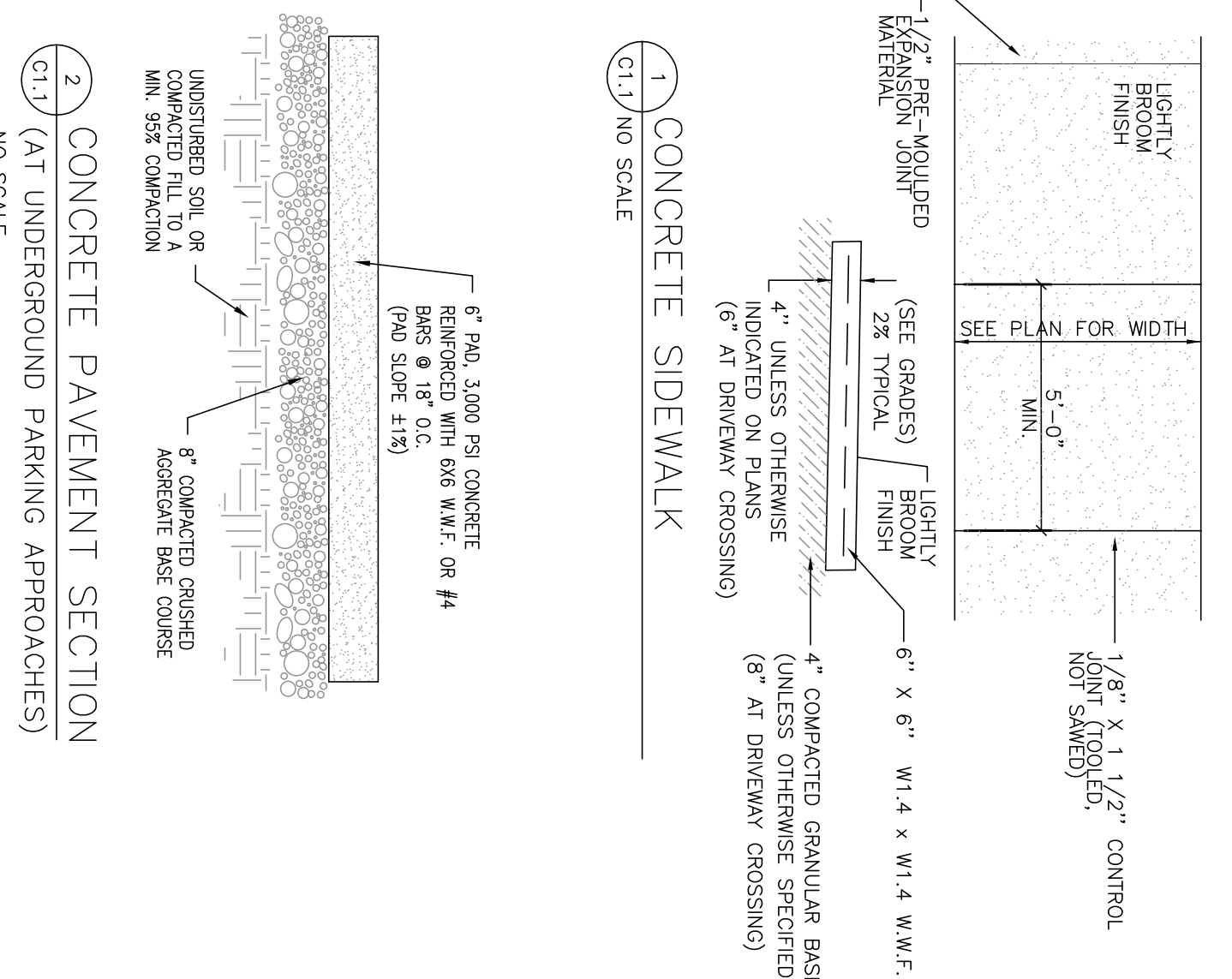


PROPOSED SITE PLAN



SITE DATA

EXISTING ZONING:	LB2
PROPOSED ZONING:	DPD
* Sec 295-05-2-f: The lot coverage standards set forth in table 295-05-2 relate to the proportion of a lot occupied by principal buildings. Accessory structures shall not be included when determining principal building lot coverage)	
LOT AREA:	9,995.1 S.F. (0.23 Acres)
BUILDING FOOTPRINT (maximum):	7,501 S.F. (0.172 Acres) [75% of Lot]
PROPOSED PAVEMENT & SIDEWALK: - Outside building footprint:	2,336 S.F. (0.054 Acres) [23.37% of lot]
TOTAL IMPERVIOUS AREA:	9,837 S.F. (0.226 Acres) [98.42% of Lot]
TOTAL OPEN SPACE:	158.1 S.F. (0.036 Acres) [1.58% of Lot]
PARKING SPACES:	38 SPACES ON SITE
OPEN SPACE CREATED IN RIGHT-OF-WAY:	2,362 S.F. (0.054 Acres)
STORM WATER MANAGEMENT is not required per MMSD and City requirements because the total land disturbance is less than 1 acre and no additional impervious area of 0.5 acres or more is added (the project has no net increase in impervious area).	



