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236 S. Water Street, Milwaukee, WI DETAILED PLAN DEVELOPMENT PACKAGE

RIVIANNA DEVELOPMENT TEAM The Rivianna Group LLC, Madison, WI & Portland, OR

LEAD/DESIGN ARCHITECT 3rd COAST DESIGN CONCEPTS, LLC Milwaukee, WI & Portland, OR

DESIGN/PRODUCTION ARCHITECT

Dimension IV - Madison Madison, WI

DESIGN CONSULTANT /LANDSCAPE ARCHITECT Landscape Architects, Inc Milwaukee, WI

STRUCTURAL ENGINEER Arnold and O'Sheridan Milwaukee & Madison, WI

MECHANICAL ELECTRICAL,
PLUMBING, FIRE
PROTECTION
AND TECHNOLOGY
ENGINEERS Arnold and O'Sheridan Milwaukee & Madison, WI

CIVIL ENGINEER CJ Engineering Services Waukesha, WI

LEED CONSULTANT Josh Arnold, LEED

Madison, WI FURNITURE DESIGN CONSULTANT Glasgow, Scotland

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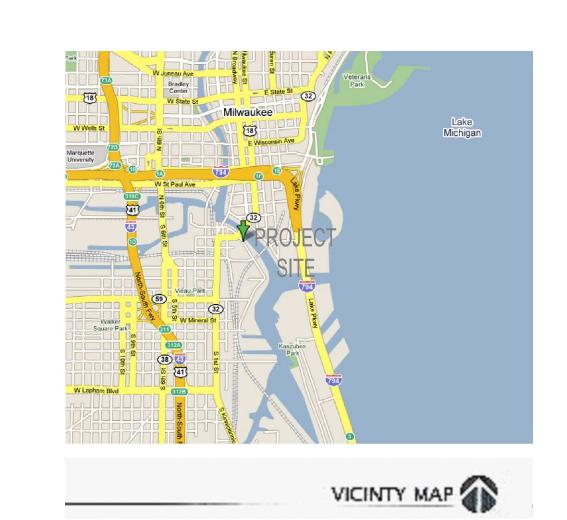
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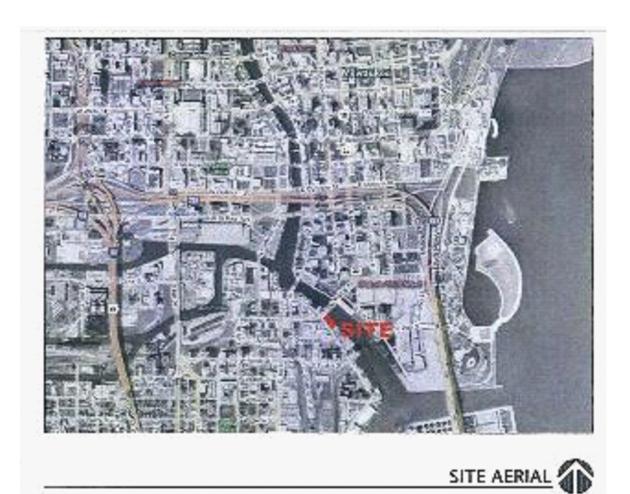
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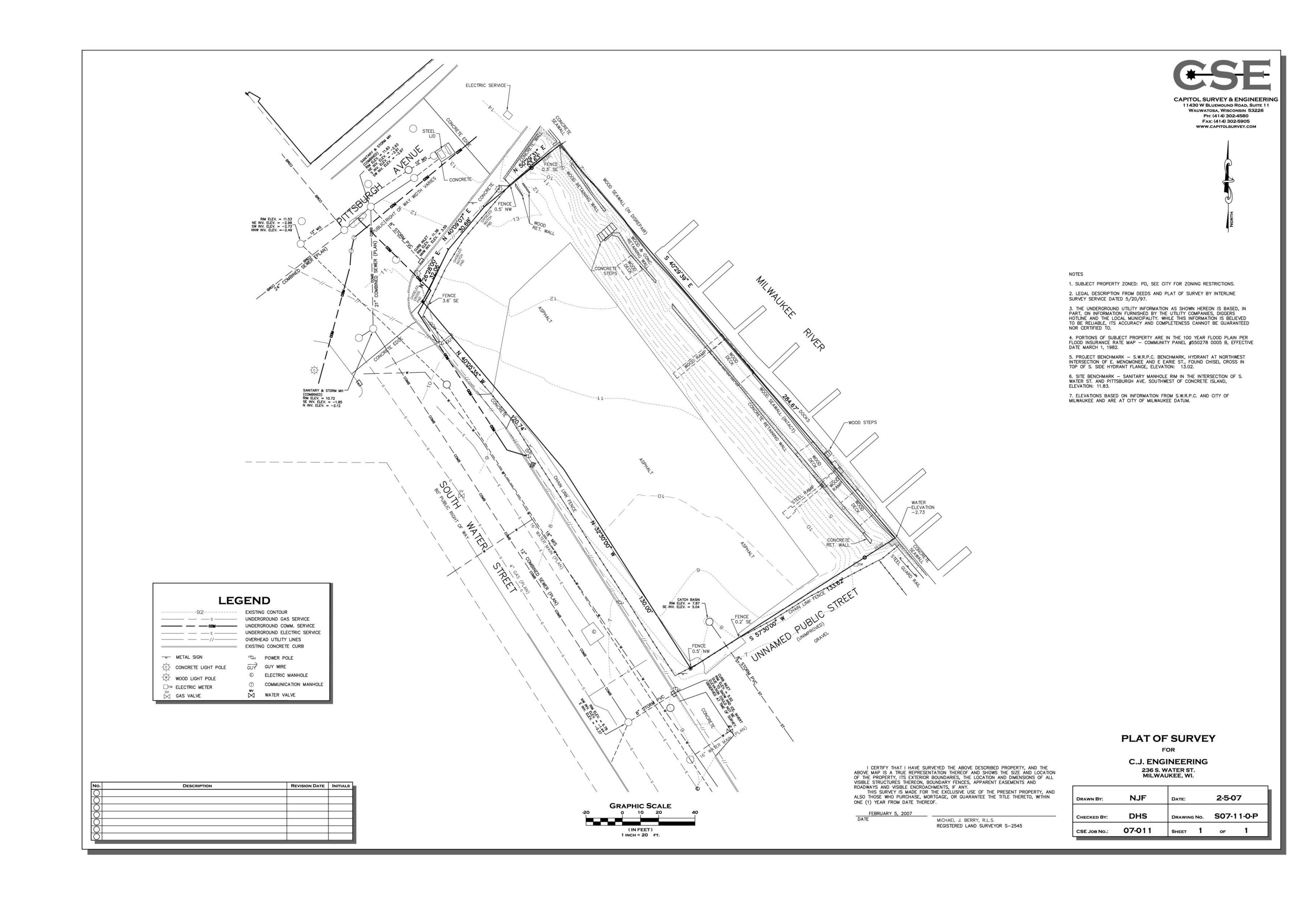
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RIVIANNA

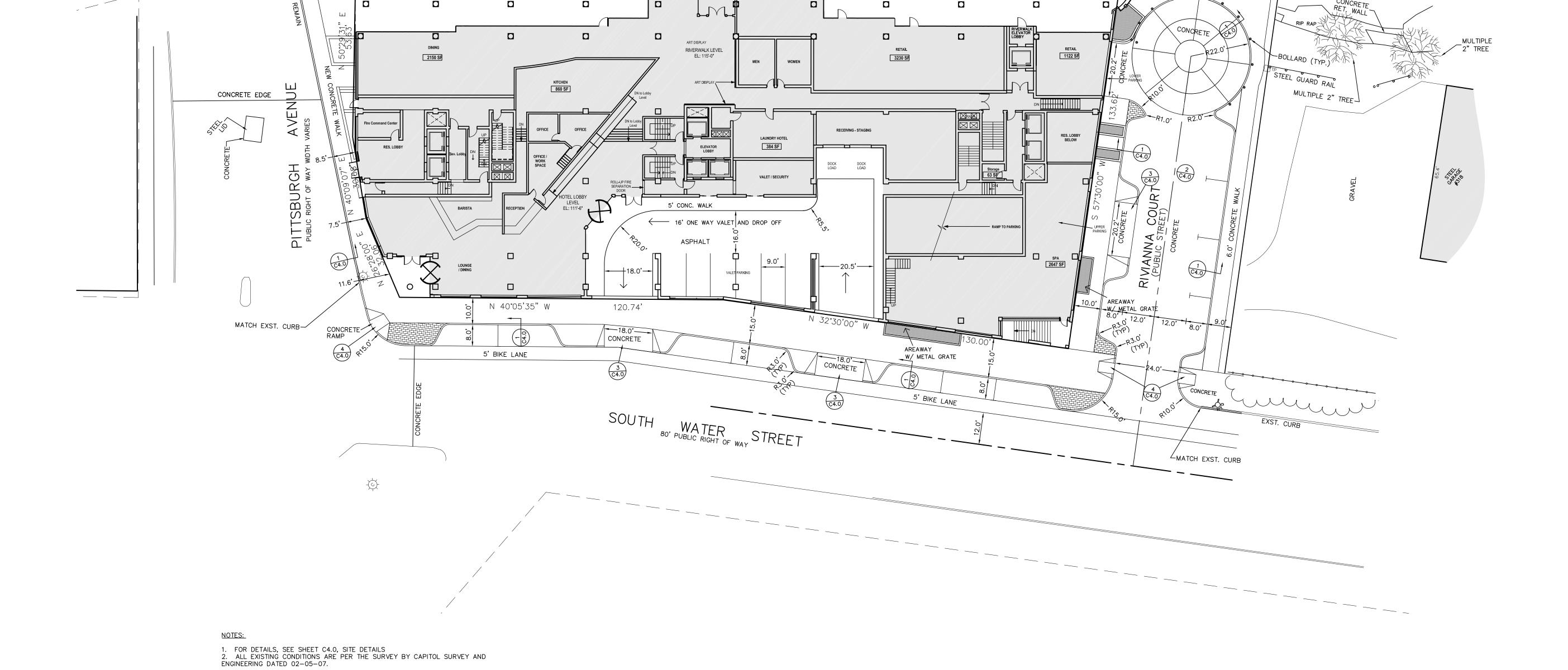
CJE NO.: 0605R4 JUNE 19, 2009

C10

SHEET 1 OF *

SITE PLAN

RAMP ——

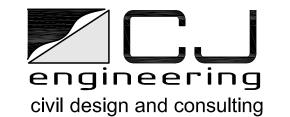


GRAPHIC SCALE

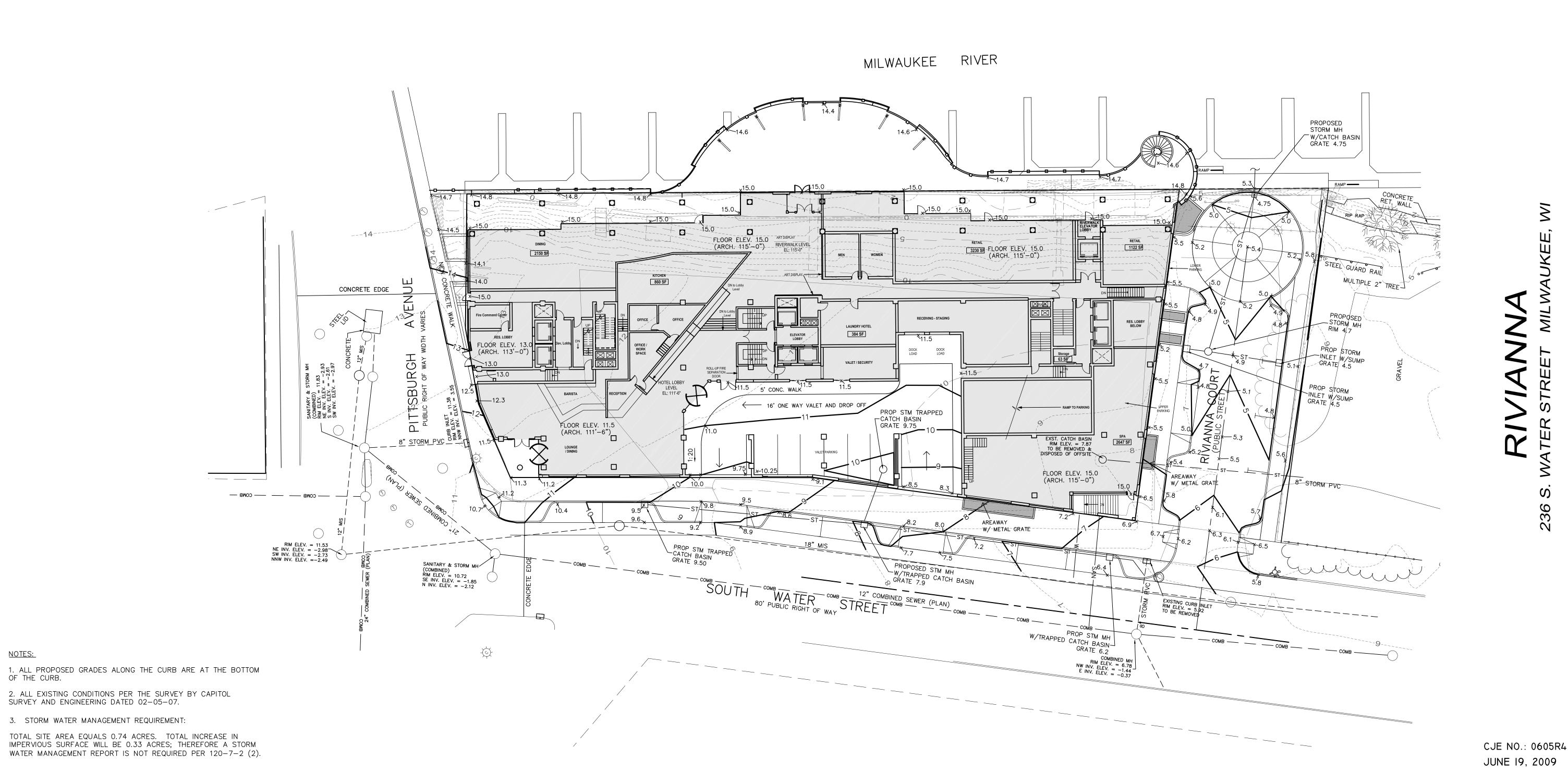
1 inch = 20 ft

MILWAUKEE RIVER

284.67



13005 W. Bluemound Rd. Suite 250 Brookfield, WI 53005 PH. (262) 641-2848 FAX (262) 641-2871 www.cj-engineering.com



TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN CALL DIGGERS HOTLINE

1-800-242-8511

TOLL FREE

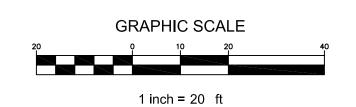
WS STATUTE 182.0175(1974)
REQUIRES MIN. 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE

MIN. APPEA 250-2181

NOTES:

OF THE CURB.

