



# City of Milwaukee

200 E. Wells Street  
Milwaukee, Wisconsin  
53202

## Meeting Agenda HISTORIC PRESERVATION COMMISSION

**ALLYSON NEMEC, CHAIR**

*Patricia Balon, Randy Bryant, Ald. Robert Bauman, Matt Jarosz,  
Ann Pieper Eisenbrown and Blair Williams  
Staff Assistant, Chris Lee, 286-2232, Fax: 286-3456,  
clee@milwaukee.gov*

*HPC Planners: Carlen Hatala, 286-5722, chatal@milwaukee.gov;  
Paul Jakubovich, 286-5712, pjakub@milwaukee.gov*

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Tuesday, April 10, 2012

3:00 PM

Room 301-B, City Hall

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1. Roll Call.
2. Review and Approval of the Previous Minutes of March 13, 2012 and March 27, 2012.
3. [111525](#) Resolution relating to historic designation for the Schultz / Seeboth Duplex at 839-841 N. 11th Street.  
**Sponsors:** THE CHAIR
4. [111615](#) Resolution relating to a Certificate of Appropriateness for restoration and renovations to Albrecht Hall at 3136 W. Kilbourn Avenue (Concordia Historic District).  
**Sponsors:** THE CHAIR
5. [111657](#) Resolution relating to a Certificate of Appropriateness to build an amphitheater at Kilbourn/Reservoir Park (Kadish Park).  
**Sponsors:** THE CHAIR
6. [111677](#) Resolution relating to a Certificate of Appropriateness for installation of a new deck on the second story at 728 E. Brady Street for Alaa Musa.  
**Sponsors:** THE CHAIR
7. The Wisconsin Association of Historic Preservation Commissions Spring Conference, Madison on April 28, 2012.
8. Discussion of Possible Program Ideas for National Historic Preservation Month in May 2012.
9. Announcements and Updates.
10. The Following Files Represent Staff Approved Certificates of Appropriateness:

- a.     [111574](#)     Resolution relating to a Certificate of Appropriateness for porch repairs at 926 N. 29th Street for Dale Dolence.  
          Sponsors:     THE CHAIR
  
- b.     [111656](#)     Resolution relating to a Certificate of Appropriateness to install a garage slab and driveway at 2812 W. State Street for Tiffany Greer.  
          Sponsors:     THE CHAIR
  
- c.     [111676](#)     Resolution relating to a Certificate of Appropriateness for porch repairs at 3248 W. McKinley Blvd. for Sharon and David Burr.  
          Sponsors:     THE CHAIR
  
- d.     [111703](#)     Resolution relating to a Certificate of Appropriateness to install a new sign at 1036 N. Van Buren Street for Brew City Church.  
          Sponsors:     THE CHAIR

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# City of Milwaukee

200 E. Wells Street  
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53202

## Meeting Minutes HISTORIC PRESERVATION COMMISSION

**ALLYSON NEMEC, CHAIR**

**Patricia Balon, Randy Bryant, Ald. Robert Bauman, Matt  
Jarosz, Ann Pieper Eisenbrown and Blair Williams  
Staff Assistant, Chris Lee, 286-2232, Fax: 286-3456,  
clee@milwaukee.gov**

**HPC Planners: Carlen Hatala, 286-5722, chatal@milwaukee.gov;  
Paul Jakubovich, 286-5712, pjakub@milwaukee.gov**

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Tuesday, March 13, 2012

3:00 PM

Room 301-B, City Hall

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Meeting convened at 3:01 a.m.

**1. Roll Call.**

**Present:** 4 - Nemec, Balon, Pieper Eisenbrown, Williams

**Excused:** 3 - Jarosz, Bauman, Bryant

**Individuals also present:**

**Carlen Hatala, Historic Preservation Commission Staff Planner**

**Paul Jakubovich, Historic Preservation Commission Staff Planner**

**2. Review and Approval of the Previous Minutes of February 14, 2012.**

*Ms. Balon moved approval of the minutes of February 14, 2012, seconded by Ms. Pieper Eisenbrown. There were no objections.*

**3. 111541**

Resolution relating to a Certificate of Appropriateness for installation of windows at 2659 N. Lake Drive for Ingmar Viohl.

**Sponsors:** THE CHAIR

*Mr. Jakubovich gave an overview on the proposed project. The plan is to install two new French wood windows with iron balconets at the bottom of each window on the second story of the building. The proposed alterations are on the side elevation facing north towards the far rear corner of the building. The existing openings to the windows will remain the same. The balconets serve as mostly decoration and to prevent objects from falling out of a window. The divided lights in the new windows are similar to the divided lights that are an original feature of most of the top sash windows in the house.*

*On behalf of staff, Mr. Jakubovich recommended approval with the condition that shop drawings of the windows and balconets be provided to staff.*

*Ms. Pieper Eisenbrown questioned if balconets were the reason for nonrecommendation for street facing windows.*

*Mr. Jakubovich replied balconets are not recommended for street facing windows but rather towards the rear of a house.*

*Mr. Williams questioned the purpose for the balconets.*

*Individual appearing:*

*Michael Eschweiler, agent for the property owner*

*Mr. Eschweiler said the balconets are only ornamental and for appeal.*

*Mr. Williams moved approval for a Certificate of Appropriateness for installation of windows at 2659 N. Lake Drive for Ingmar Viohl based upon the balconets not facing the front and street facing side of the house. Seconded by Ms. Pieper Eisenbrown. There were no objections.*

**A motion was made by Blair Williams, seconded by Ann Pieper Eisenbrown, that this Resolution be ADOPTED. This motion PREVAILED by the following vote:**

**Aye:** 4 - Balon, Nemec, Pieper Eisenbrown, and Williams

**No:** 0

**Excused:** 3 - Jarosz, Bryant, and Bauman

**4. 111542**

Resolution relating to a Certificate of Appropriateness for canopies at 611 N. Broadway for First MKD, LLC.

**Sponsors:** THE CHAIR

*Mr. Jakubovich gave an overview on the proposed project. The commission looked at the proposed canopies last year as part of a broad renovation and restoration of the exterior of the Historic Loyalty Building. The commission and the National Park Service were concerned of the original design of hard top canopies with steel and wanted soft top canopies. The plan is to install two canopies made of acrylic with one on the Broadway entrance and the second on the Michigan Street entrance. The Broadway side canopy will be a quarter of a sphere that will be fitted into the existing round arched entry portal. It will be long enough to cover the steps there and thick enough to not allow for a glow if lights were lit under it. The Michigan Street side canopy is a semi arched canvas awning over a steel frame. It will be set upon steel posts and rest upon the city sidewalk. It will be a foot away from the curb. Both canopies will have silk screen signage depicting the Hilton Garden Inn name.*

*On behalf of staff, Mr. Jakubovich recommended approval and said that both canopies addressed the concerns of the commission and the National Park Service. He added that approval of the signage and amount of signage is still to come.*

*Ms. Nemec requested that the signage proposal be brought back to the commission to review once it is ready.*

*Individuals appearing:*

*David Plank, Kahler Slater, Inc.*

*Jim Stephenson, First MKD, LLC*

*Mr. Williams questioned the color material on the steel posts of the canopy on the Michigan Street elevation.*

*Mr. Plank replied the design intent was to have paired, round tubes as posts to take off on the bundled columns appearing on the granite around the building and on the cast iron balustrade on Broadway. The color will be a dark bronze and may be made of galvanized steel.*

*Mr. Williams was concerned about rusting conditions and long term quality of the silk screen logo. He added that he was comfortable with the lack of lighting as the canopies will rely on street lighting for visibility.*

*Ms. Nemec asked for a description of attaching the canopies to the building.*

*Mr. Plank answered that the canopy on Broadway will be suspended and fastened into the mortar joints of the arched entry as opposed to the granite. He added that the canopy on Michigan Street will have a few anchors drilled into the piece of granite on the entryway and that drilling will be minimized.*

*Mr. Williams moved approval for a Certificate of Appropriateness for canopies at 611 N. Broadway for First MKD, LLC. Seconded by Ms. Balon. There were no objections.*

**A motion was made by Blair Williams, seconded by Patricia Balon, that this Resolution be ADOPTED. This motion PREVAILED by the following vote:**

**Aye:** 4 - Balon, Nemec, Pieper Eisenbrown, and Williams

**No:** 0

**Excused:** 3 - Jarosz, Bryant, and Bauman

**5. Election of a Vice-Chair.**

*The matter was held for the next meeting.*

**6. Request Authorizing to Expend \$10,000 from the Historic Survey Publication Trust Account for the Development of a City Hall Museum in the Basement of City Hall.**