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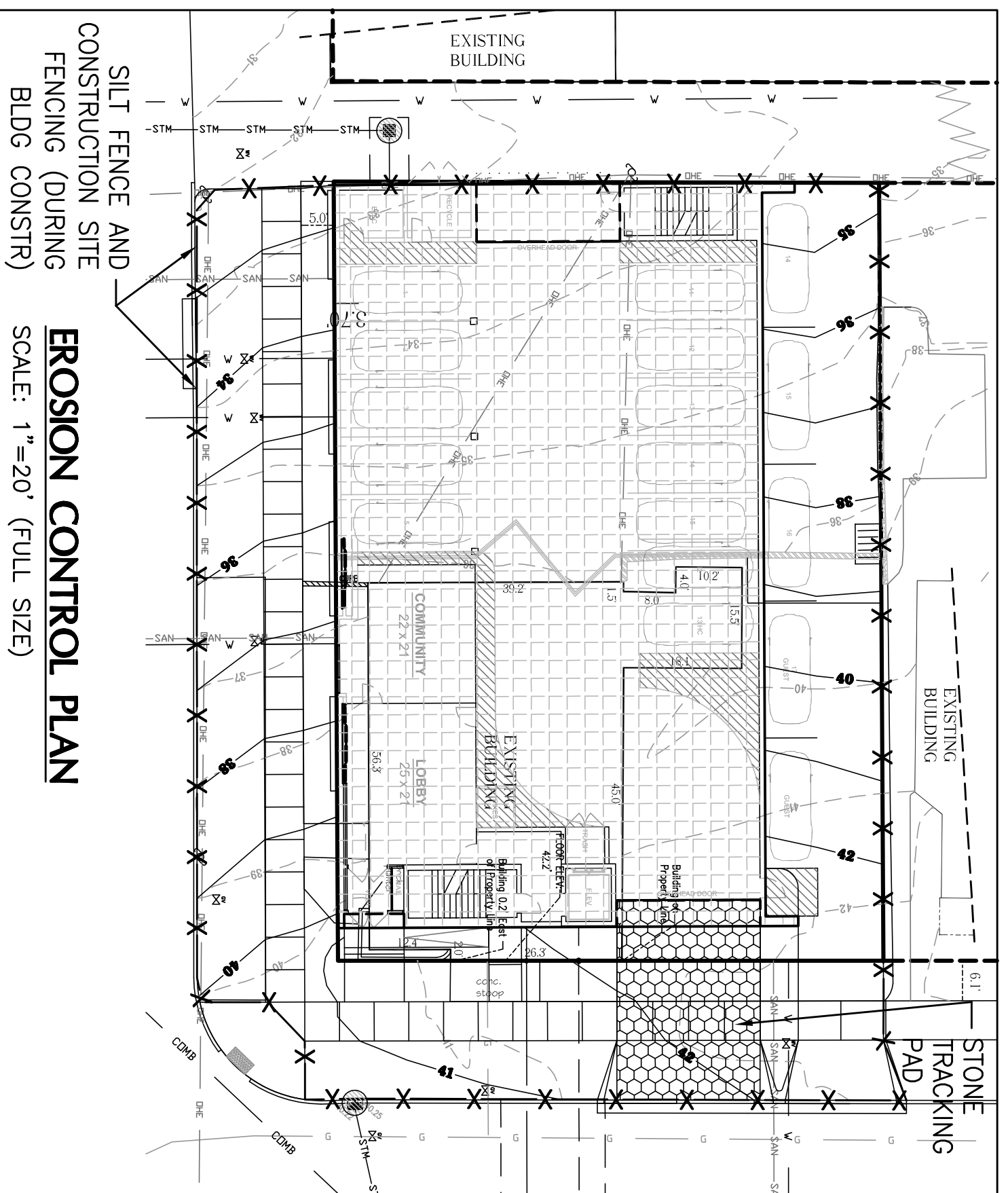
JOB NUMBER:
11032