LEGEND				
12	EXISTING CONTOUR			
10 —	PROPOSED CONTOUR			
x 6.5	PROPOSED ELEVATION			
ST	PROPOSED STORM SEWER			





Suite 250 Brookfield, WI 53005 PH. (262) 641-2848 FAX (262) 641-2871 www.cj-engineering.com

MILWAUKEE RIVER 8'± 8" PVC STORM _STORM @ S=0.0052'/' INVERT @ RIVER = 0.00± PROVIDE EXIT IN RIVER WALL PROPOSED STORM INLET W/SUMP #5 [−] GRATE 4.75 8" NE 0.10 8" SW 0.15 8 8 /8 8 8 284.67 S 40°29'39" E ART DISPLAY RIVERWALK LEVEL EL: 115'-0" 3230 SF STEEL GUARD RAIL KITCHEN 860 SF MULTIPLE 2" TREE_ CONCRETE EDGE STORM MH RIM 4.70 -8" NE 0.50 6" NW/0.65 384 SF 6" SE/ 0.65 PROPOSED STORM __INLET W/SUMP #7 GRATE 4.50 VALET / SECURITY ROPOSED STORM 6" N₩ 0.81 _ET W/SUMP #9_ GRATE 4.50 5' CONC. WALK 6" SE 0.70 30'6" PVC STORM __SEWER @ S=0.0052'/'. STORM TRAPPED ← 16' ONE WAY VALET AND DROP OFF CATCH BASIN #3 GRATE 9.75 22' 6" PVC STORM MANHOLE 6"SW 3.46 (TØ BE ADJUSTED) SEWER @ S=0.0208 '/' EXST. CATCH BASIN
RIM ELEV. = 7.87
TO BE REMOVED &
DISPOSED OF OFFSITE 2647 SF 236 REMOVE EXST. STORM SEWER FROM CATCH BASIN TO R.O.W. AND PROVIDE 8" STORM PVC W/ METAL GRATE 120.74 N 40°05'35" W GÜY ____ COMB ____ COMB ___ AREAWAY W/ METAL GRATE NOTES: RIM ELEV. = 11.53 NE INV. ELEV. = -2.98 SW INV. ELEV. = -2.73 NNW INV. ELEV. =-2.49 1. ALL STORM SEWER, SANITARY SEWER, AND WATER MAIN MATERIALS AND INSTALLATION WATER VALVE
TO BE ADJUSTED PER APPLICABLE SECTIONS OF THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, WISCONSIN ADMINISTRATIVE PLUMBING CODE AND THE CITY OF MILWAUKEE REQUIREMENTS. (COMBINED)
RIM ELEV. = 10.72
SE INV. ELEV. = -1.85
N INV. ELEV. = -2.12 2. ALL TRENCHES IN PAVEMENT AREAS SHALL HAVE GRAVEL BACKFILL. STREET SEWER (PLAN) 3. * EXACT SIZE AND LOCATION OF SANITARY AND WATER SERVICE TO PROPOSED PROPOSED STORM TRAPPED CATCH BASIN #4 GRATE 9.2 BUILDINGS BY PLUMBING CONSULTANT/CONTRACTOR. 4. PROPOSED WATER MAIN SHALL HAVE A MINIMUM 6 FEET OF COVER. 88' 6" PVC STORM SEWER @ S=0.0104 '/'. 6" SE 2.92 TELEPHONE MANHOLE 5. THE CONTRACTOR SHALL VERIFY ALL SEWER AND WATER CONNECTIONS PRIOR TO 99' 8" PVC STORM SEWER @ S=0.0052 '/'. UTILITY CONSTRUCTION. NOTIFY THE ENGINEER WITH ANY DISCREPANCIES. PROPOSED STORM

TRAPPED CATCH BASIN #2

GRATE 7.90 6. ALL EXISTING CONDITIONS ARE PER THE SURVEY BY CAPITOL SURVEY AND ENGINEERING DATED 02-05-07. COMBINED MH RIM ELEV. = 6.78 NW INV. ELEV. = -1.44 E INV. ELEV. = -0.37 7. ALL ABOVE AND BELOW GROUND ELECTRICAL UTILITIES IN CONFLICT WITH PROPOSED 6" NW 2.00 **16.0'± 8" PVC STORM CONDITIONS SHALL BE REMOVED AND/OR RELOCATED AT THE EXPENSE OF THE DEVELOPER 6" E 3.00 8" SE 1.75 8" WATER COMBINED -SEWER

-CONTRACTOR SHALL PROVIDE 2-45° BENDS
TO CONNECT TO EXISTING STORM SEWER.

APPROXIMATE CONNECTION ELEVATION = 0.10

LEGEND ---- EXISTING STORM SEWER — PROPOSED STORM SEWER ——————— EXISTING SANITARY SEWER — PROPOSED SANITARY SEWER ———— — W———— EXISTING WATER MAIN -- PROPOSED WATER MAIN

8. ALL ROOF WATER SHALL BE DIRECTED AND DISCHARGED DIRECTLY TO THE RIVER.

EXACT SIZE AND LOCATION OF DISCHARGE BY PLUMBING CONSULTANT/CONTRACTOR.

AND IN COORDINATION WITH THE UTILITY COMPANY.

GRAPHIC SCALE 1 inch = 20 ft

**NOTE FOR CONNECTION: CONTRACTOR SHALL LOCATE, INSPECT AND VERIFY EXISTING 8" STORM SEWER AND PROVIDE CONNECTION PER CITY OF MILWAUKEE STANDARDS. REMAINING STORM SEWER AND CATCH BASIN SHALL BE ABANDONED OR REMOVED AND DISPOSED OF OFFSITE.

PROPOSED STORM
TRAPPED CATCH BASIN #1

8" NW 1.23

SERVICE

CAUTION: CONTRACTER SHALL VERIFY—
PRIOR TO MAKING CONNECTION FOR SANITARY

* 8" SAN. LAT.

SITE UTILITY PLAN

CJE NO.: 0605R4

JUNE 19, 2009

Brookfield, WI 53005

PH. (262) 641-2848 FAX (262) 641-2871

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EROSION CONTROL PLAN

CONSTRUCTION SCHEDULE

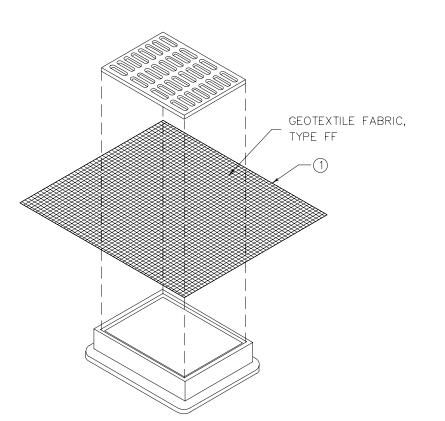
- OBTAIN PLAN APPROVAL AND OTHER APPLICABLE PERMITS.
 FLAG THE WORK LIMIT AND BUFFER AREA FOR PROTECTION.
- 3. INSTALL SILT FENCE. 4. INSTALL CONSTRUCTION EXIT.
- 3. INSTALL INLET PROTECTION IN ALL EXISTING INLETS. 4. BEGIN SITE PREPARATION INCLUDING ASPHALT REMOVAL, GRADING, ETC.
- 5. BEGIN BUILDING CONSTRUCTION. 6. REMOVE SILT FENCE AROUND BUILDING AREA ONCE SITE IS STABILIZED AND CONSTRUCTION HAS BEGUN.
- 8. INSTALL INLET PROTECTION IN REMAINING INLETS.
- 8. INSTALL BASE COURSE OF ASPHALT PAVEMENT. 9. ALL EROSION CONTROL PRACTICES WILL BE INSPECTED WEEKLY AND AFTER RAINFALL, NEEDED REPAIRS WILL BE PERFORMED IMMEDIATELY.

MAINTENANCE PLAN

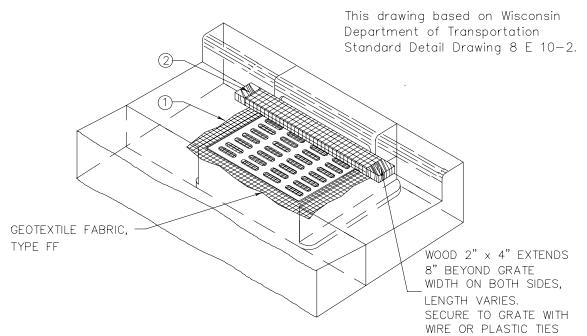
1. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF—PRODUCTION RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED. 2. SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE WHEN IT BECOMES

ABOUT 0.5 FT. DEEP AT THE FENCE. THE SILT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER. 3. ALL SEEDED AREAS WILL BE FERTILIZED, RESEEDED AS NECESSARY, AND

MULCHED TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER. 4. ANY SEDIMENT OR MATERIAL REACHING PITTSBURGH AVE. OR SOUTH WATER ST. SHALL BE REMOVED IMMEDIATELY.



INLET PROTECTION, TYPE B (WITHOUT CURB BOX) (CAN BE INSTALLED IN ANY INLET WITHOUT A CURB BOX)



INLET PROTECTION, TYPE C (WITH CURB BOX)

INSTALLATION NOTES

TYPE B & C

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE. THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.



GENERAL NOTES

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

1) FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.

(2) FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING. (3) FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.



CONCRETE EDGE

8" STORM PVC

1. ALL EXISTING CONDITIONS PER THE SURVEY BY CAPITOL SURVEY AND ENGINEERING DATED 02-05-07.



(2) CONSTRUCTION EXIT

2150 SF

FLOOR ELEV. 11.5

NOT TO SCALE

the drainage system.

6. The filter fabric shall be stapled and/or

7. Post to be 1 1/8"x 1 1/8" hickory or oak, 3 feet long, spaced a maximum of 3 feet apart.

8. Use wire reinforcement in unstablilized minor swales, ditches or diversions.

SILT FENCE CONSTRUCTION SPECIFICATIONS PER DNR CPS (1056) WOOD POST Construction silt fence around the disturbed areas as shown on Erosion Control Plan, to LENGTH 3'-4' prevent sediment from being washed into IN GROUND 2. Locate posts per DNR CPS (1056) 3. When joints are necessary, refer to DNR CPS (1056). GEOTEXTILE FABRIC ONLY — 4. Filter fabric to be of nylon, polyester, BACKFILL & COMPACT TRENCH WITH propylene or ethylene yarn with extra strenght — 50 LB/lin. in. (Minimum) and with a flow rate of at least 0.3 gal./sq. ft./min. Fabric should contain ultraviolet ray inhibitors ATTACH THE FABRIC TO THE POSTS WITH WIRE and stabilizers. STAPLES OR WOODEN LATH

FLOOR ELEV. 15.0

860 SF

(ARCH.-415'-0")-

RIVERWALK LEVEL EL: 115'-0"

11.5 5' CONC. WALK'

MILWAUKEE RIVER

284.67'

RECEIVING - STAGING

PROP STM TRAPPED CATCH BÁSIN

NOTE: ADDITIONAL POST DEPTH OR THE TIE BACKS MAY BE REQUIRED IN

EXCAVATED SOIL

GRATE 9.75

LAUNDRY HOTEL 384 SF

11.5

16' ONE WAY VALET AND DROP OFF

NATER SON PUBLIC RIGHT OF WAY

3230 SF FLOOR ELEV. 15.0 (ARCH. 115'-0")-

-W/-METAL-GRATE-

GEOTEXTILE_

8'-0" POST SPACING ALLOWED IF

WOVEN GEOTEXTILE FABRIC IS

EXST. CATCH BASIN
RIM ELEV. = 7.87
TO BE REMOVED &
DISPOSED OF OFFSITE

FLOOR ELEV. 15.0

(ARCH. 115'-0")

ANCHOR STAKE

FENCE

EXCESS __ FABRIC

TRENCH DETAIL

PER DNR CPS (1056)

1122 SF

AREAWAY

/ METAL CRAT

5. The filter fabric shall be anchored by spreading at least 8 inches of fabric in a 4" x 6" trench.

nailed to the upslope side of the posts.

NOTES: LEGEND

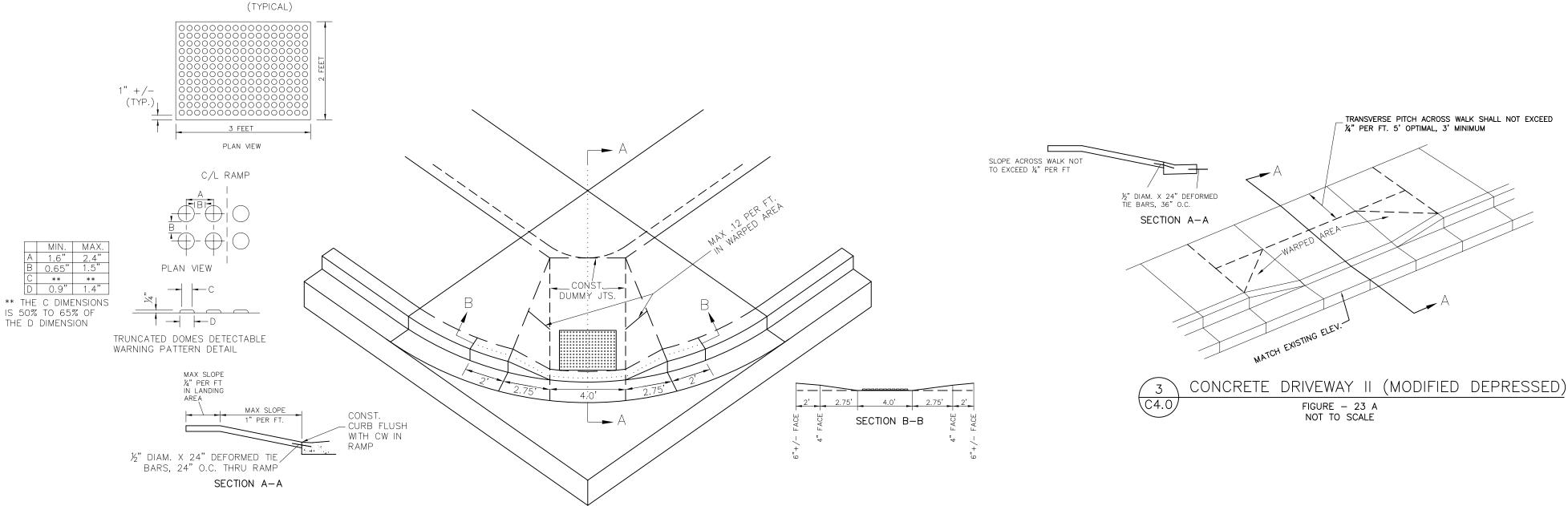
MULTIPLE 2" TREE

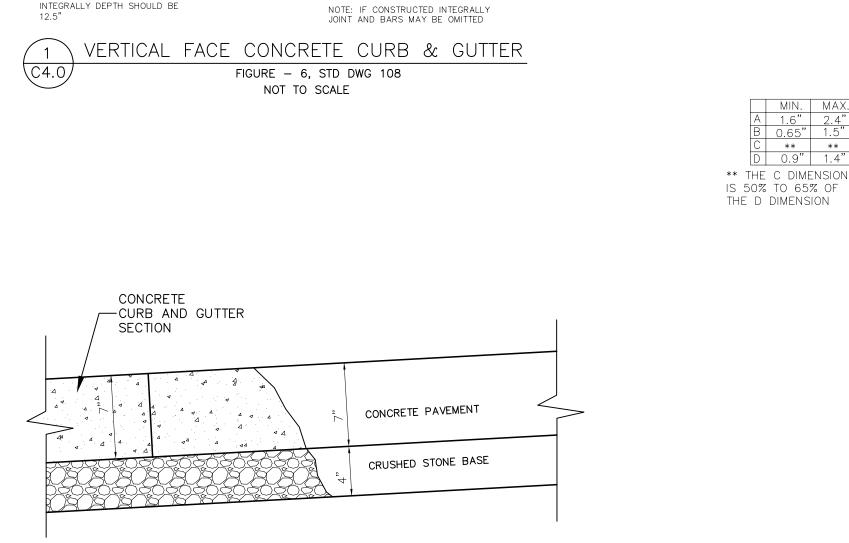
-INLET W/SUMP GRATE 4.5

STORM PVC

PER DNR CPS (1056) 1 inch = 20 ft





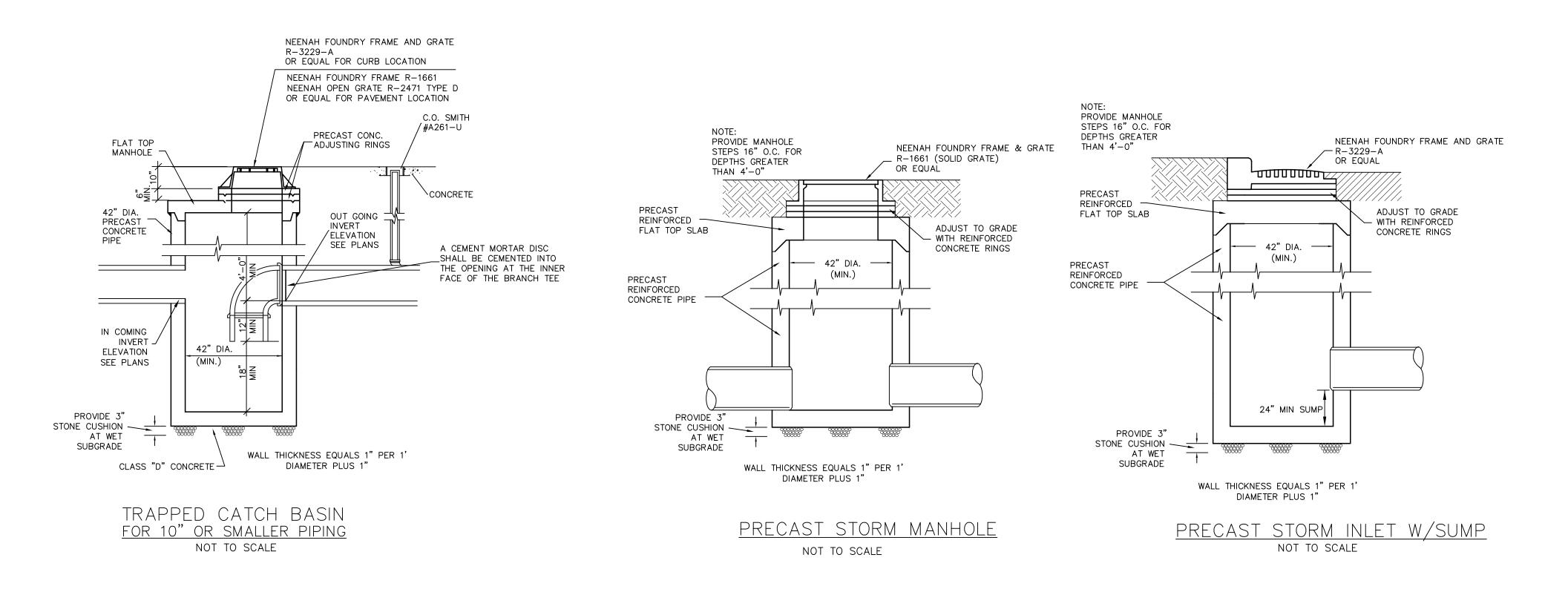


NOTE: AN APPROVED METHOD FOR COMPLETE EMBEDMENT OF THE TIE BAR WITHIN THE CONCRETE SHALL BE USED.