*Individual appearing:  
Ron Leonhardt, City Clerk*

*Mr. Leonhardt gave an overview on the development of a City Hall Historic Exhibit Task Force and its goals to preserve artifacts and the history of City Hall. The Common Council passed a resolution in July 2010 creating a task force to study the feasibility of developing a City Hall Historic Exhibit in City Hall with the motivation to preserve some of the architectural elements that were being removed at the time of renovation of the exterior of the building. The Task Force was assigned to find a suitable location for a small museum, determine the costs involved, come up with a funding plan and budget, and conduct an inventory of artifacts to preserve. Six public meetings were held with active involvement from the public. The Common Council adopted in July 2011 a series of recommendations of the task force and directed the City Clerk's office*

*and the Department of Public Works to proceed with implementing those recommendations. One recommendation included the development of a museum with a small theater in the vacant space and portion of the Legislative Reference Bureau (LRB) inside the basement of City Hall. Another recommendation was the conversion of the old phone booth in the City Hall lobby to a display of materials and an introduction video to City Hall from Channel 25. An additional recommendation was to open the Council Chambers to the public, which the outside doors have been kept open to allow visitors to see the stain glass windows and peek inside the chambers at the front entry way. Terra cotta pieces that were removed from the building were also recommended for preservation. Finally, the Common Council authorized to accept \$100,000 in private contributions for the project.*

*Mr. Leonhardt said that there is an established implementation team consisting of himself, Mr. Jakubovich, the LRB manager, a graphic designer, the facility manager within the City Clerk's department, Channel 25's producer, and interested outside individuals.*

*Mr. Leonhardt described the focus and goals of the team. First is the preparation of the museum space for use. The space has been cleared of furnishings, a wall has been constructed to separate the museum from the library, and minor electrical and ventilation work has been done. There will be the demolition of the existing ceiling and removal of asbestos on the tiled floor. Second is a fundraising plan, which a private citizen came forward to volunteer and help construct a fundraising campaign to identify potential benefactors and fundraising materials. Third is the development of the exhibits. The team will identify items that are available. Some items include newspaper clippings, cloth drawings of architectural renderings, and masonry tools used.*

*Mr. Leonhardt requested to expend \$10,000 from the Historic Survey Publication Trust Account, which was established in the early 1980s as a result of sales of a book called "Built in Milwaukee." He added that the state has authorized the city and commission to use the funds for historic preservation purposes and that there is just under \$23,000 in the account. He said the \$10,000 would be used to fund the development of the museum and its exhibits.*

*Mr. Jakubovich said the general concept of the museum is to have a graphic rendering on a wall, a theater at the far end with a large television screen, and exhibit space for terra cotta pieces. He added that the project involves only private funds and no city tax dollars.*

*Mr. Williams moved approval of the request to expend \$10,000 from the Historic Survey Publication Trust Account for the development of a City Hall museum in the basement of City Hall. Seconded by Ms. Pieper Eisenbrown. There were no objections.*

**7. Announcements and Updates.**

*No announcements and updates.*

**8. The Following Files Represent Staff Approved Certificates of Appropriateness:**

*Ms. Pieper Eisenbrown moved approval of the Staff Approved Certificates of Appropriateness, seconded by Ms. Balon. Ms. Nemec abstained from voting on items d, e, and f. There were no objections.*

- a.        **111456**        Resolution relating to a Certificate of Appropriateness relating to a new sign at 1240 N. 10th Street for the BP Property Owner SPH LLC.

**Sponsors:**        THE CHAIR

**A motion was made by Ann Pieper Eisenbrown, seconded by Patricia Balon, that this Resolution be . This motion PREVAILED by the following vote:**

**Aye:** 4 - Balon, Nemec, Pieper Eisenbrown, and Williams

**No:** 0

**Excused:** 3 - Jarosz, Bryant, and Bauman

- b.        **111519**        Resolution relating to a Certificate of Appropriateness for installation of windows at the back of the house at 2634 N. Lake Drive for David and Roberta Remstad.

**Sponsors:**        THE CHAIR

**A motion was made by Ann Pieper Eisenbrown, seconded by Patricia Balon, that this Resolution be ADOPTED. This motion PREVAILED by the following vote:**

**Aye:** 4 - Balon, Nemec, Pieper Eisenbrown, and Williams

**No:** 0

**Excused:** 3 - Jarosz, Bryant, and Bauman

- c.        **111520**        Resolution relating to a Certificate of Appropriateness for replacement of a window at the back of the house at 3047 N. Sherman Blvd. for Lakeia Jones.

**Sponsors:**        THE CHAIR

**A motion was made by Ann Pieper Eisenbrown, seconded by Patricia Balon, that this Resolution be ADOPTED. This motion PREVAILED by the following vote:**

**Aye:** 4 - Balon, Nemec, Pieper Eisenbrown, and Williams

**No:** 0

**Excused:** 3 - Jarosz, Bryant, and Bauman

- d.        **111521**        Resolution relating to a Certificate of Appropriateness for exterior renovations at 1013 N. 33rd Street for the Forest County Potawatomi Community.

**Sponsors:**        THE CHAIR

**A motion was made by Ann Pieper Eisenbrown, seconded by Patricia Balon, that this Resolution be ADOPTED. This motion PREVAILED by the following vote:**

**Aye:** 3 - Balon, Pieper Eisenbrown, and Williams

**No:** 0

**Excused:** 3 - Jarosz, Bryant, and Bauman

**Abstain:** 1 - Nemec

- e.        **111522**        Resolution relating to a Certificate of Appropriateness for exterior renovations at 1019-1021 N. 33rd Street for the Forest County Potawatomi Community.

**Sponsors:**        THE CHAIR

**A motion was made by Ann Pieper Eisenbrown, seconded by Patricia Balon, that this Resolution be ADOPTED. This motion PREVAILED by the following vote:**

**Aye:** 3 - Balon, Pieper Eisenbrown, and Williams

**No:** 0

**Excused:** 3 - Jarosz, Bryant, and Bauman

**Abstain:** 1 - Nemec

- f.        **111523**        Resolution relating to a Certificate of Appropriateness for exterior renovations at 1023-1025 N. 33rd Street for the Forest County Potawatomi Community.

**Sponsors:**        THE CHAIR

**A motion was made by Ann Pieper Eisenbrown, seconded by Patricia Balon, that this Resolution be ADOPTED. This motion PREVAILED by the following vote:**

**Aye:** 3 - Balon, Pieper Eisenbrown, and Williams

**No:** 0

**Excused:** 3 - Jarosz, Bryant, and Bauman

**Abstain:** 1 - Nemec

- g.        **111524**        Resolution relating to a Certificate of Appropriateness to install a new sign at 628 N. Water Street for Clark Foster.

**Sponsors:**        THE CHAIR

**A motion was made by Ann Pieper Eisenbrown, seconded by Patricia Balon, that this Resolution be ADOPTED. This motion PREVAILED by the following vote:**

**Aye:** 4 - Balon, Nemec, Pieper Eisenbrown, and Williams

**No:** 0

**Excused:** 3 - Jarosz, Bryant, and Bauman

- h.        **111540**        Resolution relating to an amended Certificate of Appropriateness for installation of a new roof at 3230 E. Kenwood Blvd. for the State of Wisconsin.

**Sponsors:** THE CHAIR

**A motion was made by Ann Pieper Eisenbrown, seconded by Patricia Balon, that this Resolution be ADOPTED. This motion PREVAILED by the following vote:**

**Aye:** 4 - Balon, Nemec, Pieper Eisenbrown, and Williams

**No:** 0

**Excused:** 3 - Jarosz, Bryant, and Bauman

- i.        **111550**        Resolution relating to a Certificate of Appropriateness for installation of PVC vent pipes for a new furnace and an air conditioning unit at 2837 N. Grant Blvd. for Milwaukee Neighborhood Project, LLC.

**Sponsors:** THE CHAIR

**A motion was made by Ann Pieper Eisenbrown, seconded by Patricia Balon, that this Resolution be ADOPTED. This motion PREVAILED by the following vote:**

**Aye:** 4 - Balon, Nemec, Pieper Eisenbrown, and Williams

**No:** 0

**Excused:** 3 - Jarosz, Bryant, and Bauman

- j.        **111551**        Resolution relating to a Certificate of Appropriateness for installation of soffit vent at 2359 N. Sherman Blvd. for Sharon Lockhart.

**Sponsors:** THE CHAIR

**A motion was made by Ann Pieper Eisenbrown, seconded by Patricia Balon, that this Resolution be ADOPTED. This motion PREVAILED by the following vote:**

**Aye:** 4 - Balon, Nemec, Pieper Eisenbrown, and Williams

**No:** 0

**Excused:** 3 - Jarosz, Bryant, and Bauman

- k.        **111552**        Resolution relating to a Certificate of Appropriateness for installation of PVC vent pipes for a new boiler at 2830 N. Grant Blvd. for Paul Kuenning.