DESCRIPTION:
PROPOSED SITE PLAN

SHEET

C11

MASTER GRADING & EROSION CONTROL PLAN



CONSTRUCTION SEQUENCE PLAN

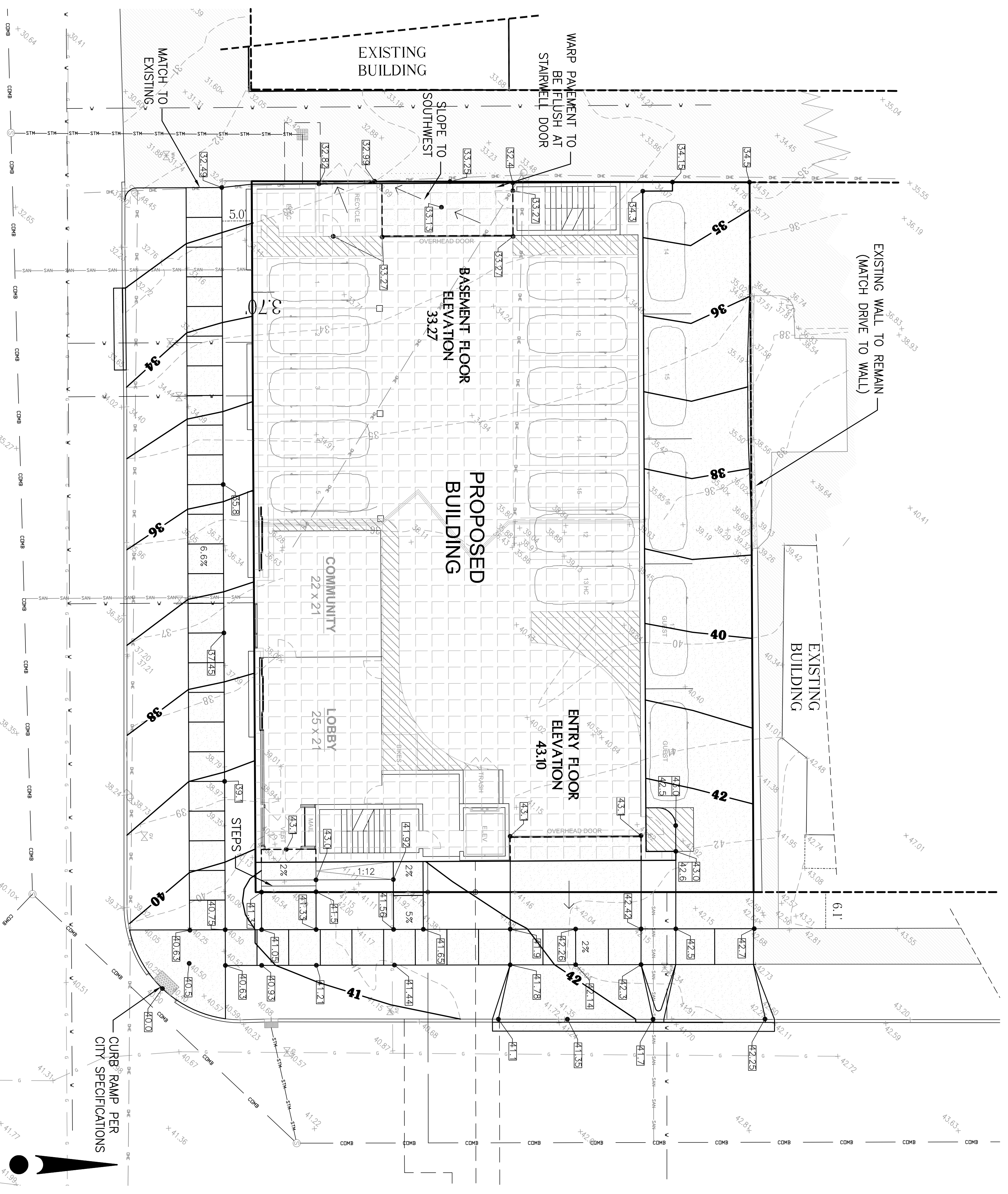
1. INSTALL SILT FENCE, CONSTRUCTION FENCE AND TRACKING PAD. RAZE EXISTING BUILDING AFTER SECURING ALL REQUIRED PERMITS FROM CITY. INCLUDES DISCONNECTING EXISTING UTILITIES AND PROPERLY DISPOSING OF DEMOLITION MATERIAL.
2. REMOVE EXISTING ON-SITE PAVEMENT AND WALLS AS NEEDED FOR BUILDING CONSTRUCTION.
3. ROUGH GRADE SITE AND REMOVE EXCESS SPILLS.
4. RELOCATE UTILITY LINES ALONG ALLEY AND OTHER AREAS AS NECESSARY FOR BUILDING CONSTRUCTION.
5. INSTALL SANITARY SEWER AND WATER LATERALS. CONNECT BUILDING STORM SEWER DRAIN TO CATCH BASIN IN ALLEY. CONTACT CITY AND/OR WMSD PRIOR TO CONNECTING TO THE EXISTING SYSTEMS.
6. INSTALL NEW GAS/ELECTRIC/TELEPHONE UTILITIES PER PLANS BY OTHERS. REMOVE EXISTING DRIVEWAY, SIDEWALK AND CURB SECTIONS WITHIN PUBLIC RIGHT-OF-WAY (WITH CITY PERMIT AND PRIOR NOTICE).
7. INSTALL STONE BASE PAVEMENT AND SIDEWALK PER PLAN.
8. SPREAD TOPSOIL, SEED, MULCH AND STABILIZE DISTURBED AND PROPOSED OPEN SPACE AREAS.
9. INSTALL LANDSCAPING PER PLAN.
10. REMOVE ANY REMAINING SILT FENCE AND CONSTRUCTION FENCE.
11. NOTE THAT CONSTRUCTION MANAGER MAY MODIFY THIS SEQUENCE PLAN TO BEST SUIT THE NEEDS OF THE PROJECT.