∠" DIAM. X 24" DEFORMED
TIE BARS 36" O.C.

CONCRETE PAVEMENT





HANDICAP CURB AND SIDEWALK RAMP

FIGURE - 16 A NOT TO SCALE

DETECTABLE WARNING FIELD

C5.0

SHEET 5 OF 5

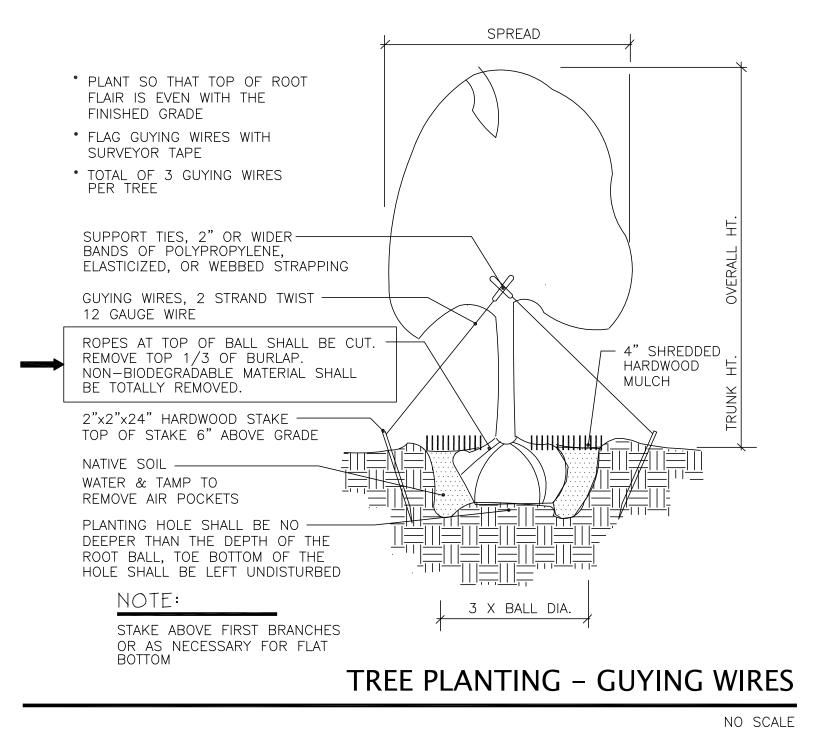
CJE NO.: 0605R4

JUNE 19, 2009

Rivianna – Milwaukee, WI L1.0

PLANT SCHEDLLE

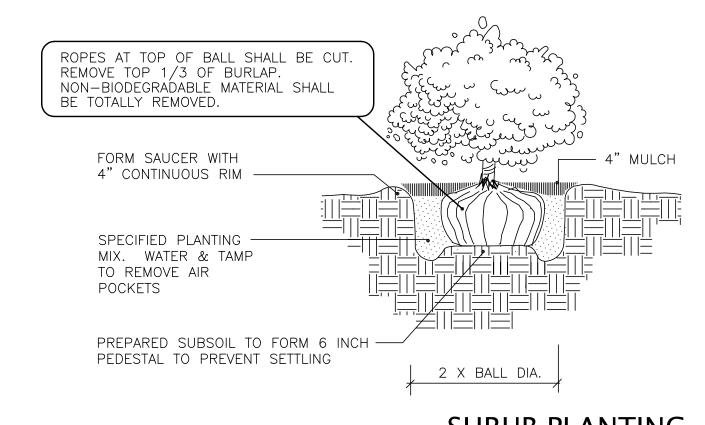
Shade Trees					
Code	Scientific Name	Common Name	Qty.	Planting Size	
Acpl	Acer platanoides 'Columnare'	Columnar Maple	5	2.5" Cal. B&B	
Evergreen T	rees				
Code	Scientific Name	Common Name	Qty.	Planting Size	
_	_	_	_	_	
Ornamental 1	rees				
Code	Scientific Name	Common Name	Qty.	Planting Size	
Amgr	Amelanchier x grandiflora	Apple Serviceberry	#	6'-7' B&B	
Ceca	Ostrya virginiana	Ironwood or Hophornbeam	#	6'-7' B&B	
Pyca	Pyrus calleryana	Callery Pear	#	6'-7' B&B	
Shrubs					
Code	Scientific Name	Common Name	Qty.	Planting Size	
Clal	Clethra alnifolia	Summersweet Clethra	#	3'-4' Cont.	
Spja	Spiraea japonica 'Froebelii'	Froebelii Japanese Spirea	#	2'-3' Cont.	
Syme	Syringa meyeri 'Palibin'	Palibin Lilac	#	3'-4' Cont.	
Perennials/Gr	asses				
Code	Scientific Name	Common Name	Qty.	Planting Size	
Asch	Astilbe chinensis 'Red Sentinel'	False Spirea	#	4.5" Pot	
Caac	Calamagrostis acutiflora 'Karl Foerster'	Reed Grass	#	1 Gallon Pot	
Cael	Carex elata 'Bowles Golden'	Sedge	#	1 Gallon Pot	
Chla	Chasmanthium latifolium	Northern Sea Oats	#	1 Gallon Pot	
Clpa	Clematis paniculata	Sweet Autumn Clematis	#	4.5" Pot	
Hebm	Hemerocallis 'Barbara Mitchell'	Daylily	#	4.5" Pot	
Helw	Hemerocallis 'Little Wine Cup'	Daylily	#	4.5" Pot	
Hogt	Hosta 'Golden Tiara'	Hosta	#	1 Gallon Pot	
Pate	Pachysandra terminalis	Japanese Spurge	#	4.5" Pot	
Peal	Pennisetum alopecuroides 'Hameln'	Fountain Grass	#	1 Gallon Pot	
Scsc	Schizachyrium scoparium 'The Blues'	Little Bluestem	#	1 Gallon Pot	
Vimi	Vinca minor	Periwinkle	#	4.5" Pot	



ADDITIONAL NOTES

1. MOUND SOIL IN PLANTING BEDS TO ENHANCE DRAINAGE. MAXIMUM SLOPE SHOULD NOT EXCEED ONE INCH IN TWO FEET. INSTALL MULCH ONE INCH BELOW TOP OF CURB.

2. A SOIL EXCHANGE IS REQUIRED IN ALL PLANTING BEDS ADJACENT TO CONSTRUCTION AREAS SUCH AS BUILDINGS, WALKS, DRIVES, ETC., I.E. ANY PLACE PLANTINGS WILL COME IN CONTACT WITH CONSTRUCTION DEBRIS. REMOVE AND BACKFILL PER LANDSCAPE DETAILS 3. NOTIFY LANDSCAPE ARCHITECT IF UNEXPECTED OBSTRUCTIONS DETRIMENTAL TO PLANT GROWTH ARE ENCOUNTERED. IN CASES OF HARDPAN LAYER, 36 INCHES BELOW TOPSOIL, DRILL 6 INCH DIAMETER HOLES AT 24 INCHES ON CENTER, DOWN INTO FREE-DRAINING STRATA OR TO A DEPTH OF TEN FEET, WHICHEVER IS LESS. BACKFILL WITH FREE-DRAINING MATERIAL SUCH AS #1 OR #2 ROUND STONE WITH LANDSCAPE FABRIC SUCH AS DEWITT OR APPROVED EQUAL. IN NO CASE SHOULD ANGULAR GRAVEL 4. USE CAUTION WHEN INSTALLING PERENNIALS AROUND EXISTING TREES. MINIMIZE ROOT DISTURBANCE DURING ALL PHASES OF LANDSCAPE OPERATIONS. DO NOT CUT ROOTS TO ACCOMODATE PERENNIALS. 5. EXCAVATION BY CONTRACTOR SHALL BE DONE PERPENDICULAR TO THE EXISTING TREES. IF ROOTS ARE ENCOUNTERED, ROOTS SHALL BE CUT CLEAN WITH LOPPERS OR PRUNING SHEARS TO ALLOW CAPILLARY ROOT GROWTH.



SHRUB PLANTING SCALE: NOT TO SCALE

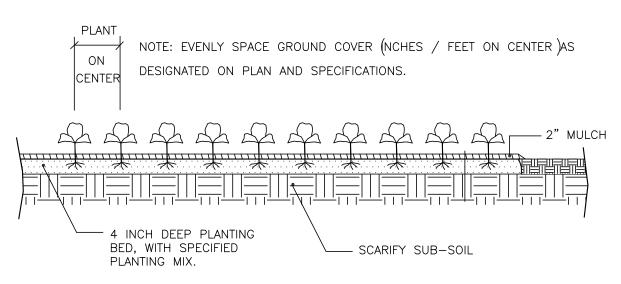
GENERAL NOTES

1. BACKFILL AND GRADE ALL PLANTING AREAS WITH 4" SCREEN BLENDED TOPSOIL. . ALL FINISH GRADES TO BE ONE INCH BELOW TOP OF CURBS AND PAVEMENT. 3. ALL PLANT MATERIAL SHALL CONFORM TO AMERICAN STANDARD FOR NURSERY STOCK AS PREPARED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. 4. ALL PLANTS TO BE LOCATED ACCORDING TO THE PLAN AND PLANTED IN HOLES AT LEAST TWICE THE SIZE OF THE PLANT ROOT BALL FOR SHRUBS AND THREE TIMES THE ROOT BALL FOR TREES. 5. ALL PLANTINGS TO BE TOPDRESSED WITH A MINIMUM OF FOUR INCHES OF SHREDDED HARDWOOD MULCH FOR TREES AND SHRUBS AND TWO INCHES FOR PERENNIALS. 6. STAKING OF TREES IS OPTIONAL BY CONTRACTOR, BUT IT IS THE CONTRACTORS RESPONSIBILITY TO MAINTAIN VERTICAL POSITION OF ALL TREES AND SHRUBS. 7. ALL AREAS DISTURBED DURING CONSTRUCTION AND INDICATED AS TURF SHALL BE SEEDED OR SODDED AS SPECIFIED. ALL PLANTS TO

RECEIVE 3 YEAR SLOW RELEASE FERTILIZER PACKETS (OR EQUAL) AT A RATE OF 2 PER CALIPER INCH OF TREE AND 3 PER SHRUB.

9. WATER ALL PLANTINGS IMMEDIATELY AFTER INSTALLATION. 10. ALL PLANTING BEDS SHALL HAVE 6 INCH SHOVEL CUT EDGES OR LANDSCAPE EDGING AS SPECIFIED.