**Sponsors:** THE CHAIR

**A motion was made by Ann Pieper Eisenbrown, seconded by Patricia Balon, that this Resolution be ADOPTED. This motion PREVAILED by the following vote:**

**Aye:** 4 - Balon, Nemec, Pieper Eisenbrown, and Williams

**No:** 0

**Excused:** 3 - Jarosz, Bryant, and Bauman

- I.        111553        Resolution relating to a Certificate of Appropriateness for installing of temporary window signage at 225 E. Michigan Street for the First Hospitality Group.

**Sponsors:**        THE CHAIR

**A motion was made by Ann Pieper Eisenbrown, seconded by Patricia Balon, that this Resolution be ADOPTED. This motion PREVAILED by the following vote:**

**Aye:**    4 -    Balon, Nemec, Pieper Eisenbrown, and Williams

**No:**    0

**Excused:**    3 -    Jarosz, Bryant, and Bauman

**Meeting adjourned at 3:40 p.m.**

**Chris Lee, Staff Assistant**

**This meeting can be viewed in its entirety through the City's Legislative Research Center at <http://milwaukee.legistar.com/calendar>.**



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## Meeting Minutes HISTORIC PRESERVATION COMMISSION

**ALLYSON NEMEC, CHAIR**

**Patricia Balon, Randy Bryant, Ald. Robert Bauman, Matt Jarosz, Ann Pieper Eisenbrown and Blair Williams**  
**Staff Assistant, Chris Lee, 286-2232, Fax: 286-3456,**  
**[clee@milwaukee.gov](mailto:clee@milwaukee.gov)**

**HPC Planners: Carlen Hatala, 286-5722, [chatal@milwaukee.gov](mailto:chatal@milwaukee.gov);**  
**Paul Jakubovich, 286-5712, [pjakub@milwaukee.gov](mailto:pjakub@milwaukee.gov)**

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Tuesday, March 27, 2012

3:30 PM

Room 301-B, City Hall

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### SPECIAL

Meeting convened at 3:33 p.m.

Individuals also present:

**Carlen Hatala, Historic Preservation Commission Staff Planner**

**Paul Jakubovich, Historic Preservation Commission Staff Planner**

#### 1. Roll Call.

**Present:** 7 - Nemec, Balon, Pieper Eisenbrown, Jarosz, Bauman, Bryant, Williams

#### 2. Election of a Vice-Chair.

*Mr. Jarosz accepted to be elected Vice-Chair. There were no objections.*

#### 3. Review of Proposed Changes to the Historic Preservation Ordinance.

*Individuals appearing:*

*Jim Owczarski, Deputy City Clerk*

*Ald. Terry Witkowski, 13th Aldermanic District*

*Rich Watt, Legislative Reference Bureau*

*Mr. Owczarski said that Ald. Witkowski introduced a title only file proposing changes to the Historic Preservation Ordinance in March 2011 and that the alderman wanted input from the commission and the public before filling the file. He added that the alderman intended to schedule the file for the Zoning, Neighborhoods and Development Committee meeting on April 4, 2012 and the Common Council on April 11, 2012.*

*Ald. Witkowski said that he wanted feedback from the community and that there would not be total agreement on the changes. He added that he met with five different*

*groups before coming to the commission.*

*Mr. Owczarski said the first provision is the establishment of a twenty five dollar fee to nominate a structure or district. The fee would help recover costs to the City to process nominations and attempt to prevent the filing of frivolous nominations.*

*Mr. Bryant said that there were eleven nominations over the last five years. From these nominations, five were from alderpersons, four from residents, and two from home owners. He added that there was one nomination in 2011.*

*Ms. Nemec said that the fee would be waived when an alderperson did the nomination.*

*Ald. Witkowski said that he cannot identify any frivolous nominations and that the fee for nomination was suggested across the board from different sources.*

*Mr. Owczarski said the second provision changes those who can nominate a structure or district for historic status and restricts nomination of a property or district to the property owner for a single property, a Common Council member, or by petition from at least twenty five city residents.*

*Mr. Bryant said that the first and second provisions are not an issue. He added that out of eleven nominations, nine were upheld by the Common Council and no alderperson nomination was overturned.*

*Ms. Hatala explained that she currently talks to and gives all information and applications to an applicant for nomination. She added that for buildings going through significant alterations, she informs the applicant that staff probably cannot recommend approval; however, the applicant is free to pursue the request.*

*Ms. Nemec said that the commission currently has standards and that the provision is addressing a problem that is nonexistent. She was concerned that the provision would make nominations owner oriented.*

*Mr. Owczarski said that the third provision defines demolition by neglect and references section 275 32 of the code regarding standards for upkeep. There exists provisions in the ordinance currently that define demolition by neglect and prohibit it. Defining in the HPC section would ensure that the provision is known and followed.*

*Ms. Nemec said that there should be more enforcement of this provision and Mr. Blair questioned possible enforcement mechanisms.*

*Mr. Owczarski said that enforcement needs further exploration and that the Department of Neighborhood Services (DNS) is obligated to create a record of neglect and upkeep.*

*Ald. Bauman said that DNS has the authority to incur expenses with a historic property. DNS has some ability to take preventative action, at the cost of the tax roll, for houses that are deteriorating due to absentee landlords.*

*Mr. Owczarski said that the fourth provision removes the mandatory thirty day delay after initial commission review. The provision will require one full hearing where all parties and sides would participate in and a commission decision be rendered. HPC will still have the ability to hold a matter. The intention is to prevent the misperception*

*of delay by the commission, such as in the case of the Marriott Hotel application for a Certificate of Appropriateness (COA).*

*Ald. Bauman said that the current thirty day delay provision was to acknowledge that some COA matters may be major and significant, requiring more time and increased level of review as oppose to routine COAs. He added that subchapter 11 in the HPC code is not the best drafted and requires substantial rewrite of the process. The subchapter needs streamlining and different processes created for routine COAs and COAs that have significant interest or public policy questions.*

*Ms. Nemec said that the Marriott item did not have the full twelve day submittal required when the commission met on it. She added that the Marriott item was deliberated in short notice, and the commission wanted more time to review and consider everything.*

*Ald. Bauman said that the commission acted expeditiously compared to other bodies, such as the Board of Zoning Appeals and the Architectural Review Board, can delay a matter for months or years. He added that the commission acted in good faith to prevent legal issues, that the accusation of parliamentary maneuvering was inaccurate, and that the proposed provision may allow the commission to hold items indefinitely.*

*Mr. Williams said that the provision may be stripping the commission from making well rationale decisions, that the process needs to be broken into pieces overall to allow the commission to manage and advance the best outcome for all, and that full submittal applications and not incomplete applications be emphasized in subchapter 11.*

*Mr. Owczarski said the first part of the fifth provision relates to voice of the owner. The provision requires the commission to attempt and obtain a written statement of the owner's preference in the designation of a historic property. This would be done by certified letter and does not require a response. The desire is to codify the current practice and make it a part of the permanent record of deliberation.*

*Mr. Owczarski proceeded with the second part of the voice of the owner provision. If the owner of a site or structure, or 35% or more of the owners included in a proposed district, file written objections, the designation would not become effective without super majorities (2/3) of both the commission and Common Council. The 35% was patterned according to standard practice with map changes in zoning. Objections have to be formal, notarized petitions sent to DCD and the City Attorney.*

*Ms. Nemec said that nominations should not be based on an owner's interest. Instead, nominations should be based on historic criteria, history, and standards that are currently considered. She added that the provision is solving a problem that the commission does not have.*

*Ald. Witkowski said that voice of the owner came from the City Attorney and review of other ordinances in the nation and city code. He added that super majority votes are practiced by the commission and the Council currently.*

*Mr. Williams said that every owner objection would result in the Common Council to weigh in on a supermajority level, which a super majority vote would be complicated. He added that there should be a super majority of the Council that designation shouldn't exist and that the provision strips the commission of making designations*

worthwhile.