STANDARD DETAIL DRAWINGS:

- WISCONSIN DEPARTMENT OF NATURAL RESOURCES CONSERVATION PUBLICATION STANDARD
- 1059 - SILT FENCE
- 1057 - STONE TRACKING PAD AND THE WASHING
- 1060 - STORM DRAIN INLET PROTECTION

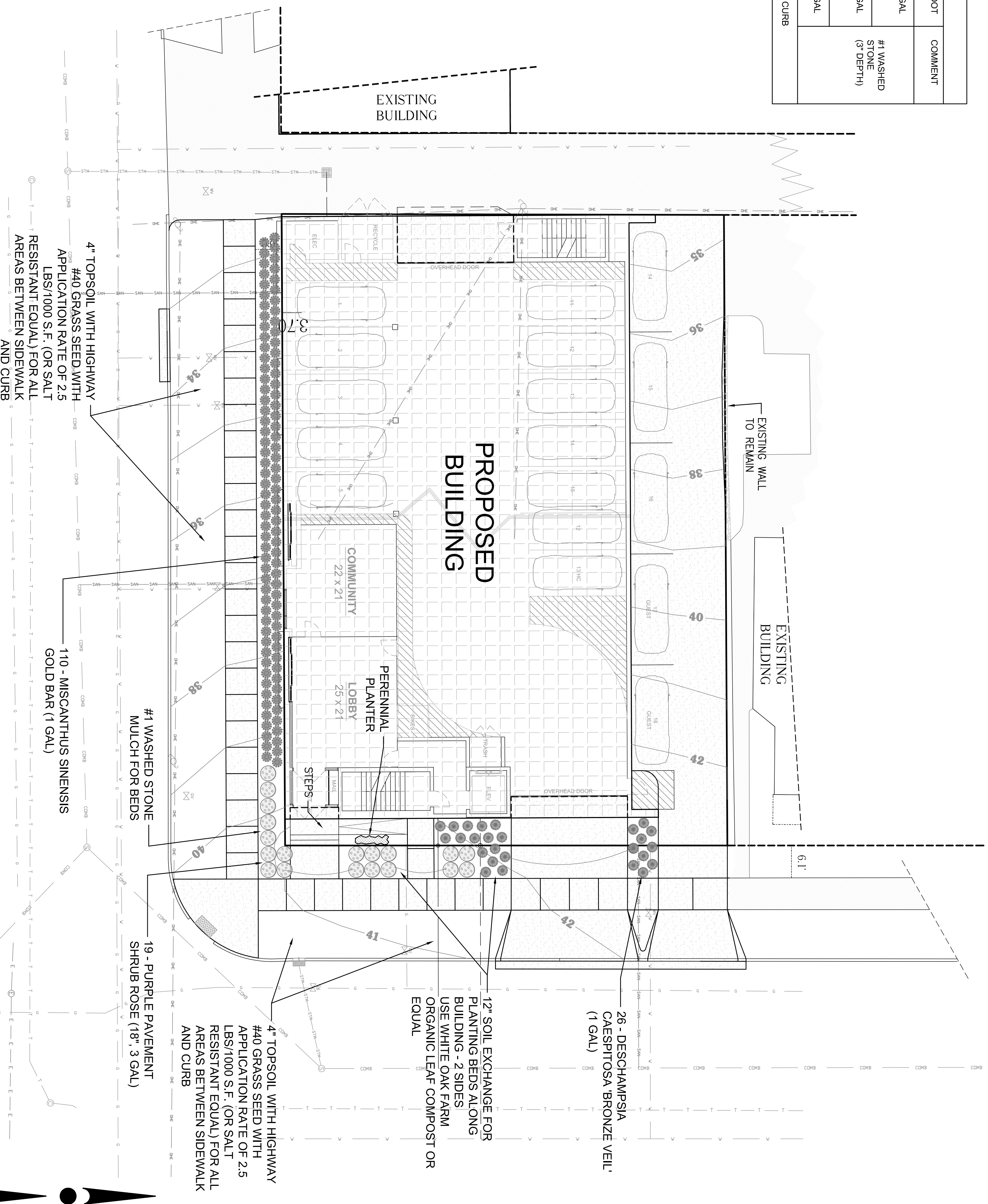
EROSION CONTROL NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, STATE OF WISCONSIN, LATEST EDITION, UNLESS OTHERWISE CALLED FOR ON THE PLANS, SPECIFICATIONS OR SPECIAL AGREEMENTS.
2. EROSION CONTROL MEASURES SPECIFIED ON THIS PLAN SHALL MEET THE DESIGN CRITERIA, STANDARDS AND SPECIFICATIONS AS SET FORTH IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS.
3. ALL EROSION CONTROL DEVICES (I.E. SILT FENCE, GRAVEL ENTRANCE, ETC.) SHALL BE INSTALLED PRIOR TO COMMENCING ALL GRADING OR UTILITY CONSTRUCTION.
4. EXPOSED AT ANY ONE TIME, REFER TO THE CONSTRUCTION SEQUENCING PLAN FOR ADDITIONAL INFORMATION.
5. THE OWNER IS RESPONSIBLE FOR OBTAINING A GRADING AND/OR EROSION CONTROL PERMIT (OR ANY OTHER APPLICABLE PERMITS) PRIOR TO CONSTRUCTION.
6. THE OWNER WILL PROVIDE ALL SUPERVISING AND CONSTRUCTION STAKING FOR THIS CONTRACT. THE CONTRACTOR SHALL EXERCISE CARE AND DILIGENCE IN PROTECTING THE SAME. ANY EXPENSE INCURRED FOR ADDITIONAL RESTAYING CAUSED BY CONTRACTOR'S NEGLIGENCE MAY BE CHARGED TO THE CONTRACTOR AND DEDUCTED FROM THE Sums DUE HIM UNDER THIS CONTRACT.