8. GUARANTEE ALL PLANT MATERIAL INCLUDING PERENNIALS AND SEED/SOD FOR A PERIOD OF ONE YEAR.

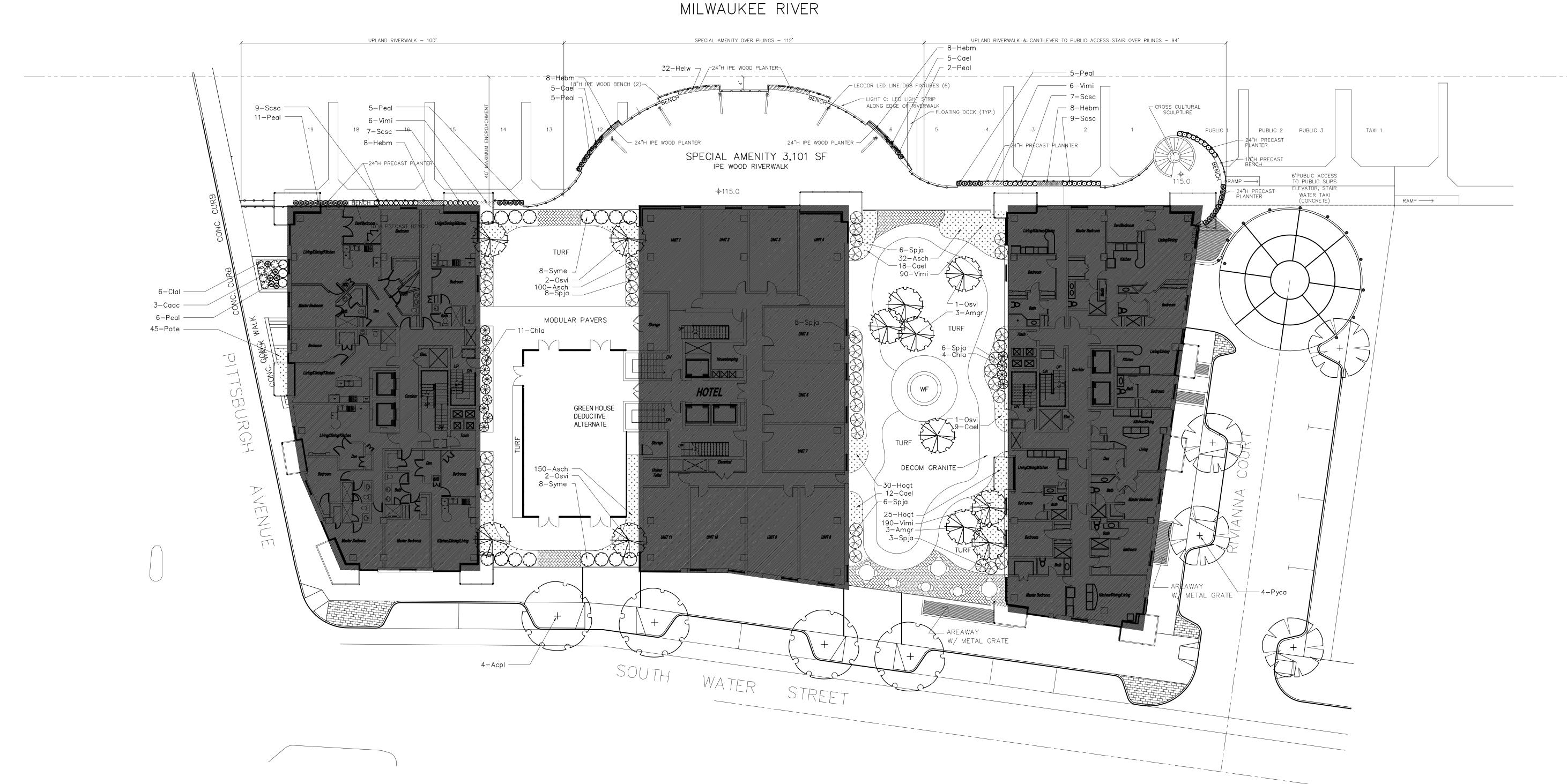


PERENNIALS / GC PLANTING

SCALE: NOT TO SCALE

06.19.09

MILWAUKEE RIVER

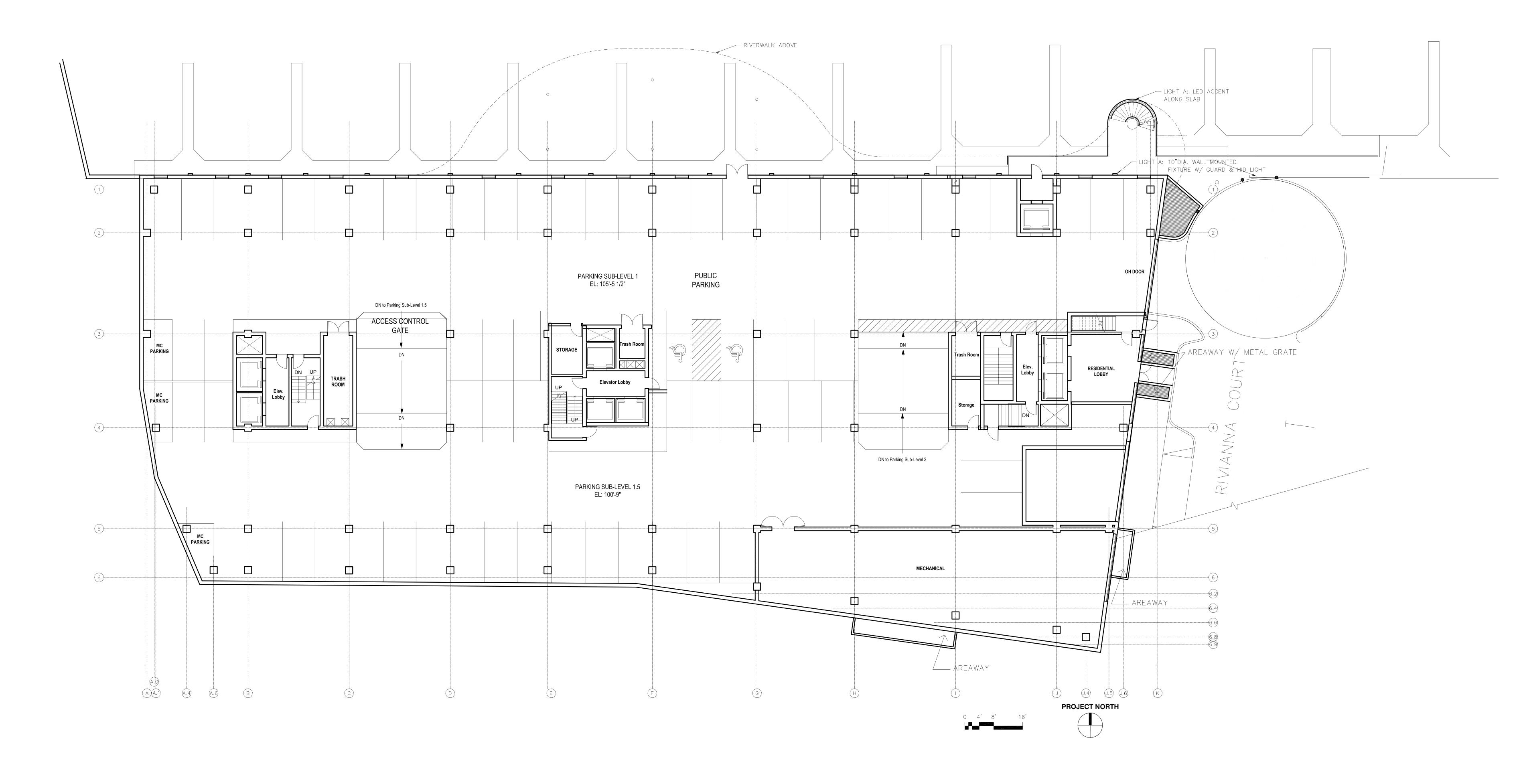


CONCEPTUAL LANDSCAPE PLAN

www.landscapearch.com

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RIVIANNA, MILWAUKEE WI



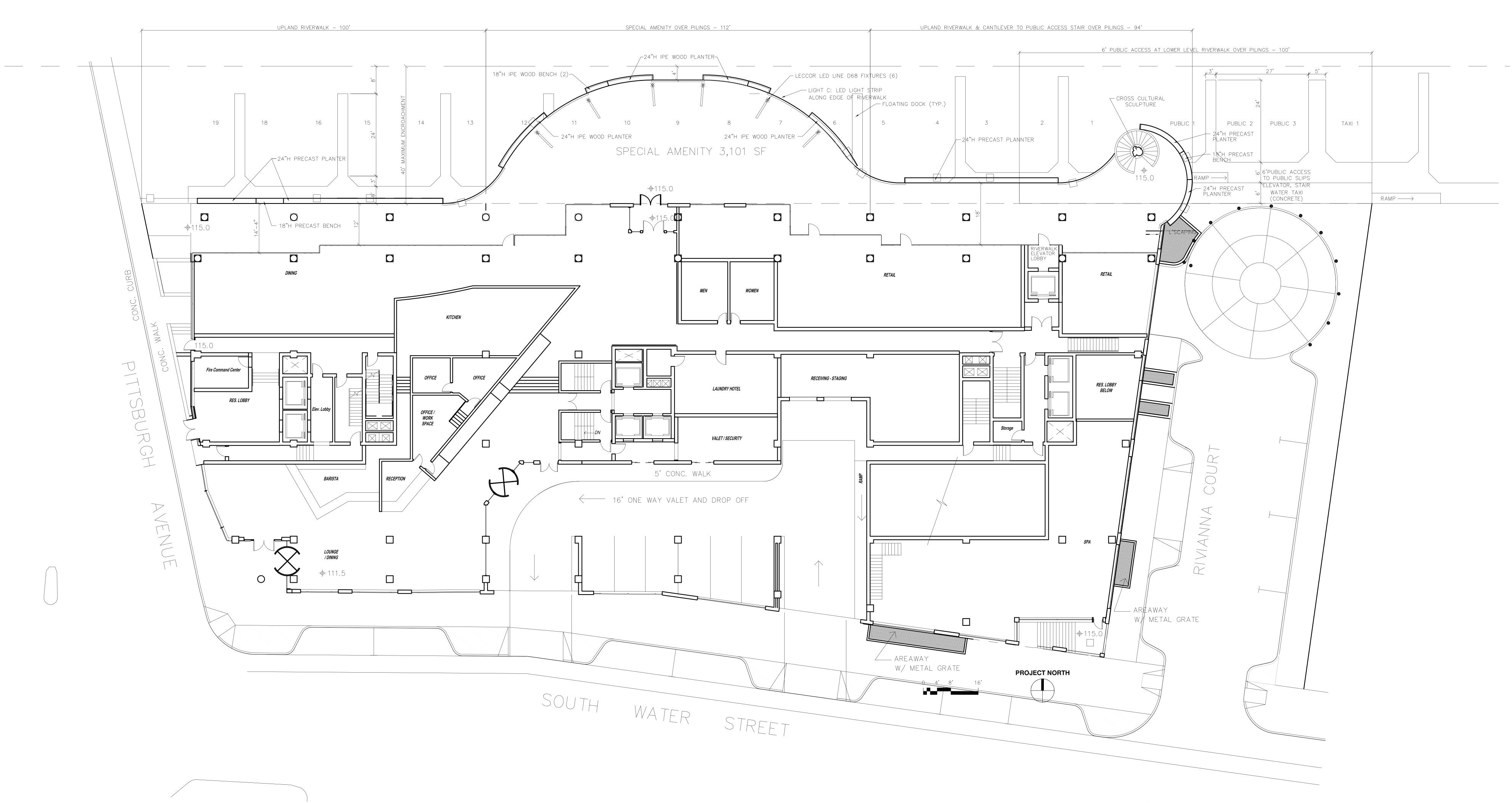
NOTE: Refuse collection rooms at this parking level



RIVIANNA

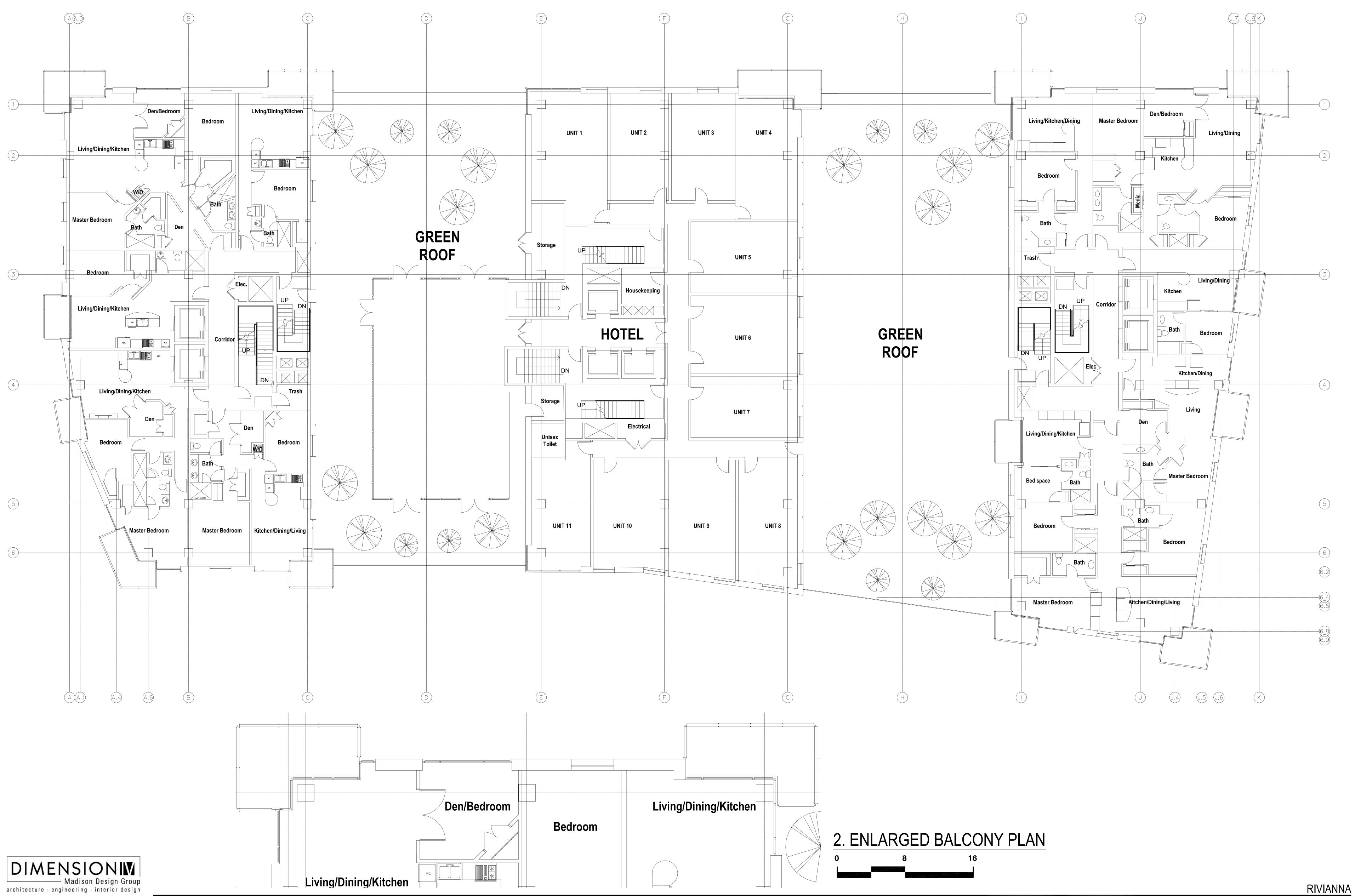
RIVIANNA, MILWAUKEE WI

MILWAUKEE RIVER





RIVIANNA, MILWAUKEE WI

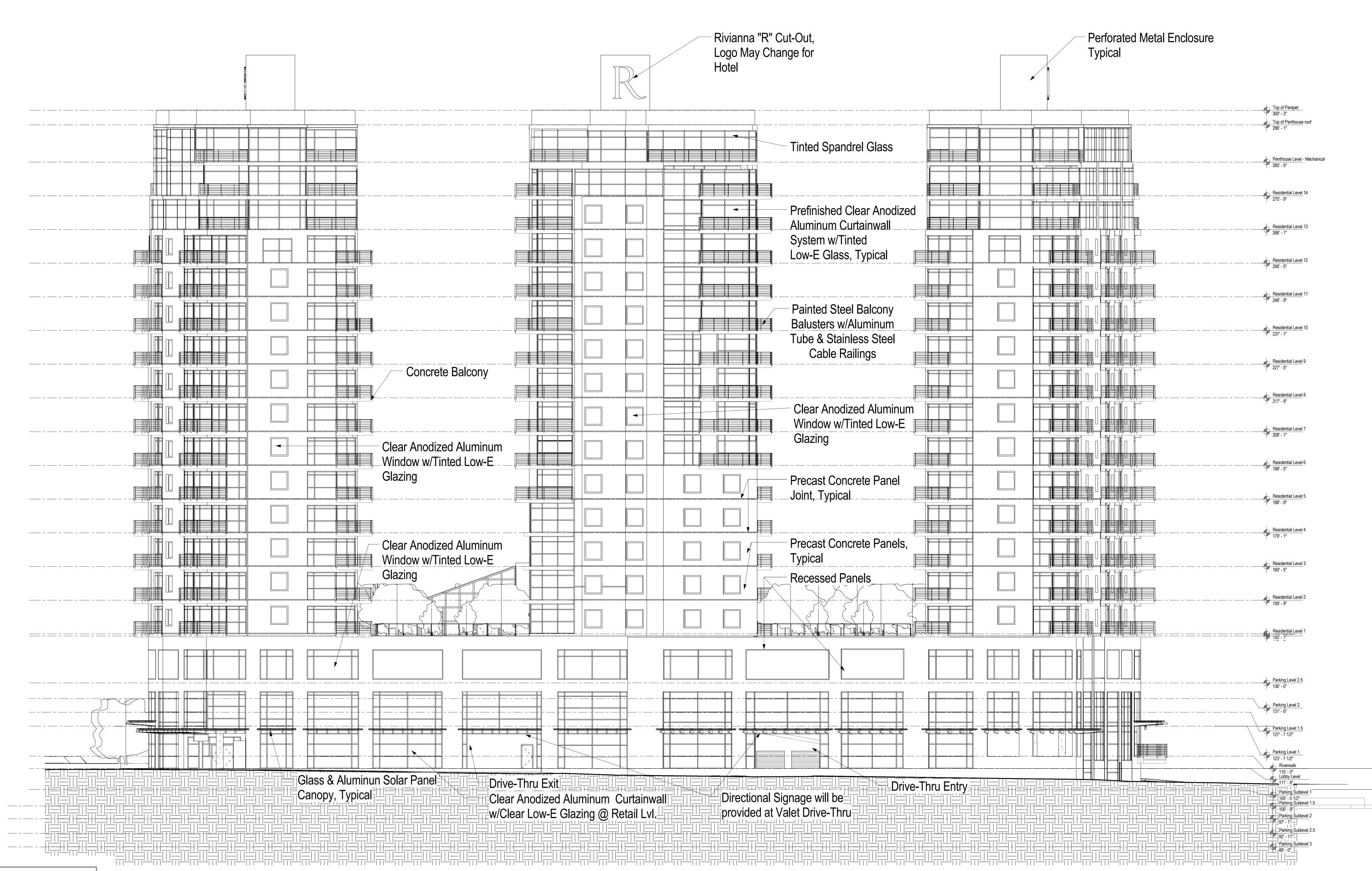


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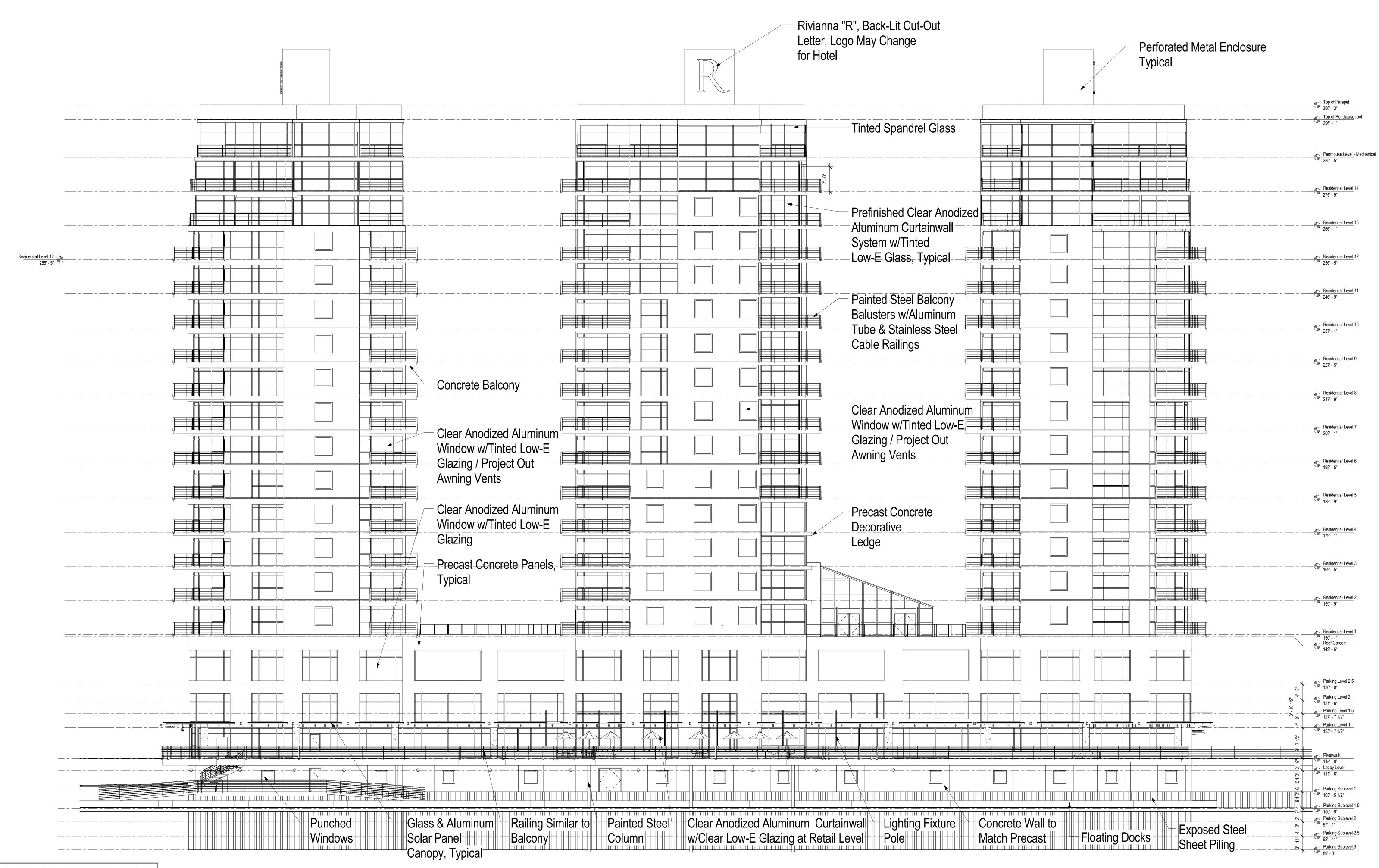
DIMENSIONIM