*Ald. Bauman said that absentee landlords would be empowered to have veto power to trigger a supermajority, unleash their lobbyists, obtain attorneys, and render homeowners defenseless.*

*Mr. Watt said he looked at the ordinances of other cities, such as Pittsburgh, Portland, and Tampa Bay, concerning voice of the owner.*

*Mr. Owczarski said that the sixth provision relates to new construction design review. Current new construction projects in a historic district require design review by HPC staff with direction to the commission. Recommendation from the work group is to move design review process entirely to DCD for exclusively new construction.*

*Ald. Witkowski added that HPC staff would be required to consider DCD's design recommendations relating to a COA for new construction administratively on the application itself and make a final decision to the commission.*

*Mr. Williams said he was comfortable with the provision but wanted the sponsor of the file to consider some body for design review in the event that the Council overturns the commission's finding and allows a building to proceed.*

*Ms. Nemec said that she is not aware of any issues with DCD staff and that they are free to attend the commission's meetings.*

*Mr. Owczarski said the seventh provision deals with the timing of demolition permits. The provision reduces the time the commission may defer a decision on a demolition permit from one year to eight months.*

*Ms. Nemec said that she was not aware of any delay problems and that the commission should have the right to defer a decision to a year if it felt appropriate to do so.*

*Mr. Jarosz said that the commission has the ability and has deferred decisions less than a year. He added that the commission should have the discretion.*

*Mr. Bryant said that the commission has not abused its ability to defer decisions and that there were no cases of a year delay.*

*Mr. Owczarski said the eighth provision allows, not mandate, the commission to require proof that financing is in place for a new construction before a demolition permit would be issued. Proof would be validated by DCD. The provision was intended for great flexibility.*

*Ald. Bauman said that he had a legal issue with the language of the provision. It does not specify the level, timeliness, and amount of proof.*

*Ms. Nemec said that she was concerned about the implementation of requiring proof of financing.*

*Mr. Williams said that the provision shouldn't generalize and make the commission have unburdened power.*

*Mr. Owczarski replied that more details and specificity of implementation can be*

*codified, if desired, rather than administrative codification.*

*Mr. Owczarski said the ninth provision allows for consideration of economic hardship. The commission would be directed to develop a procedure to permit COA applicants to make a case for economic hardship. It is a byproduct of patterns observed throughout the country and recommendations from the work group. If desired, specific processes for different kinds of applicants big and small can be codified but would be lengthy. The commission does not currently have the power to consider economic hardship.*

*Ms. Nemec said that consideration of economic hardship is difficult in practice to consider.*

*Mr. Williams said this provision should be a criterion for a COA for a demolition permit. He added that all COAs needed to be separated into different pieces in the code.*

*Mr. Owczarski said the tenth provision concerns legislative oversight that allows the Common Council, by resolution introduced by a Council member, to consider and act on any completed application for a COA that has been on file for more than ninety days.*

*Ald. Bauman said that no criteria exist under the provision for the Council to consider. The Council could make decisions based on political grounds. He added that applicants and absentee landlords would have a new road map to bypass the HPC process and get a majority of Council support without any consideration of historic guidelines and standards. Potentially, a resolution could be introduced before the commission gets a chance to make a decision.*

*Ald. Witkowski said the Council has the ultimate authority. The intention was for the Council, at its discretion, to be able to review major, complex, and political COA applications having a major impact in the city as well as to be able to investigate those COA applications that have not been acted upon by the commission. Safeguards are in place and the commission will be able to report to the Council its position and views for the Council to consider.*

*Mr. Bryant said that yanking a COA matter without HPC full consideration would cheat the public and be political football. Commissioners are appointed for the public and not appointed politically. Over the last 4 years out of 639 COAs granted by the commission, 4 were denied through the Council. Out of those 4, 2 were actually overturned by Council. Over 15 years there was only one lawsuit with the city.*

*Mr. Williams said that inaction of the commission may be due to the applicant, such as having poor architects or inadequate designs. He added that he would have no issue if some standard was created allowing for Council intervention other than 90 days.*

*Ald. Bauman said if the desire is to have the Council be the ultimate authority, then eliminate the commission and make it a political process by creating a standard committee for the Council. He added that other bodies, such as ARB, does not have this provision and does not have any complaints over delay.*

*Mr. Owczarski said the eleventh provision relates to de listing that would allow for a procedure to remove historic designation, which no current process exists for delisting of a property or district. The owner of a historic site or structure, the owners of at least*

*35% of the parcels within a historic district, or a Common Council member may file a request for the commission to consider removal of historic designation. A 3/4 vote of the Council is required to terminate any historic designation status.*

*Mr. Jarosz said that the commission does not have this issue.*

*Ms. Nemec said that the provision would allow for absentee landlords to delist neighborhoods.*

*Mr. Bryant said that delisting would expose residents to devalued properties. Historic districts and the housing stock in Milwaukee are fantastic, superior to those from other cities, and creates jobs. Some of the provisions discussed today were unnecessary. Focus should be on sections that need improvement.*

*Mr. Williams said that he was not oppose to a 3/4 vote of the commission and Council. He added that 35% was a low, minority number that would allow absentee landlords to band together for delisting. Instead, he suggested for the percentage to be a majority of 75%.*

*Mr. Owczarski said that the last provision establishes a voluntary historic plaque program for historic sites, structures, districts, or points of interest. The commission would have oversight of the program, but all costs would be borne by the property owner. Intent was to create a program of uniformity.*

*Mr. Williams said that he did not want the commission to have oversight over points of interests that were not designated historic.*

*Mr. Bryant said that such a program would create a tiers of historic properties, which he did not like.*

*Ms. Nemec said that the program would water down the historic properties and the designation process.*

*Ms. Nemec read an opposition letter from Whitney Gould, made part of the record. There were no objections.*

*Ms. Nemec moved to open the meeting to the public.*

*Individuals appearing to testify:*

*Anna Marie Opgenorth, Historic Milwaukee, Inc., 1200A E. Auer, Milwaukee, WI 53212*

*George Wagner, Historic Milwaukee, 3300 N. Newhall St., Milwaukee, WI 53211*

*Noah A. Skowronski, 1110 N. Chicago Ave., South Milwaukee, WI 53172*

*Donna Schlieman, 630 N. 4th St., Milwaukee, WI 53203*

*David Uihlein, Uihlein/Wilson Architects, 322 E. Michigan St., Milwaukee, WI 53202*

*Kathleen Kean, Historic Milwaukee, Inc., 4412 N. Woodburn St., Milwaukee, WI 53211*

*Scott Stroh, Milwaukee Co. Historical Society, 2020 E. Menlo Blvd., Shorewood, WI 53211*

*Ronald W. Giguczriz Sr., BID 4, 1635 S. 8th St., Milwaukee, WI 53204*

*Michael Hatch, Foley & Gardner LLP, 777 E. Wisconsin Ave., Milwaukee, WI 53202*

*Mary Eastwood, HBH, 1824 N. 2nd St., Milwaukee, WI 53212*

*Kevin Donahue, Historic Milwaukee, Inc., 1725 E. Kane Pl., #202, Milwaukee, WI 53202*

*Bob Greenstreet, 2939 N. Shepard, Milwaukee, WI 53211*

*Jim Haertel, Brew City/Best Place, 915 W. Juneau Ave., Milwaukee, WI 53233  
Dawn McCarthy, Milwaukee Preservation Alliance President, 2589 N. Lake, 53211  
Barbara Elzner, 2420 N. Terrace Ave., Milwaukee, WI 53211*

*Ms. Schlieman submitted an email for the record. There were no objections.*

*Ms. Nemec closed the meeting to the public.*

*Mr. Bryant moved to request for additional time be allowed in the development of the ordinance before it is filled and introduced to Council. Seconded by Mr. Williams. There were no objections.*

*Ald. Witkowski replied that he will not plan to schedule the file for the Zoning, Neighborhoods and Development Committee meeting on April 4, 2012. He added that he intends to fill the file as soon as possible after making changes.*

*Martha Brown, DCD Deputy Commissioner, appeared before the commission and gave background information on a work group that was created by Mayor Tom Barrett to review the HPC ordinance. The group met six times from October 2011 to February 2012. Nine people participated during the course of the meetings. They first looked at general questions. The focus centered on the purpose of the ordinance and public necessity. They looked at other ordinances concerning topics like delisting and voice of the owner. The group did not vet the ordinance but made suggestions, which some were used by the sponsor.*

**Meeting adjourned at 6:10 p.m.**

**Chris Lee, Staff Assistant**

**This meeting can be viewed in its entirety through the City's Legislative Research Center at <http://milwaukee.legistar.com/calendar>.**



## Legislation Details (With Text)

**File #:** 111525 **Version:** 0

**Type:** Resolution **Status:** In Committee

**File created:** 2/29/2012 **In control:** HISTORIC PRESERVATION COMMISSION

**On agenda:** **Final action:**

**Effective date:**

**Title:** Resolution relating to historic designation for the Schultz / Seeboth Duplex at 839-841 N. 11th Street.

**Sponsors:** THE CHAIR

**Indexes:** HISTORIC PRESERVATION, HISTORIC PRESERVATION COMMISSION

**Attachments:** Application, Schultz Seeboth Duplex Map, Revised Certified Notice to Property Owner, Revised Notice to Neighboring Property Owners, Certified Notice to Property Owner, Notice to Neighboring Property Owners

Date	Ver.	Action By	Action	Result	Tally
2/29/2012	0	COMMON COUNCIL	ASSIGNED TO		

Number  
111525  
Version  
ORIGINAL  
Reference

Sponsor  
THE CHAIR  
Title

Resolution relating to historic designation for the Schultz / Seeboth Duplex at 839-841 N. 11th Street.