7. THE CONTRACTOR SHALL NOTIFY DIGGERS HOTLINE. ALL UTILITIES CITY DEPARTMENTS AND GOVERNMENT UNITS WHOSE PROPERTY MAY BE AFFECTED BY THE CONTRACTOR'S OPERATIONS AT LEAST THREE (3) DAYS BEFORE BREAKING GROUND. PUBLIC ROADS SHALL NOT BE CLOSED TO TRAFFIC AT ANY TIME. ALL INGRESS AND EGRESS TRAFFIC TO THE PROJECT SHALL BE LIMITED TO THE EXISTING AND/OR GRAVEL ENTRANCE TO THE PROPERTY.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE CLEANLINESS OF THE PROJECT AND PUBLIC ROADWAYS DURING CONSTRUCTION PER THE REQUIREMENTS SET FORTH BY THE LOCAL AND COUNTY AGENCIES. STREETS SHALL BE KEPT FREE OF SILT OR DIRT TRACKED FROM AREAS UNDER CONSTRUCTION BY SWEEPING OR OTHER APPROPRIATE MEASURES. DUST GENERATED BY CONSTRUCTION ACTIVITIES SHALL BE MINIMIZED BY USE OF WATERING, CALCIUM CHLORIDE SURFACE TREATMENT, CONSTRUCTION SCHEDULING OR OTHER APPROPRIATE METHODS.
9. SILT FENCE SHALL BE PLACED AROUND THE INLET STRUCTURE UNTIL SUCH TIME AS THE AREA HAS BEEN ESTABLISHED. FREQUENT INSPECTION AND TIMELY MAINTENANCE IS REQUIRED.
10. UPON COMPLETION OF THE WORK AS SPECIFIED, RESPAWD SIX (6") INCHES OF SALVAGED TOPSOIL OVER ALL DISTURBED AREAS AND PROVIDE SEED, FERTILIZER AND MULCH PER THE STANDARD SPECIFICATIONS.
11. ALL DISTURBED AREAS INSIDE AND OUTSIDE OF THE ROAD RIGHT OF WAY SHALL BE REVEGETATED WITHIN SEVEN DAYS AFTER BEING DISTURBED. HIGHWAY MIX #40 SHALL BE USED FOR SEEDING WITH AN APPLICATION RATE OF 2.5 LBS/1000 SF.
12. ALL EROSION CONTROL DEVICES SHALL BE ROUTINELY INSPECTED EVERY SEVEN DAYS AND WITHIN 24 HOURS OF A RAINFALL GREATER THAN 0.5 INCHES. CONTRACTOR IS REQUIRED TO PERFORM INSPECTIONS, KEEP A LOG, AND REPAIR BMP'S AS NEEDED.