Madison Design Group

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SOUTH ELEVATION

Milwaukee, WI



DIMENSIONIM

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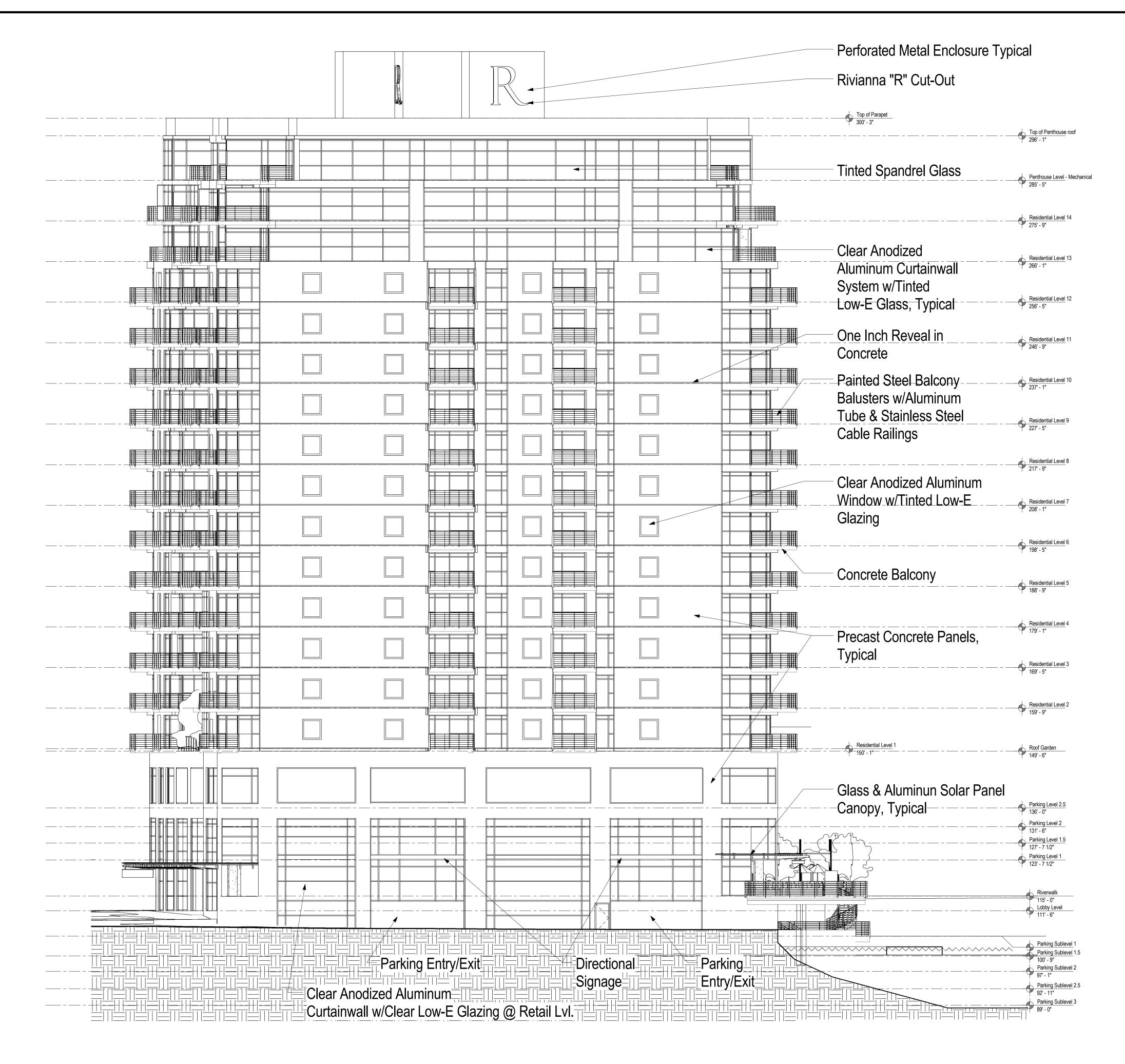
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NORTH ELEVATION

Milwaukee, WI

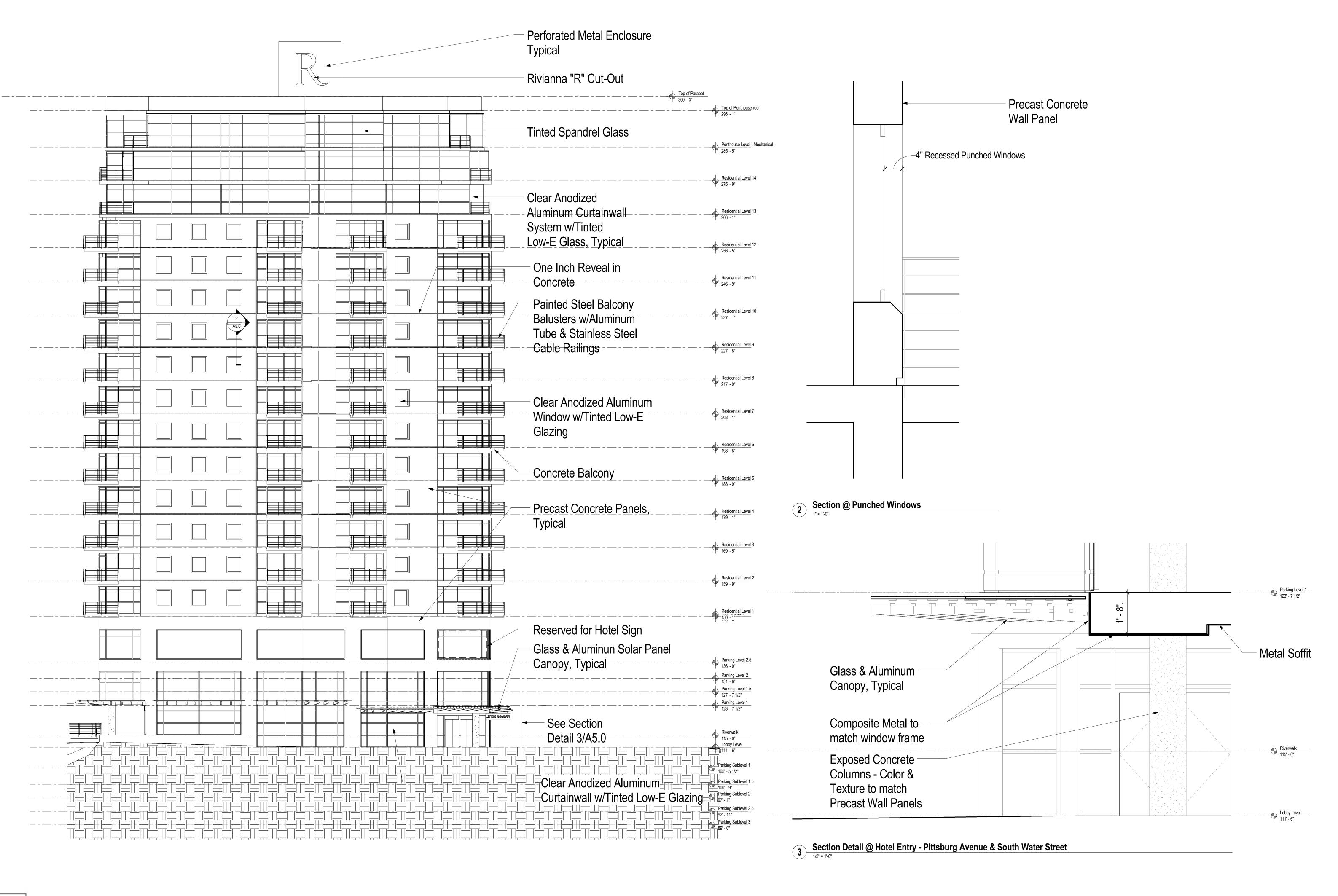
Rivianna

North Elevation
25 JUNE 2009
Project Number 07052





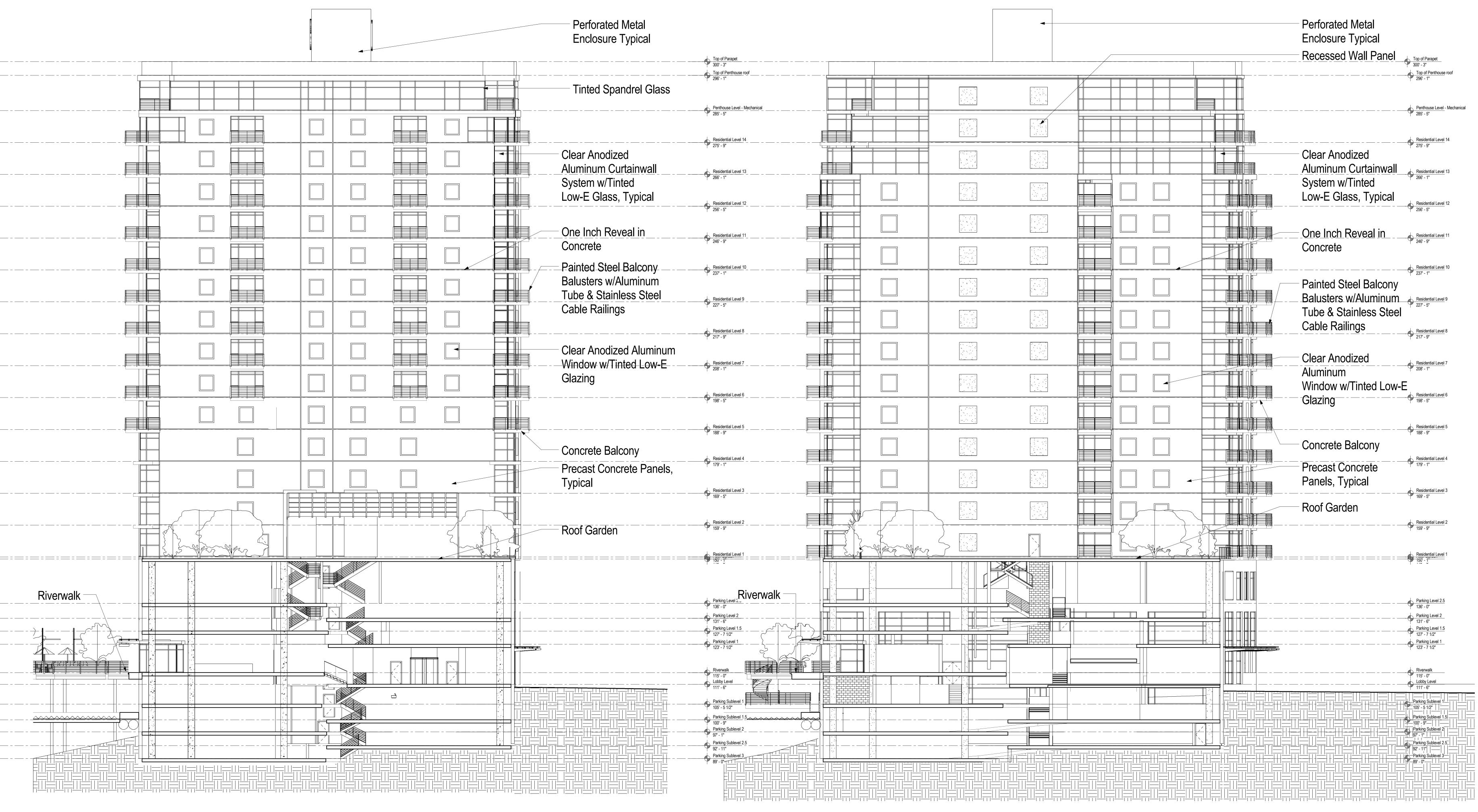
EAST ELEVATION





WEST ELEVATION

Milwaukee, WI



CENTER TOWER WEST ELEVATION

EAST TOWER WEST ELEVATION



Milwaukee, WI

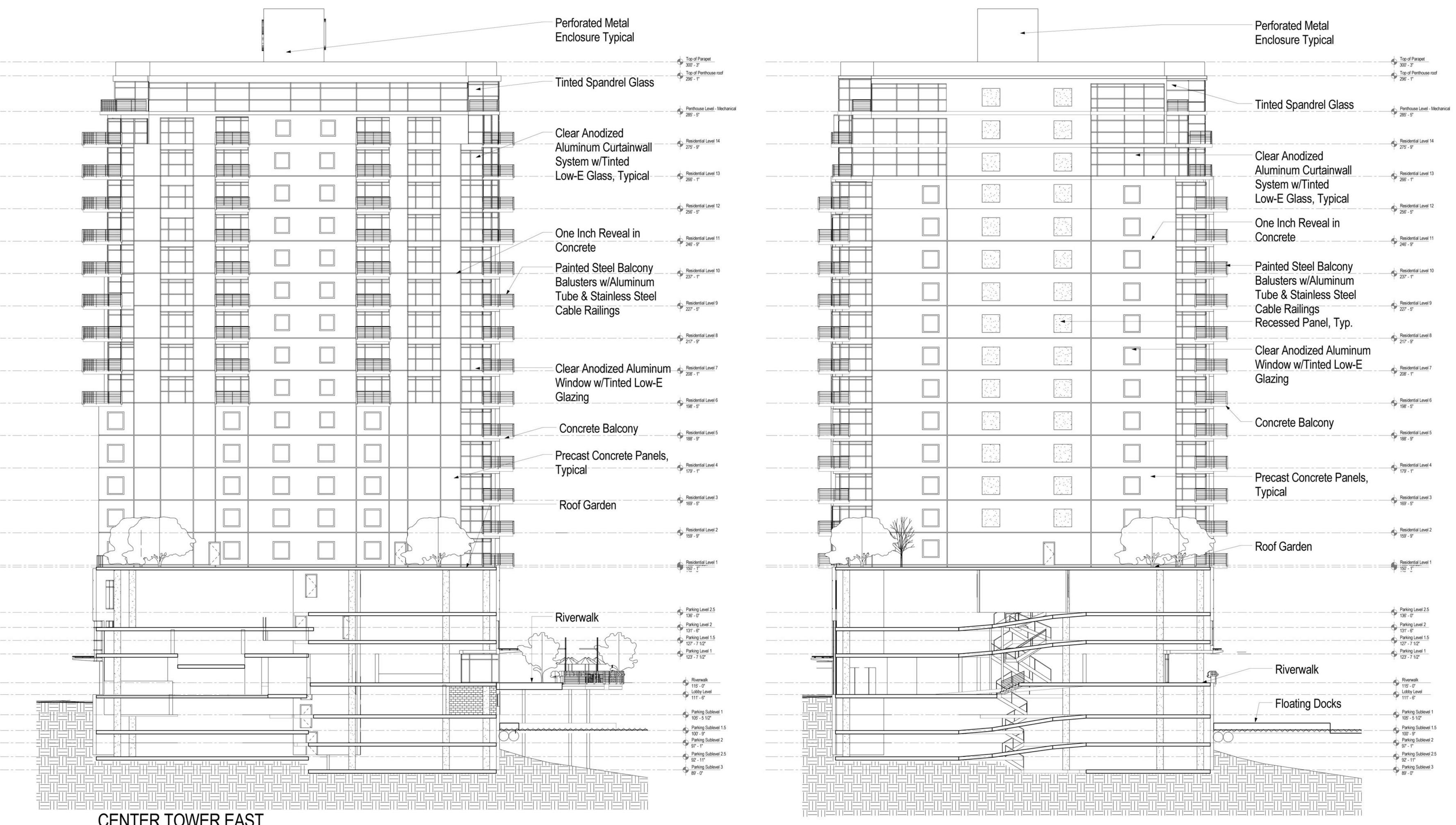
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CENTER TWR WEST ELEV EAST TWR WEST ELEV A6.0
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WEST TOWER EAST ELEVATION