Requestor

Drafter  
CC-CC  
dkf  
2/29/12



**SCHULTZ / SEEBOTH DUPLEX**  
**839-841 N. 11<sup>TH</sup> STREET**  
**HISTORIC DESIGNATION STUDY REPORT**  
**APRIL, 2012**

## HISTORIC DESIGNATION STUDY REPORT

### I. NAME

Historic: **Schultz / Seebboth Duplex**  
Common Name: **Chudnow Museum of Yesteryear**

### II. LOCATION **839-841 N 11<sup>th</sup> Street**

**Legal Description -** Tax Key No. 391-020-4000  
SURVEY AND SUBD INTO CITY LOTS OF THE N 30 ACRES  
ETC. IN THE NW ¼ SEC 29-7-22 BLOCL 192 N 50' LOT 3 BID  
#10

### III. CLASSIFICATION **Site**

### IV. OWNER **A. Chudnow and Sons Historic Museum Inc. 839 N. 11<sup>th</sup> Street Milwaukee, WI 53233**

**ALDERMAN** Ald. Robert Bauman, 4<sup>th</sup> Aldermanic District

**NOMINATOR** Joel Willems, Curator of Chudnow Museum of Yesteryear

### V. YEAR BUILT **1869-1870 (tax rolls) Remodeled 1905 (Milwaukee permit No.2705, July 2, 1905)**

**ARCHITECT:** Jacob Jacobi (1905 remodeling, Milwaukee permit  
No. 2705, July 2, 1905)

### VI. PHYSICAL DESCRIPTION

#### THE AREA

The Schultz/Seebboth Duplex is located on the west side of Milwaukee's Central Business District, in the 800 block of N. 11<sup>th</sup> Street, overlooking the I-43 freeway. The area was once a residential neighborhood of solid masonry and brick veneered houses populated by the upper middle class and smaller wood frame houses occupied by trades people. Many of the upper middle class owners were businessmen or professionals. The neighborhood was well built up by the 1870s and residential development continued into the early years of the 20<sup>th</sup> century. The major non-residential building in the immediate area of this nomination was the car barn and power house of the West Side Street Railway, established in 1874. The building was located on Wells Street midway between N. 11<sup>th</sup> Street and N. 12<sup>th</sup> Street. The company was one of the more successful street railway companies in the city and established a double trolley track on Wells Street all the way to 34<sup>th</sup> Street with a later expansion on Juneau Avenue. This streetcar company did much to accelerate the residential development of the west side much like today's freeways have encouraged commuter suburbs.

This area began to change by the 1920s when the growth of nearby Marquette University and Mt. Sinai Hospital led to the replacement of individual houses with large apartment buildings, hotels and commercial structures. By the 1920s there were four apartment buildings on the block bounded by N. 11<sup>th</sup> Street, N. 12<sup>th</sup> Street, W. Wells Street and W. Kilbourn Avenue as well as two mixed use buildings (stores and flats) and a large commercial garage. The house at the northeast corner of the block was enlarged and converted to a bathhouse. A Masonic lodge was built onto the front of the house just to the south of the property that is the subject of this nomination. By the late 1960's this block held only three remaining residential structures, by then used for offices. The construction of the I-43 freeway, submerged between N. 10<sup>th</sup> Street and N. 11<sup>th</sup> Street, has now visually and spatially separate this block (and this part of the city) from the eastern portion of the downtown. Much of the remaining residential character of this area has been swept away in the aftermath of various urban renewal projects that assisted Marquette University in developing a master campus plan and enlarging its footprint on this portion of the city. Nearby Mt. Sinai, now known as Aurora Sinai, also was able to pursue expansion into the neighborhood.

The 800 block of N. 11<sup>th</sup> Street is the last block that still retains some semblance of the 1870s residential character in this immediate area. There are three cream brick houses, no longer used for residential purposes, along with the National Register listed Kilbourn Masonic Hall, also built of cream brick. The rest of the block has undergone a lot of alteration. The largest building on the block now is located at the northwest corner of N. 11<sup>th</sup> and W. Wells Street, built in 1969 for Catholic Knights Insurance, now known as Catholic Financial Life. It contains offices, apartments and parking. Demolitions continue on this block. An apartment building at the northeast corner of W. Wells Street and N. 12<sup>th</sup> Street was recently demolished by Marquette University. Only one building remains on the west side of the block. It is the Muriel and Jack Winter Family Research Institution, an office building owned by Aurora Sinai, built in 1958. The rest of the block has surface parking.

SCHULTZ / SEEBOTH DUPLEX 839-841 N. 11 <sup>th</sup> STREET
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The Schultz/Seeboth Duplex is a cross gabled, solid masonry house whose main elevation faces east to N. 11<sup>th</sup> Street. The house is set back eight feet from the sidewalk behind a lawn and shrubs. A broad brick-clad walkway leads to the front steps. There is an asphalt driveway along the south side of the house and asphalt paving along the north side. The rear of the grounds consists of paved parking. The core of the house was constructed of cream brick between 1869-1870 and surviving details from that period can be seen on the west and north elevations. The front of the house, dating to 1905, is constructed of tan/taupe brick that wraps around the house to a bay at the south elevation and stops just at the corner of the north elevation. The large roof with three prominent gables also dates to 1905.

The front elevation is the most distinctive portion of the building. It features a large masonry porch supported by square masonry piers with simple stone capitals, a three part bay window on each story and a prominent front gable. The porch extends across the entire front façade. It has a balustrade of brick with semi-circular arches on each elevation that serve as scuppers. The porch is approached by a flight of five broad concrete steps and there are ornamental iron handrails of recent date on either side and at the center of the steps. Small piers against the wall of the building on the second story indicate that there was once a short balustrade on the upper portion of the porch roof.

Fenestration is consistent from the first to the second story. One-over-one sash are located at the south or left side of the façade. The entrance to the first floor flat has a second floor porch entrance stacked above. Large bay windows of matching design are found on each floor. The entry to the upper flat is located at the far north or right side of the façade. There is no corresponding entry on the second story. Doors feature a single large light above a single rectangular panel. A small iron railing encloses the step-out from the second story porch door.

The most dramatic portion of the façade is the large front gable. This gable features distinctive Gothic tracery bargeboards, half timbering and stucco. The gable is supported by large scrolled corbels and brackets. A bank of four windows is boxed out with an entablature and corbels. These details lend an Elizabethan/Jacobean character to the duplex. But they also reflect the interest in medieval German half-timbered buildings, popular among the more prosperous German Americans in Milwaukee. Albert Seeboth, responsible for the 1905 remodeling that resulted in its current appearance, was of German ethnicity. This looking back to medieval German roots was the height of fashion in Germany in the 1890s and early years of the 20<sup>th</sup> century. It was readily adopted by prosperous members of the German-American community in Milwaukee.

The south, west and north elevations give clues to the duplex's Italianate origins. The elevations rest on a rusticated limestone foundation, which is parged on the north side due to water infiltration. Window openings are generally surmounted by segmental arched openings with brick voussoirs although rectangular sash have been installed within the openings. The brick on these three sides is mostly cream brick except where the pressed tan brick wraps around from the front to the south elevation bay window. Window openings correspond to room placement on the interior and have stone sills.

The south elevation features both cream brick and the tan/taupe brick that is found on the front elevation. The tan/taupe brick stops at the polygonal bay. The bay was enlarged from the original rectangular bay in the 1905 remodeling. On the south elevation near the rear is a four paneled entry door at grade next to which is a window with segmental opening and brick voussoirs. They are sheltered by a pent roof supported by large wood corbels. The door and entrance configuration appear consistent with the 1905 remodeling and fire insurance maps show that this portion of the house had been a narrower one-story service wing before the alterations. It was expanded to the south by several feet to "square off" the building and allow more interior space.

At the rear or west is a gable roofed structure at the north end that encloses an entrance at grade. A large security light is located above this entrance. There is also an airing or jump porch at the second story on the south end of the façade. There is a small one-over-one sash window on the first story, one large and one small window adjacent to the jump platform on the second story, and two windows of equal size at the attic.

The north elevation as stated above is clad in cream brick. A shallow rectangular bay remains from its original construction. Windows are consistent with an Italianate origin. The windows have segmental tops and are framed in brick. The frames may have served as anchors to ornamental window hoods and surrounds, no longer extant. Although the fire insurance maps indicate that the rear service wing was one story, there is almost the ghost line of corner quoins at the northwest corner extending to the roof, quoins being a favorite detail on Italianate buildings.

The very large and steeply pitched roof definitely dates from the 1905 alteration since shallow hip roofs were the norm on Italianate houses. Cross gables emphasize the front one third of the roof mass. On both the north and south elevations there are gables that are similar to, but not exact replicas, of the front elevation. There are broad fascia with raking cornices, half timbering, a bank of three windows and prominent corbels and brackets. The roof is currently clad in three-tab shingles. Some shingles are damaged on the east slope of the north cross gable. There is a small skylight on the north elevation set behind the cross gable. On the south elevation is a small dormer near the rear of the house. It features a gable roof, half timbering, corbels and a pair of one over one sash. The gable on the north elevation cuts into the top of the segmental arch at the second story window, indicating that this window, and likely those below, pre-existed the remodeling.