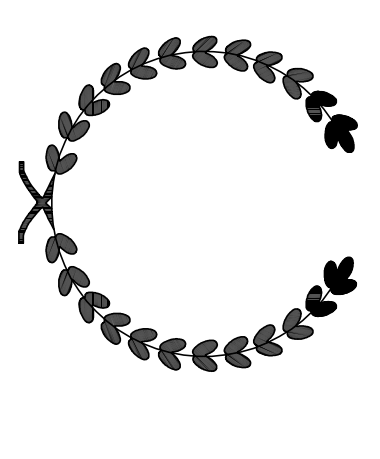
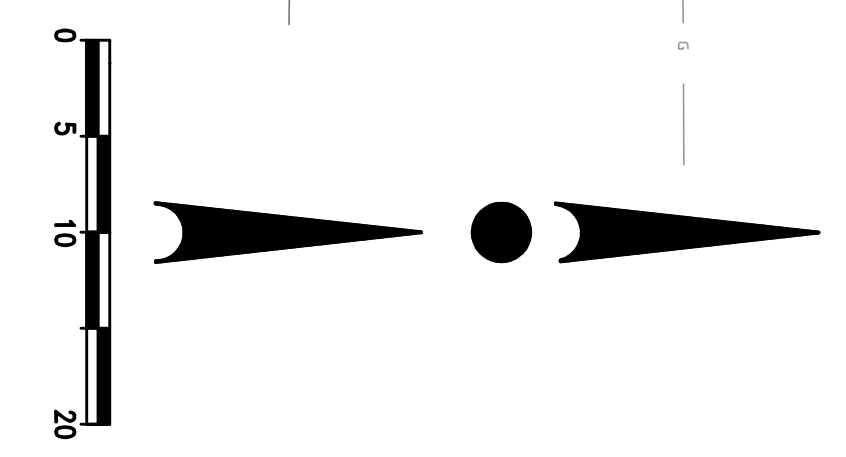
PROPOSED LANDSCAPE PLAN

LANDSCAPE PLANTING SCHEDULE					
QUANTITY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE	ROOT	COMMENT
19	ROSA X PURPLE PAVEMENT	PURPLE PAVEMENT SHRUB ROSE	18"	3 GAL	#1 WASHED STONE (3' DEPTH)
110	MISCANTHUS SINENSIS 'GOLD BAR'	'GOLD BAR' MISCANTHUS	CONT	1 GAL	
26	DESCHAMPSIA CAESPITOSA	'BRONZE VEIL'	CONT	1 GAL	
1,900 S.F. OF GRASS TERRACE BETWEEN SIDEWALK AND BACK OF CURB					



CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO BEGINNING THE WORK. IN WISCONSIN STATUTE 192.0715 PROVIDES THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF UTILITIES. CALL DIGGERS HOTLINE 1-800-242-8511

NOTE: EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED SURVEYING ASSOCIATES, INC. FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.



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PROJECT:
1601 N. JACKSON STREET
1601 N. JACKSON STREET
Milwaukee, Wisconsin
BY:
Dermond Property Investments LLC
757 N. Water Street, Milwaukee, WI 53202

PLAN DATE:
MARCH 2, 2012

JOB NUMBER:
11032

DESCRIPTION:
PROPOSED
LANDSCAPE
PLAN
SHEET

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