CENTER TOWER EAST ELEVATION

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Rivianna

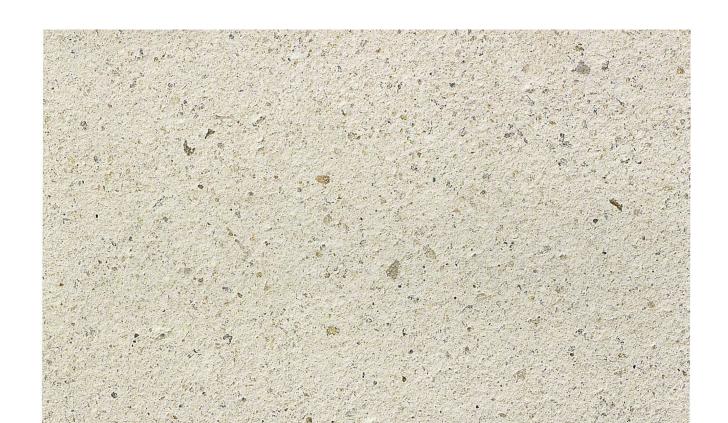
Project Number 07052





Rivianna

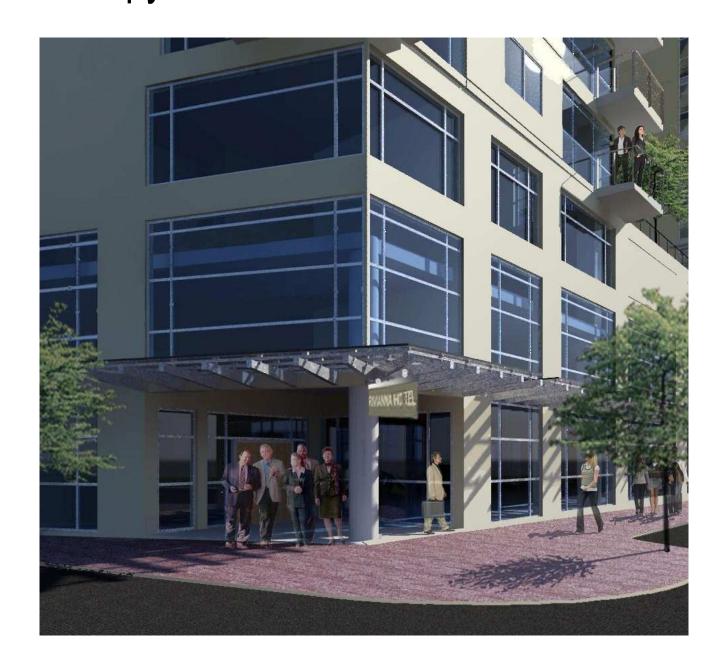
Project Number 07052



Concrete Color and Texture

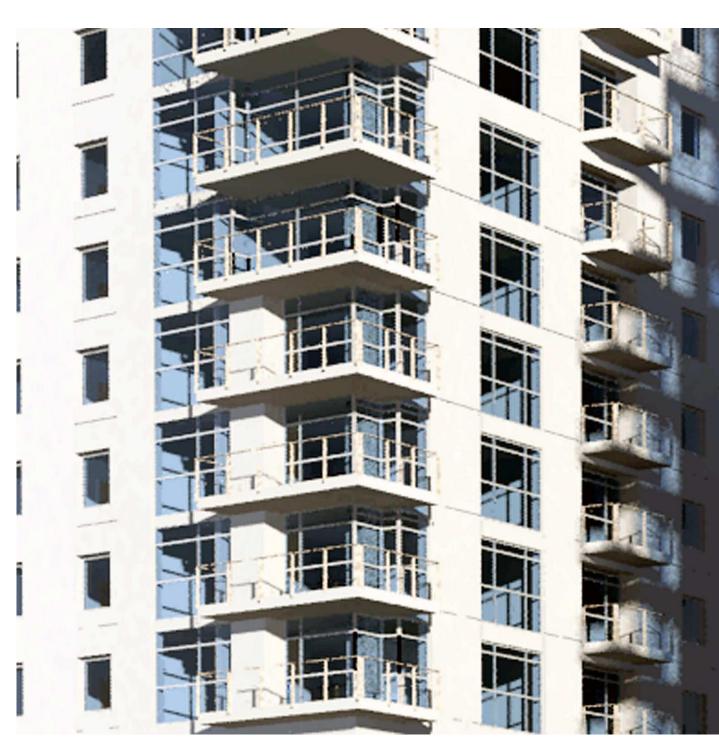


Canopy at Pedestrian Level



Hotel Entry View from Pittsburg Ave





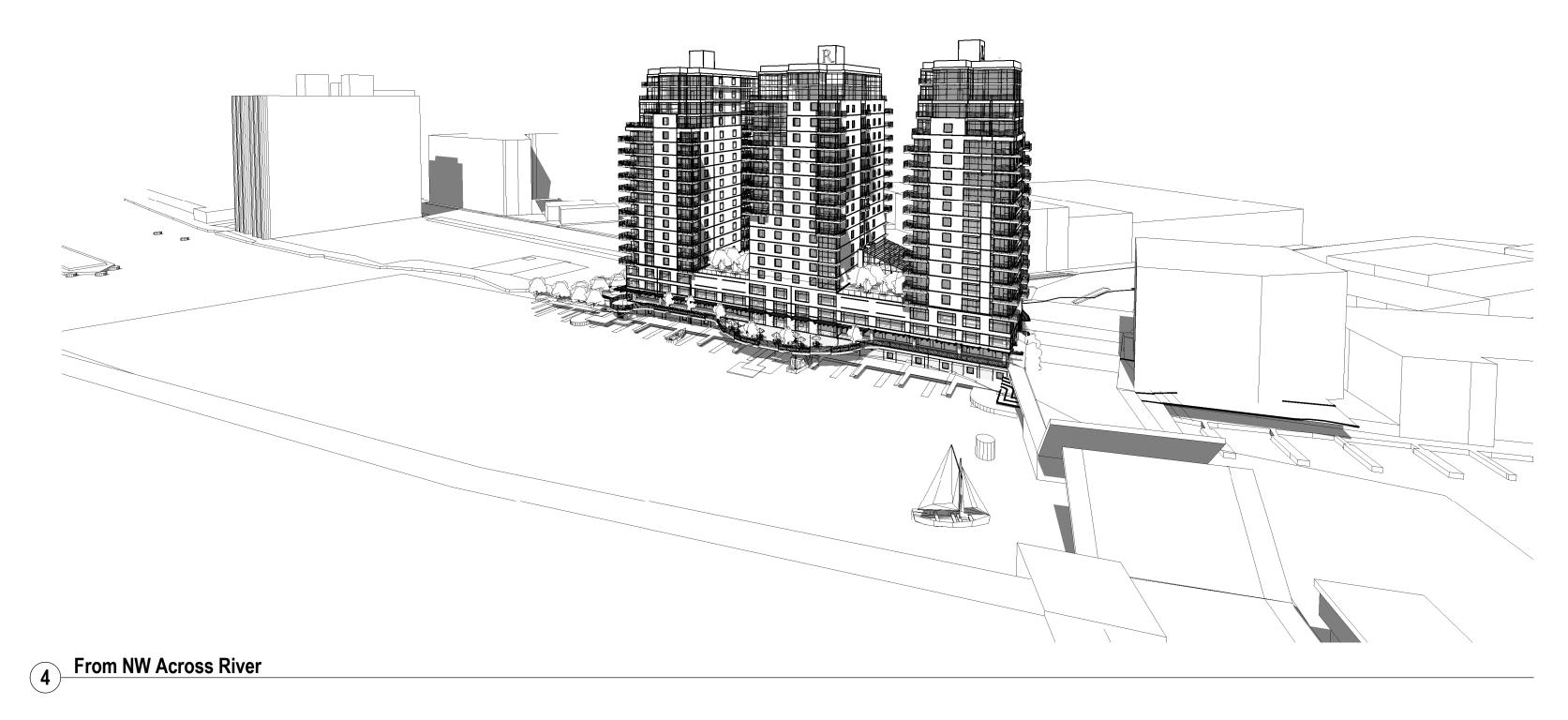
Balcony Inset and Curtain Wall Detail

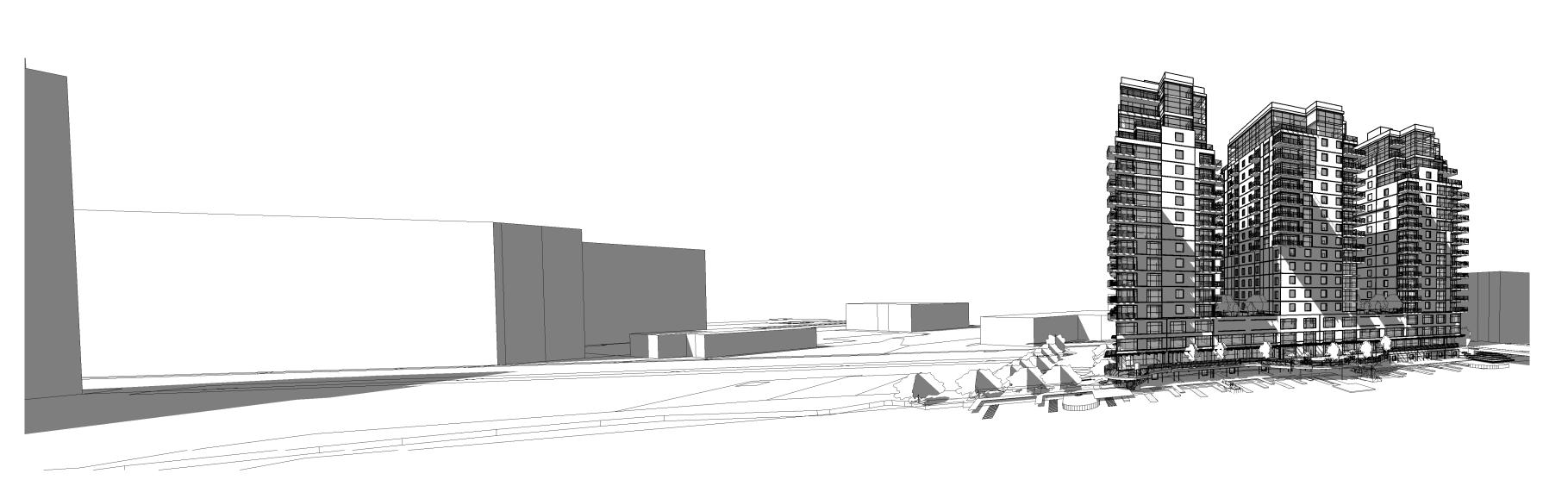


Canopy at Riverwalk

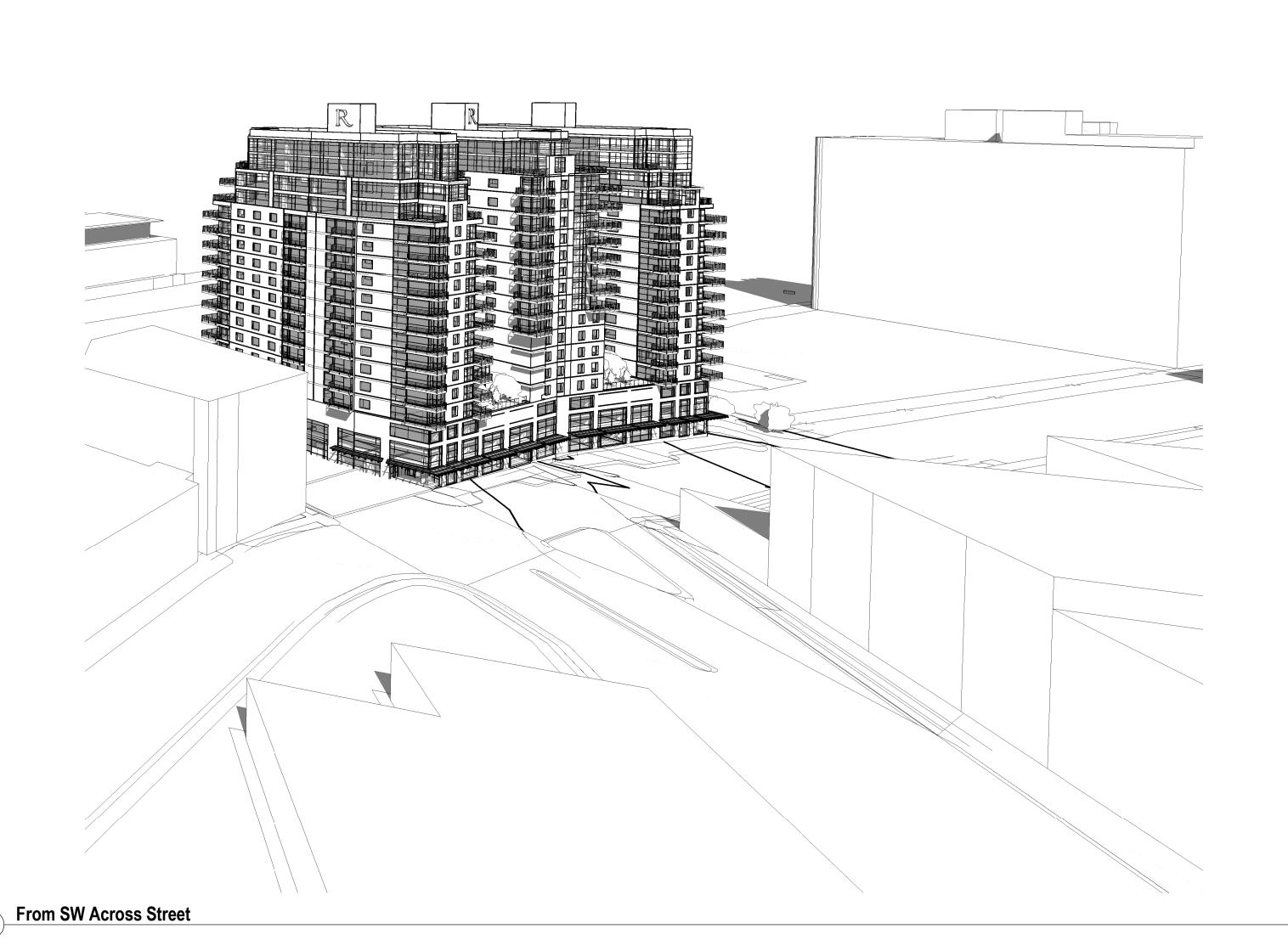
DIMENSIONIN Madison Design Group architecture · engineering · interior design

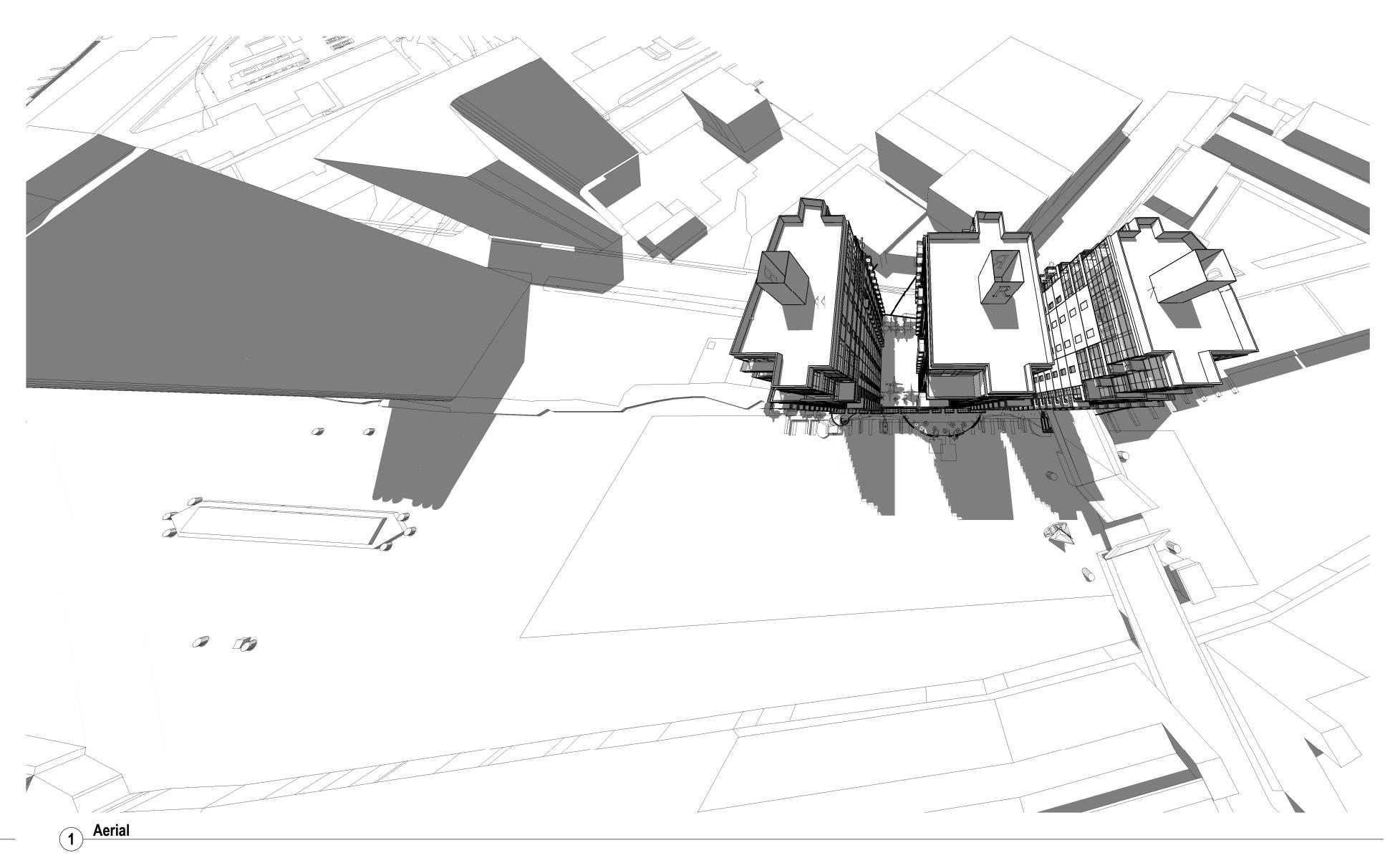
Project Number 07052





3 From NE On River





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Madison Design Group

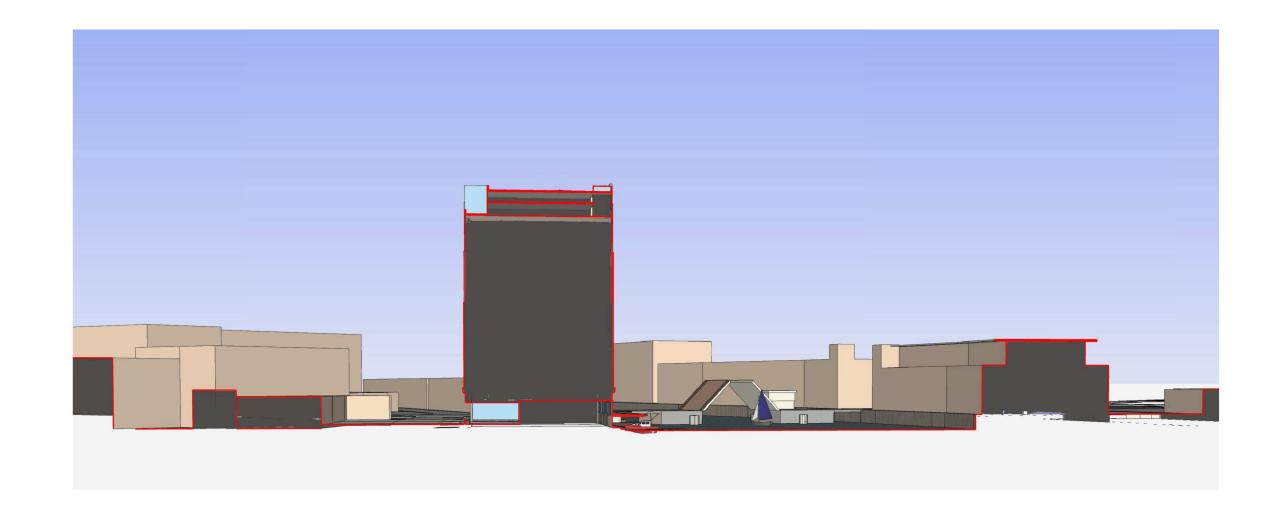
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Rivianna Milwaukee, WI