## CHANGES

The most dramatic changes to the building occurred in the 1905 remodeling. The German Renaissance Revival styling is how we read the building today. The shallower roof was replaced by a steeply pitched cross gabled one. The gables make for a dramatic silhouette. A small skylight on the north slope of the roof appears to date from the 1905 remodel. The rectangular bay on the south elevation was changed into a polygonal one. Wooden side porches that flanked the south bay were replaced with a broad front masonry porch. The house was widened and squared off by building out the south wall of the rear wing by several feet. Tan/taupe brick was used in the new front elevation while the side and rear elevations retain their cream colored brick

Very little has changed since that time. The stone foundation at the north elevation has been parged. A rear entrance with gabled roof had been constructed in recent years. What rear yard existed has been paved for parking. A 1920s garage has been demolished sometime after 1973. Windows appear to have been replaced. Rectangular sash are now set within segmental arched openings. Attic windows had eight-over-one sash but are now simple one-over-one sash. The large windows on the south end of the front elevation were once landscape sash with a transom topping a large single pane. Landscape sash filled the center openings of the bay windows. All of these are now simple one-over-one sash. A utilitarian chimney is located at the apex of the roof near the back of the house and there is no ornamental chimney. Fire escapes were once located at the front and rear of the house, extending from the attic to the second story. They were installed in the 20<sup>th</sup> century and removed after the Chudnows became owners in the 1960s.

## VII. SIGNIFICANCE

The Schultz / Seeboth house is significant as a fine example of an early 20<sup>th</sup> century house that reflects Milwaukee's unique collection of ethnic architecture. This architecture borrowed from the renewed interest in medievalism that was reflected in the German Renaissance Revival, a term used to categorize the interest in German's architectural heritage that preceeded the imported Italian Classical styles of the 18<sup>th</sup> and 19<sup>th</sup> centuries. Features of this style include half timbering, pierced bargeboards (often with Gothic motifs such as trefoils and quatrefoils and cusped forms), grouping of windows into bands, and prominent corbels. Although a similar interest can be seen in America's Jacobethan Revival, at about the same time, based on English precedents, the angled half timbering and more rustic appearance in this instance is more in line with German examples than English. Examples with a similar emphasis include the Gustav Trostel house at 22611 N. Terrace Avenue, the Edward Schuster / Victor Berger house at 2576 N. First Street, the Fred Lichtfeldt House at 2923 W. McKinley Boulevard and the Henry Harnischfeger House at 3424 W. Wisconsin Avenue. These types of houses were once more common in Milwaukee at the turn of the 20<sup>th</sup> century but anti-German sentiment and economic downturns have left the city with only a small number remaining.

The Schultz / Seeboth Duplex is also a good example of the quality of workmanship used in remodeling projects in the early 20<sup>th</sup> century. The remodel preserved the bulk of the house, in a model of green sustainability for its time, yet added enough new features that blended seamlessly with the original structure. It is a credit to architect Jacob Jacobi's talents that the building reads coherently and not a pastiche. It is one of, if not the most intact of his surviving commissions.

## VIII. HISTORY

The property that is the subject of this nomination went from investor to investor in its early years. We do know that Ephraim Mariner, one of the major real estate developers of his era, held this land and conveyed it along with a number of other lots to Edwin H. Goodrich in 1857. This particular block had virtually no development in the 1850s. Wisconsin Avenue, two blocks away, was the domain of country estates with large houses. The land to the north and south of Wisconsin Avenue began to change after the Civil War as the city's growing population required more housing. The area became home to residential development with large and medium sized single family houses, double houses, and scattered churches, and a few commercial properties. The neighborhood was mostly built up by the 1870s. (Milwaukee County Register of Deeds, volume not known, page 329, March 20, 1863, supplied by Chudnow Museum of Yesteryear)

DANIEL SCHULTZ
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Daniel Schultz purchased the north 50 feet of Lot 3 in Block 192 (today's 839-841 N. 11<sup>th</sup> Street) in or by 1867. The remainder of Lot 3 (eleven feet) went with the property to the south. Tax rolls show that there were no improvements, such as a house, on Schultz's property. He also owned a portion of Lot 10, located directly behind his residential lot, most likely to provide access to his property from 12<sup>th</sup> Street or for future investment purposes. There were in fact only a few other improvements on the entire block in the late 1860s but this was an up-and-coming neighborhood and Milwaukee's population was moving west. By 1871 most of this particular block had been built up. ( Milwaukee Tax Rolls Fourth Ward 1866 p. 249, 1867 p. 272, 1868 p. 279, 1869, 1870 p. 278, 1871 p. 294)

The first improvements on Schultz's lot show up in 1869 when their value is listed as \$2,000. The value ultimately increased to \$3,000 in 1870 and \$3,500 in 1872. The value of a small wood frame worker's cottage amounted to \$350 in this time period so a value of \$3,500 would be consistent with a substantial masonry building. Schultz and his family moved to this location from Second and West Wisconsin Avenue, as confirmed by city directories. (Milwaukee Tax Rolls; Milwaukee City Directories; Copy of Warranty Deed 1863 incomplete documentation from the Chudnow Museum)

Daniel Schultz was a native of Alsace-Lorraine who came to Milwaukee in 1843. His family included his wife Charlotte W. (Koenig/King), sons Daniel Jr. (b. 1857) and Alfred G. (b. 1865) and daughters Clara Louise (sometimes Louise, b. 1854), Amelia (b. 1847) and Sarah (b. 1844). The 1870 census shows a Mary Evelina (age 17) living on the premises as a servant. Mother-in-law Charlotte King lived with the family in 1860. (U.S. Census 1860 and 1870)

Schultz had an interesting career and was a high profile member of the community. He was a manufacturer of coopers' tools on today's N. Plankinton Avenue (the 1870 census shows him as "master cooper"). Schultz was also a director and general agent for the Milwaukee Mechanics' Mutual Insurance Co. for over twenty years. He was active in the volunteer fire department, serving as a foreman of No. 2 and as chief engineer from 1857-1859. He remained a volunteer until a paid fire department was instituted in 1861. He served as president of the Firemen's Association and composed a song called "Old Machine" which volunteer fire departments around the country found popular. Schultz was active in Republican politics and served as alderman from the Fourth Ward in addition to serving on the Board of Public Works. Schultz held the position of president of the Old Settlers' club. He died at home on his birthday February 7, 1890 at the age of 74 after having been sick for some time. (William George Bruce, History of Milwaukee City and County, Vol. II, page 355-356; "Death of Daniel Schultz" Milwaukee Daily Journal, February 7, 1890 col. B internet article; "An Old Settler Gone" Milwaukee Sentinel, February 3, 1890 page 8 col. 2)

Schultz's widow Charlotte remained in the house until her death at the age of 74 on September 27, 1900. Sharing the house with her, at least through 1893 per the city directories, was son Alfred G. and his wife and family. Alfred later became the vice president of the National Bank of Commerce of Milwaukee.

Extant evidence on the house and fire insurance maps (dating 1888 and 1894 and 1910) show that the house built by Schultz was cream brick veneered with bays on the north and south sides and setback rear service wings. A wood porch was located to either side of the bay on the south elevation. There was no side yard to the right or north of the house since it was built almost up to the north lot line. A small square structure, built of wood with open sides was located in the south side yard. This might have been a garden structure. There was no stable or coach house associated with the property while it was a family residence.

Further research will be required to determine if the house was single family or a duple at this time. Further research will be required to determine what was happening with the property between the time of Charlotte Schultz's death and its next owner. The house may have been rented or perhaps lived in by a family member but not documented in the directories.

#### ALBERT G. SEEBOTH

Albert G. Seeboth was born in Germany in 1862, the son of Adam Seeboth and Katherine Faulbier. The family had a long history in the mercantile business in Breitenbach and was highly regarded in the community there. Father Adam came to America with his brother in 1868. Albert came to America in 1872 with his mother. Katherine died in December 1872, just three months after arriving in the city. Brother Michael came to Milwaukee in 1873 and initially engaged in cigar-making as he had done in Germany. (Bruce, History of Milwaukee City and County, 1922 vol. 3, internet copy,

The professional lives of the Seeboth brothers were intimately intertwined throughout their careers. Michael Seeboth's shift away from cigar manufacturing to the scrap business took place in 1878 when he started Michael Seeboth & Brothers. The business later incorporated as Seeboth Brothers Company, Inc. in 1893. The business was located at South Second (originally Reed Street) and today's W. Seeboth Streets (original part of South Water Street) in the Walkers point neighborhood and dealt in scrap iron, rags, and paper. The Seeboths conducted business throughout the United States. Brother Adam Jr. passed away in 1895. Albert G. became president and Michael served as secretary-treasurer. It was considered the largest firm of its kind in Milwaukee by the 1890s. (Watrous, Memoirs of Milwaukee County, Vol. 2, p.548-549, Bruce, History of Milwaukee City and County Vol. 3 internet copy; Milwaukee Sentinel , 1893 March 11 p. 9 col. D; Milwaukee Sentinel March 9, 1893 p. 3 col. D; Milwaukee Journal, Monday July 8, 1895 p.7)

Deed research will have to be conducted to determine the exact date that Albert G. Seeboth purchased the property at 839-841 N. 11<sup>th</sup> Street but it was in or around 1905. Permit records show that on July 2, 1905, Seeboth took out a permit to substantially remodel the house on 11<sup>th</sup> Street. The \$6,000 project was to construct three additions "to present brick dwelling" and included: a 16 x 28 x 32 portion, a 4x48 x 32 portion, and a 30 x 69 x 8 portion. Ed Steigerwald was the builder and Schultz was the mason. Permits indicate that the building was "solid brick" not brick veneered as shown in the fire insurance maps. The architect was Jacob Jacobi, a German born immigrant who worked his way up from a carpenter to architect in these decades before special licensing for architects was required. Jacobi is likely to have received this commission through family connections. Seeboth's wife was Mary Jacobi, perhaps a sister or cousin of the architect. There were numerous Jacobi families in the city.

The remodel brought the house up-to-date by early 20<sup>th</sup> century standards, and made it stand out among the other older houses on the block. It was also an expression of the family's German ethnicity and was a way to claim some European cache. The remodel erased all interior Italianate detailing. In place of the bulbous rounded bolection moldings found in Italianate buildings, door and window casings now reflect the dark stained flat casings used in late 19<sup>th</sup> and early 20<sup>th</sup> century houses. Beveled glass can be found in the entry foyer and leaded art glass of similar pattern is featured on the doors of the built in china cabinets in the dining rooms. The dining rooms feature a bracketed plate rail and a fireplace with mirrored overmantel. The rectangular firebox has an ornamental metal insert and is surrounded by narrow, glazed green/black art tiles.

Jacobi's remodeling of the exterior likewise extinguished much of the earlier, and now old fashioned Italianate exterior. Gone are the porches on the south side of the building. The south bay is polygonal in form rather than a boxy rectangle. The setback service wing has been built out or squared off so the house is more rectangular in form. The original house likely had a lower pitch hip, consistent with Italianate style. New tan/taupe brick is used for the front and to wrap the south bay. Locally made Cream City brick was not as fashionable by this time and the brickyards were being depleted. The new large front and side bays allowed more light into the interior. The roof height has been raised in the remodel and prominent gable ends can be seen on the three primary elevations. The most striking and memorable feature of the building is the roof with its three prominent gables.

The exterior reflects the interest in medieval Gothic details as found in Jacobethan Revival and German Renaissance Revival design. While some German American clients like Frederick Goll were Anglophiles and adopted an interest in English forms, many prosperous German Americans looked to Germany's Medieval past as a way to recognize and give homage to the new found nationalism of the time period. It is this latter that seems to inform the Seeboth remodeling. The cusps, scallops and pierced forms are Gothic inspired and the half timbering is more Germanic than English in character with its diagonal struts.

It is not clear if the house had originally been a duplex or was converted to one in the 1905 remodeling. Usually the permit records indicate a conversion to a double flat but this is not indicated here. Chudnow Museum curator Joel Willems is of the opinion that the house was originally a duplex. (Interview with curator Joel Willems and site visit March 20, 2012)

At the time of its reconstruction Albert G. Seeboth was age 43 and had become a successful business man. He was later involved with the Albert G. Seeboth Company, a cotton felt manufacturer at what was 222-230 Mineral Street, and the Milwaukee Bronze Casting Company (originally Milwaukee Ornamental Metallic Manufacturing Co.). The Seeboths were also involved in the regional auto production business as reported in The Foundry magazine March 1908. Seeboth Street in Walker's Point was named after the family in 1929, it being previously part of South Water Street. (The Foundry, vol. 32, no. 1, March 1908, information supplied by Chudnow Museum)

Albert's family included wife Mary Jacobi (born 1871), daughter Emily (born 1891), daughter Frances (born 1892), son George (born 1894), daughter Alice (born 1896), and daughter Eleanor (born 1904). Before moving to 11<sup>th</sup> Street the family had lived at 4<sup>th</sup> and State Street where the Milwaukee Journal Building was later constructed. In a history written by youngest daughter Eleanor Cecil Seeboth Higgins, Eleanor said the house had three bedrooms in the lower flat and two bedrooms above. The Seeboths were members of Gesu parish and Eleanor attended grades one through eight there, later attending West Division High School. The dining room was the heart of the home and family celebrations like Christmas Eve and routine things like doing homework, took place there. The family boarded a Swiss girl named Rosie Eggers for three years until her father became ill and she returned to Godac, Switzerland. Rosie Eggers was a niece of Archbishop Messmer, whom they visited at the archbishop's residence in the old Pabst mansion. (Recollection of Eleanor Cecil Seeboth Higgins provided by Chudnow Museum of Yesteryear; U.S. Census 1900, 1910, 1920)

It is not known at this time who rented the upper flat in the years between 1906 and 1912.

Eleanor Seeboth's recollections and city directories show that Dr. Carl F. Scheidel and his sisters Tilly and Frances and widowed mother Christina rented the upper flat from the Seeboths from about 1913 through 1923. Carl was German native, born December 16, 1871, who came to this country in 1888 with his parents, Adolph (died 1908) and Christina Scheidel (died 1920). Carl followed in his father's footsteps and studied medicine, being the first graduate of the Wisconsin College of Physicians and Surgeons. He received his medical degree in 1894. He was prominent in the medical community. In 1924 Scheidel moved to 219 -28<sup>th</sup> Street (today's 826 N. 28<sup>th</sup> Street). An

Anna Stoltz and her two nephews occupied the flat later for a few years. (City directories; Bruce, History of Milwaukee City and County, vol. 3, p. 74)

The Seebths sold their duplex around 1922 as Mrs. Seebth wanted to get away from a neighborhood she thought was getting run down. They moved to Wauwatosa, first living at 63<sup>rd</sup> and Wisconsin Avenue and then to 538 67<sup>th</sup> Street, an attractive stucco-clad Dutch Colonial style house. (Recollections of Eleanor Cecil Seebth Higgins, provided by Chudnow Museum of Yesteryear)

The neighborhood around 11<sup>th</sup>, Wells and Kilbourn was indeed changing by the 1920s. With the growth of Marquette University nearby on Wisconsin Avenue, and the proliferation of hospitals, there was need for rentals for singles or childless couples and apartment buildings began replacing the single family homes. Many of the larger houses were even converted into rooming houses. Right next door to the south of the Seebth's, a residence was moved back and the Kilbourn Masonic lodge built onto the front of the building in 1911.

## LATER HISTORY

### ROOMING HOUSE

After the Seebth's moved out, Gustav Miller rented furnished rooms on the premises from 1924 through his death in 1927 and his widow Florence carried on until 1929. During his management or ownership, Gustav Miller added a fuel oil tank to the premises in 1925, most likely to update the heating system. He also built a 22-foot by 48-foot concrete block garage built at the rear of the premises in 1927 at a cost of \$1,500. This garage is no longer extant. (City Directories; Permit Records)

Vinnie Grant rented out furnished rooms in 1930.

Marie Dower was on the premises in 1931. She may have been an employee of Dr. Eisenberg (below) as they shared premises in the prior year. (City Directories)

### DR. JOSEPH JOHNS EISENBERG

The next long term occupant of the building was Dr. Joseph Johns Eisenberg. He was a graduate of Marquette University and George Washington University where he completed his internship in December 1914. He operated a clinic on the 11<sup>th</sup> Street premises from 1931 until the time of his death in 1951. He initially lived away from the clinic but in 1949 moved his residence to the 11<sup>th</sup> Street property. A floor plan sketched by a building inspector in 1932 shows offices at the front of the building, the "medicine room" occupying the old dining room, the x-ray room to the north of the dining room and a rear hallway with a bathroom, washroom, kitchen, pantry and two bedrooms opening off this space. Inspector's notes indicate that the office, bedrooms, and rest rooms were on the second floor and there were bedrooms on the third floor/attic. There were front and rear fire escapes on the building by this time, undocumented by permits. The wooden sign for Eisenberg's clinic is still extant and owned by the Chudnow Museum. (The George Washington University Alumni Directory 1824-1937, The George Washington University Press, Washington, D. C. 1938, p. 64)

### MARIAN HOME

In 1952 an occupancy permit was issued to Mr. and Mrs. (Clarence and Lorraine) Cogan for use of the premises as a "rooming house for aged people". It was called Marian Home. Dr. Eisenberg's widow Bessie was still owner of the property and she was living on Sheridan Road in Chicago at the time. Inspectors indicated that there was a kitchen and 7 rooms on the first floor and 8 rooms on

the second. There were no patients who were confined to beds. Various partitions were erected on the interior including one that sealed off the built in china cabinet on the second floor. A fire inspector reported that gas lighting fixtures were still in working order on August 11, 1961 so the original fixtures must have been in place up to that time. By September 22<sup>nd</sup> all pipes connected to the fixtures were cut off.