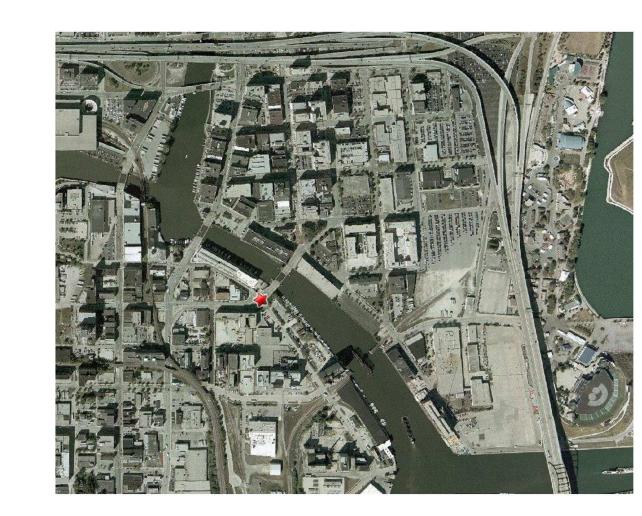
PERSPECTIVES

13 MARCH 2009

Project Number 07052



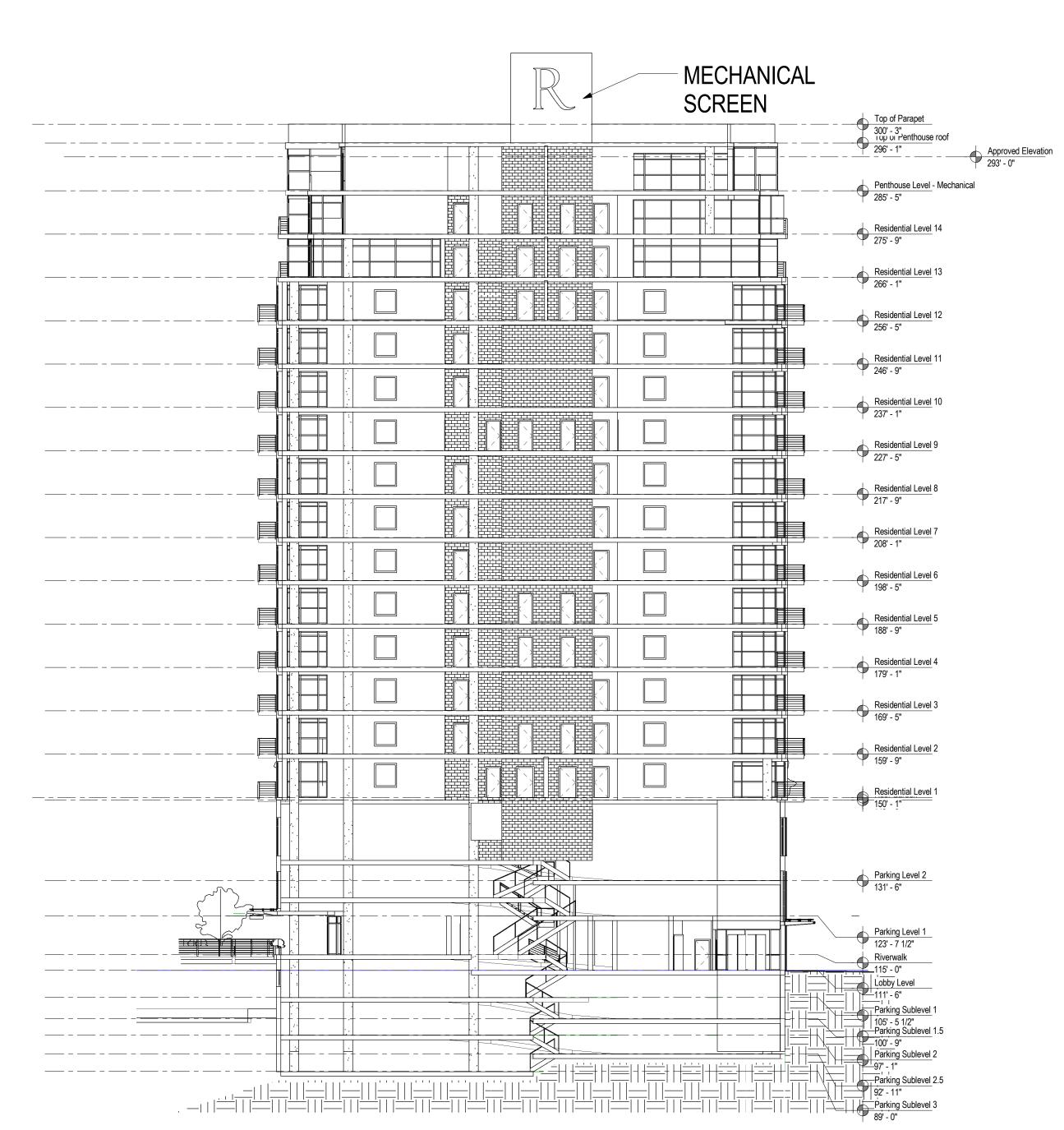
North South Section Not to Scale



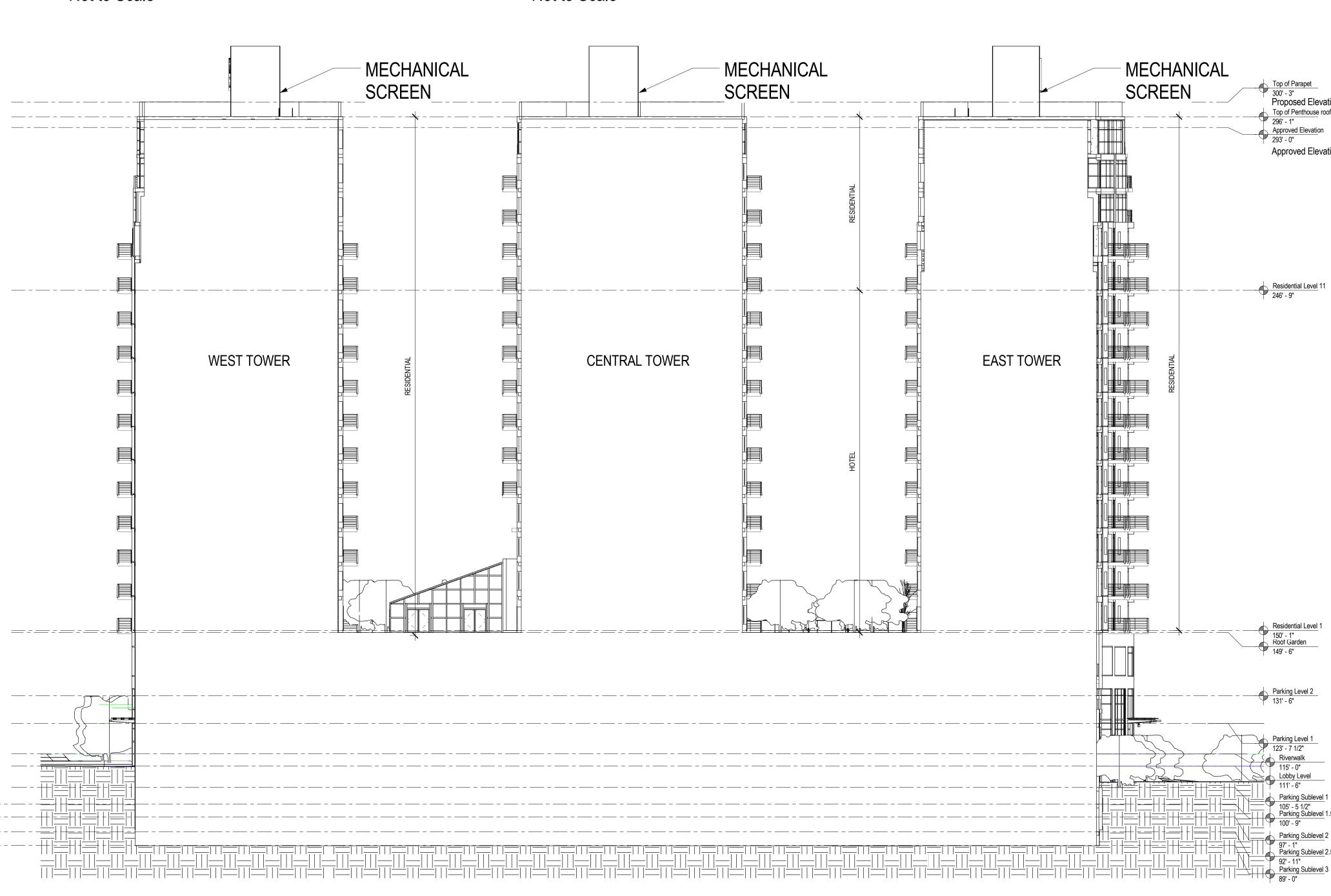
Area Map Not to Scale



East West Section Not to Scale



North South Section

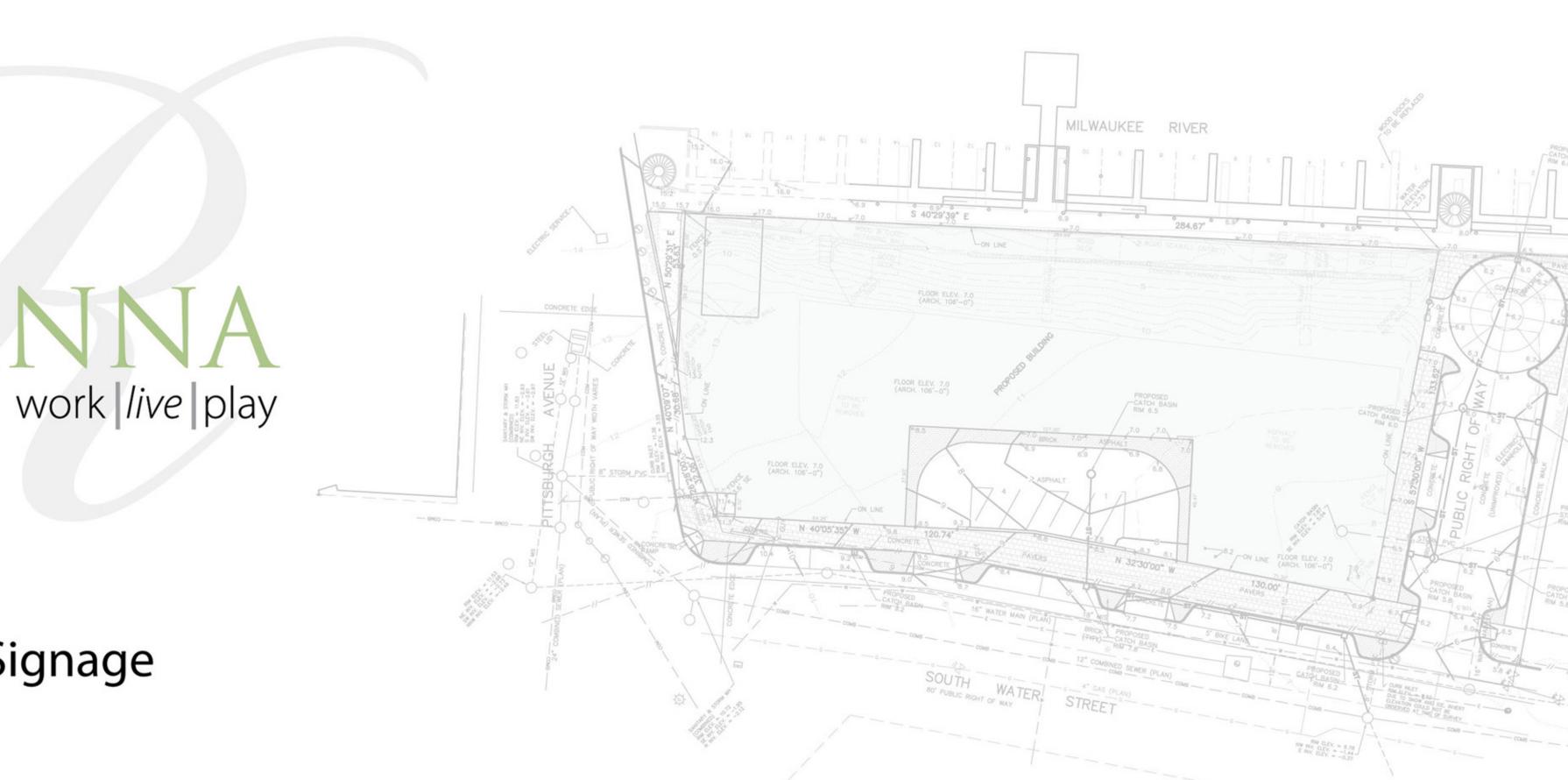


East West Section





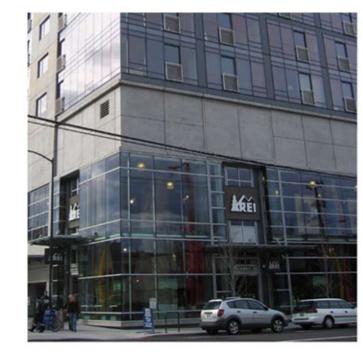
PO BOX 4571 TUALATIN, OR 97062 503 914.6279 www.Duke-Graphix.com info@duke-graphix.com



Proposed Commercial Signage







Area of Visual Merchandising Guidelines

The area of visual merchandising runs the full width of the storefront and 5'-0" into the leased premises. It includes all display windows and retail graphics, display fixtures, signs, materials, finishes, color and lighting fixtures within the area.

Sale and temporary event signs should be behind the zone, and no sale and temporary signs shall be taped or suction cupped onto the display windows, or hang from the storefront ceiling.

The use of the following materials is discouraged within the merchandise zone:

-Slate wall or slate wall fixture systems

-Stucco finish (unless approved by Landlord in writing)

-Wood grain plastic laminates

-Metal laminate wallboard -Plastic laminate

-Simulated brick, stone or wood

-Cork or cork tile

-Plywood paneling or texture 1-11 plywood

-Carpeting on walls

-Pegboard walls and pegboard fixture

-Wood shingles or shakes

-Field painted aluminum -Metal shelving

-Mirror walls

Cash wrap counters are discouraged in the merchandising zone.

No fluorescent lighting will be permitted within the merchandising zone.

Storefront Lighting Standards

Lighting must be tasteful and designed to enhance your storefront and the retail streetscape.

- Lighting must be appropriate to the building and must

complement the architecture. - Lighting must be stationary and not moving or

animated in any form. - Visible suspended fluorescent tubes will NOT be approved.

- Visible suspended neon tubes are NOT encouraged.

Signage Guidelines

Encouraged:

- Cut metal letter forms, freestanding or pin-mounted.

- Cut metal logotypes, applied or pin-mounted.

- Wall mounted metal or porcelain enamel plaques.

- Stencil cut metal, visible from one side. - Sandblasted metal or glass.

- Metal channel letters with halo illumination.

- Screen printed or gold leafed logotypes on glass.

- Clean, simple, minimally visible attachments.

- Hardware matching adjacent sign finishes, use mounting hardware that will NOT rust.

- Satin finished metals rather than highly polished

Discouraged:

- Plastic sign faces or signboxes.

- Internally illuminated plastic letters or sign faces.

- Formed or injection molded plastic signs.

- Paper or nylon signs or banners.

- Animated, flashing, blinking, rotating or audible signs.

- Signs with exposed lamps or tubing.

- Advertising postcards, banners, pennants, sale or other temporary signs.

- Signs projecting beyond lease line.

Pin-mounted Letterforms Encouraged:

Pin-mounted letterforms on a colored plaque.

Pin-mounted letterforms freestanding of a satin finished natural metal.

Pin-mounted letterforms or prismatic letterforms mounted off the face of the storefront. Metals for mounting pins that will rust in the Milwaukee weather which will create unsighly streaks on the exterior finish materials of the building are NOT Allowed.

Graphics on Glass:

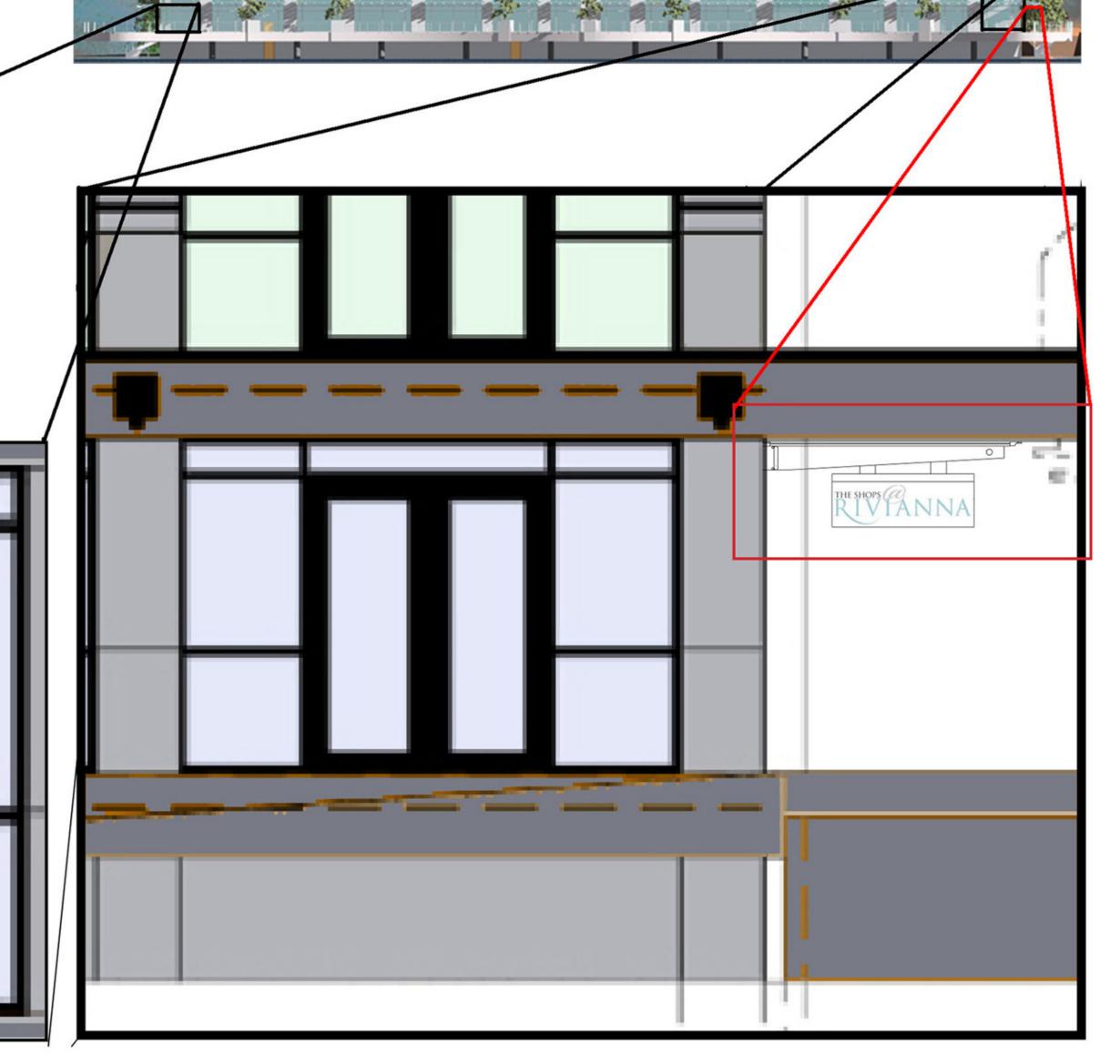
Graphics on the interior surface of storefront glass should be tasteful and minimal. Signage in this format is pedestrian friendly and smaller graphics frequently draw the viewer closer to a window display thereby engaging them in the merchandising zone. This may serve as the only storefront identification in subtle form.

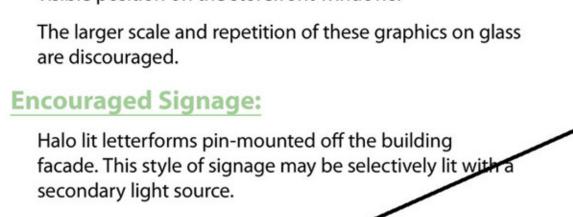
May potentially create an interesting play of light and

May serve as the only storefront identification in a very visible position on the storefront windows.

RIVIANNA

Stencil cut letters or numerals in a metal sign band add a tactile quality to a storefront



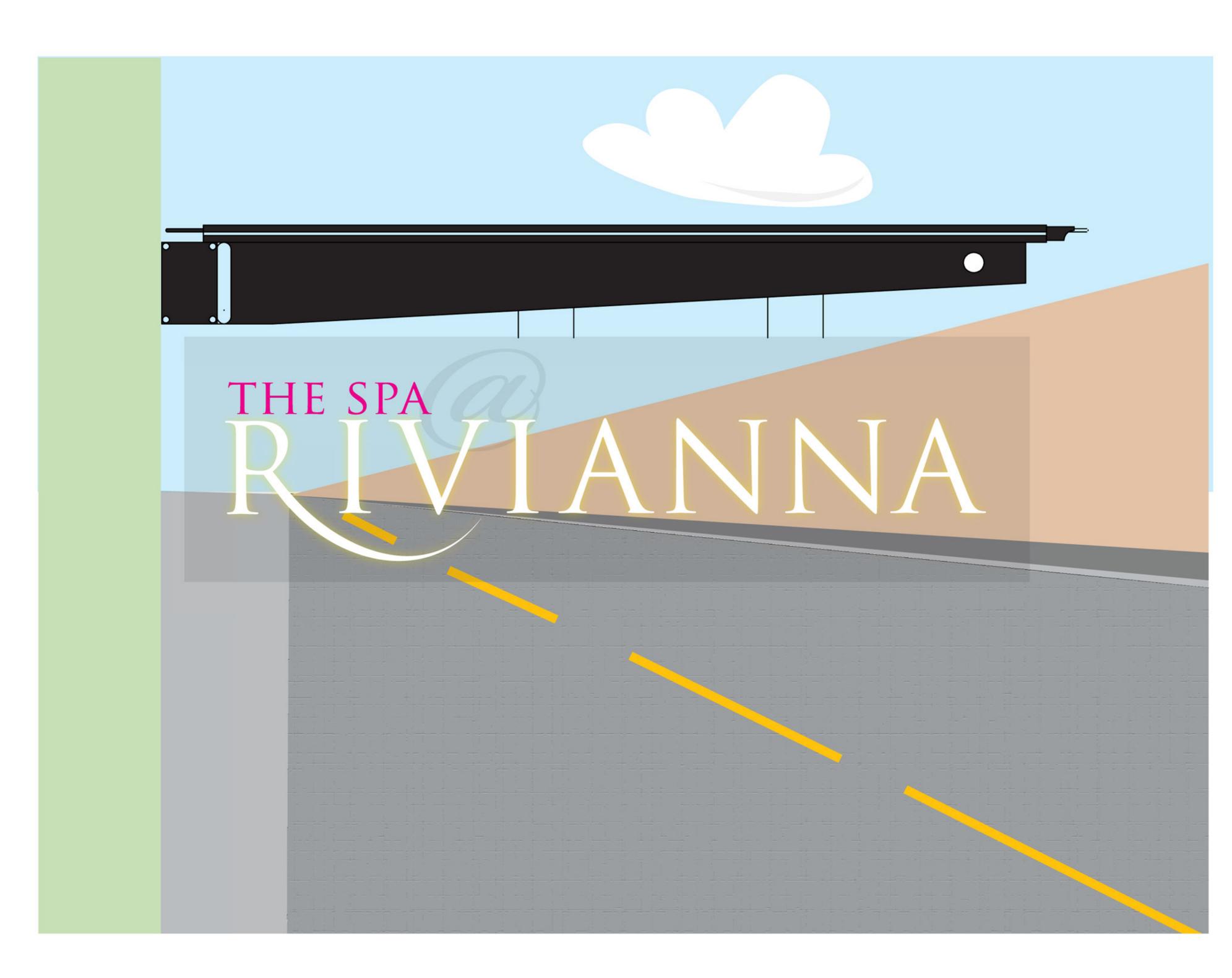


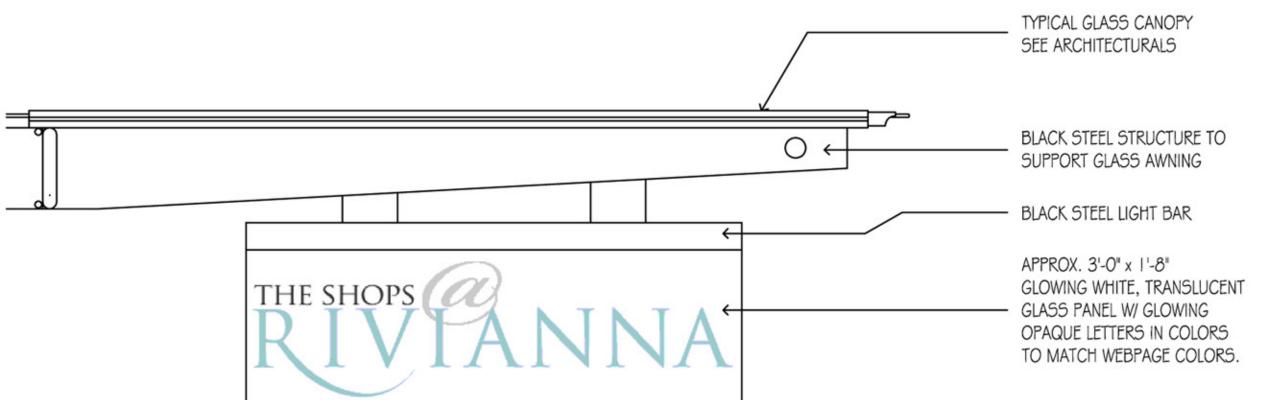


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Proposed Awning Signage











Material:

- -Painted metal
- -Brushed metal
- -Acrylic w/ etched letters

Two standard sizes:

- -Small: 24wx18h
- -Large: 36wx24h

Lighting:

- White only except for hotel and other anchor tenants; Ex. Spa @ Rivianna.
- -No nuisance point source lighting
- -Ambient glows only (side lit acrylic panels will light up the etched lettering)
- -No Neon

Color:

- -Lighting: white only
- -Signage: per owner
- -Signage panel or panel frame to match awning color and material

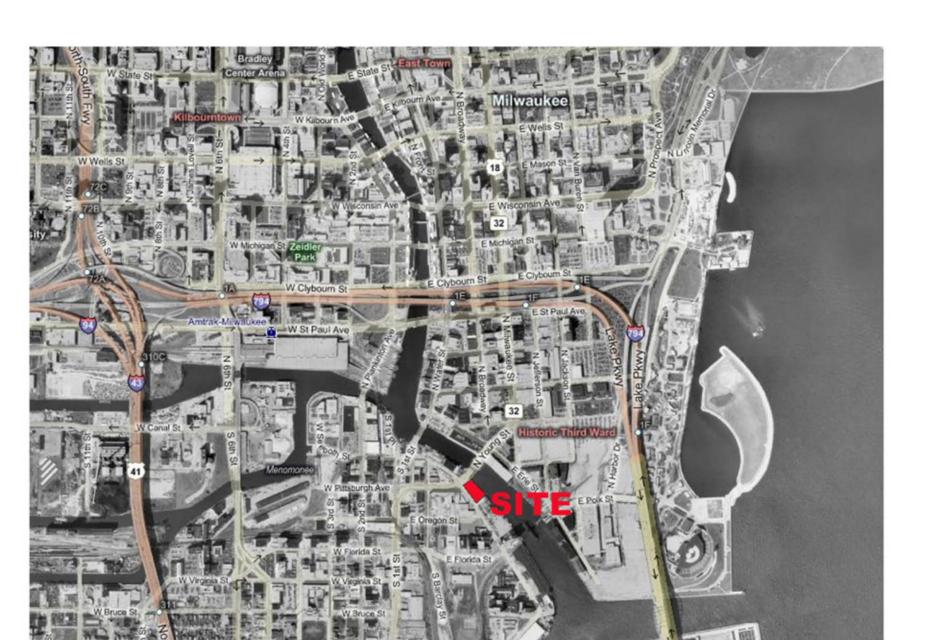






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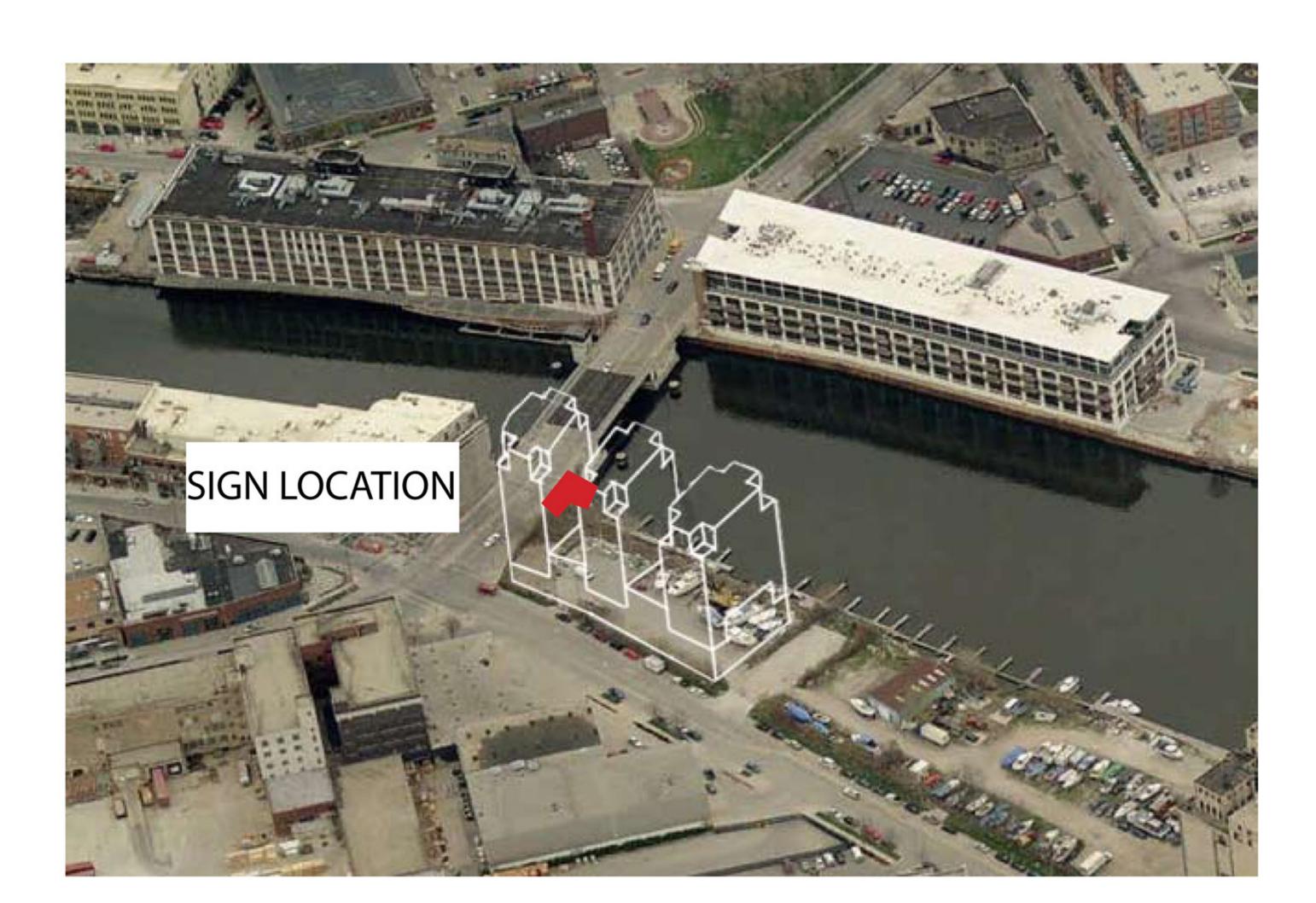
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Temporary Development Signage

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Proposed Legibility Signage

Legibility Signage Requirements:

Font: Trajan Pro

Signs:

- -Valet Enter
- -Valet Exit
- -Receiving
- -Riverwalk Elevator
- -Riverwalk Public Lobby/ Art Gallery
- -Upper/ Lower Level Parking
- -Accessible Entrance



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