The Marian Home closed around 1965 and the building remained vacant through 1967. (Permits dated 4-18-1952, April 19, 1952, July 14, 1952, September 24, 1952, July 23, 1957, February 25, 1953, August 11, 1961; Milwaukee City Directories)

AVRUM M. CHUDNOW
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Avrum "Abe" M. Chudnow became the next owner of the property taking title in 1966. He and his partners acquired the other two remaining residences on the block as well, the Italianate house next door at 845 N. 11<sup>th</sup> Street and the Gothic Revival/Italianate house at 1119 W. Kilbourn Avenue. The block's future was clouded by the construction of the I-43 freeway (right across the street) and the urban renewal plan for Marquette University which forecast an entirely different urban landscape for the area. The houses were used for offices.

In a letter dated October 21, 1966, brother Joseph Chudnow applied for occupancy of 839-841 N. 11<sup>th</sup> Street with the city. The letter stated this would be a temporary occupancy as "we intend to demolish the building in the next ten (10) to twelve (12) months." Fortunately this did not happen.

The area between the houses was paved for parking in 1973, and a site survey from that year indicates that the large masonry garage behind No. 839-841 was still standing. The third floor or attic of No. 839-841 N. 11<sup>th</sup> Street remained unoccupied and the fire escapes were removed from the building in 1975.

In a project that was featured in the Sunday Milwaukee Journal, Chudnows and Steve Tilton hired H. Russell Zimmermann to restore the exteriors of the buildings in 1980. The subject of this nomination did not require much work so the brick was cleaned, a new roof was installed and trim was repaired and painted. The house next door at No. 845 had its picture window removed and two arched windows installed matching the originals. A new porch replaced one that had long ago disappeared. The house around the corner at 1119 W. Kilbourn Avenue likewise had its later era picture window replaced with period appropriate ones and appropriate doors installed. ("Old buildings here rescued and restored," Lois Hagen, Milwaukee Journal Sunday March 2, 1980 part 7 page 1)

Avrum M. Chudnow (c.1914-2005) was a dynamic and high profile member of Milwaukee's Jewish community and Milwaukee's construction industry. The Chudnow family emigrated from Russia at the turn of the 20<sup>th</sup> century. Avrum was one of seven children. Avrum's mother was a trained nurse and put her skills to service by opening a Jewish care center in Milwaukee. Avrum studied law and formed Chudnow Law Offices LLC in 1937, but under the advice of his mother went into real estate and construction with his brothers after World War II. He continued his law practice as well.

The brothers formed numerous businesses both here and in Florida and developed condominiums in Palm Beach in the 1970s before they became popular. They also built subdivisions and townhouses there, taking advantage of the boom in vacation housing and retirees flooding into warmer climes. Projects in Wisconsin were built in Kenosha, Madison, Oak Creek, Marshfield and La Crosse as well as Milwaukee. They also built government subsidized housing and managed such projects as McKinley Gardens Apartments on Vliet Street which was Section 8 housing. Among their businesses were Chudnow Construction Company, Suburban Management Company, Suburban Homes, Inc. (once the largest residential building firm in Wisconsin), Chudnow Construction Company of Florida, M. A. C. Development Corporation of Florida, Inc., AMC Realty,

AMC Builders. ("Milwaukee Builders Like Florida Areas", Milwaukee Journal, February 7, 1971 Section 7; <http://www.florida-annual-report.com/mac-development-corporation-of-florida-inc.html>)

Avrum Chudnow was involved in both local and national levels of the Jewish National Fund leadership and was described as "a tower of strength of the Milwaukee Jewish community and philanthropic pillar of Jewish National Fund and Israel...Mr. Chudnow's legacy is ultimately Park Timna, the site of ancient Egyptian copper mines in Israel's Negev desert, toward which he gave millions." The park is a permanent historical tourist attraction for Israel and as a national park, has been likened to the attraction of Yellowstone Park in the U.S. Timna has a multi-acre lake and interpretive historic displays. It was the oldest center of copper mining in the ancient world. Avrum Chudnow donated some four million dollars to the project. ("No Desert Mirage: Timna Mines Park Dedicated", Jewish Telegraphic Agency, May 31, 1984 on website <http://archive.jta.org/article/1984/05/31/2999133/no-desert-mirage-timna-mines-park-dedi>; "JNF Mourns Passing of Philanthropist and Visionary Avrum Chudnow", [http://support.jnf.org/site/PageServer?pagename=PR\\_Avrum\\_Chudnow](http://support.jnf.org/site/PageServer?pagename=PR_Avrum_Chudnow); "local woman celebrates father's gift to Israel park", Robert Wiener, New Jersey Jewish News Online <http://www.njewishnews.com/njjn.com/021507/mwLocalWomanCelebrates.html>;

Abe Chudnow served as president of the Metropolitan Builders Association, supported the Jewish Historical Society, helped found Shofar Lodge B'nai B'rith, was president of B'nai B'rith Council, supported the Beth El Ner Tamid Synagogue and the Milwaukee Jewish Home and Care Center as well as its Sarah Chudnow Campus, a 17.4 acre high tech facility for elderly care in Mequon, named after Chudnow's mother. ("Chudnows donate \$3 million to JHCC's new Mequon campus Groundbreaking set for spring" The Wisconsin Jewish Chronicle October 25, 2002 on line at [http://www.jewishchronicle.org/article.php?article\\_id=1735](http://www.jewishchronicle.org/article.php?article_id=1735);

Interestingly, Avrum's brother Benjamin owned Chudnow Iron & Metal Co. which handled recycling. It was located on State Street near Saz's restaurant. Benjamin died in 2001 at the age of 84. The building on 11<sup>th</sup> Street came full cycle, joining two families that had connections with the scrap business over the decades. ("Benjamin Chudnow" Obituary, The Wisconsin Jewish Chronicle, April 20, 2001 online at [http://www.jewishchronicle.org/article.php?article\\_id=178](http://www.jewishchronicle.org/article.php?article_id=178) )

Avrum Chudnow died in 2005 and his widow Beatrice (age 92) still retains ownership of 1119 W. Kilbourn Avenue. The Chudnow Law Offices LLC, headed by Daniel M. Chudnow, is still located in the building. The building at 845 N. 11<sup>th</sup> Street is owned by Chudnow's former law partner Steven Tilton.

CHUDNOW MUSEUM OF YESTERYEAR
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Avrum Chudnow was always interested in history. He especially liked collecting objects related to the occupations of his wife's family that included a shoe store and a grocery. But his interests also included memorabilia related to Fighting Bob LaFollette, toys, posters, brewing and more. He would often go to flea markets on weekends with a plan to buy objects relating to a particular theme. He always dreamed these objects would be housed in a museum setting. In 1991 Mr. Chudnow decided to house his collection at No. 839-841 N. 11<sup>th</sup> Street. Objects from the collection have been used in local exhibits commemorating Jewish history in Milwaukee.

After years of planning and obtaining the necessary permits, the interior of 839-841 N. 11<sup>th</sup> Street is currently being converted into museum space. The room configuration has been mostly left as it was when acquired in 1966. Each room will represent a different theme such as a railway waiting room, a grocery store, ice cream parlor, shoe store, etc. Installation is being worked around existing historic woodwork and built-in cabinetry so important features are not lost. Dan Froehlich, a set designer, is assisting with the display designs. Marquette University interns are assisting curator Joel Willems. The museum should be open to visitors within the next year. Ownership of

the museum is now under the name A. Chudnow and Sons Historic Museum Inc. The Schultz / Seeboth Duplex has had a long and varied history that well illustrates how historic buildings can have more than one life and continue to enrich the community..

## THE ARCHITECT

### JACOB JACOBI

A German born immigrant, Jacob Jacobi's Milwaukee career began in the 1870s as a carpenter/builder. He listed himself as architect in the city directories for the first time in 1888 although a published biography indicates he started devoting himself to architecture in 1885. By the mid-1890s he employed several draftsmen and made a specialty of residences although he also worked on other types of buildings as well. (Milwaukee-A Half Century's Progress, 1896, p.185)

Jacobi worked mostly on his own (with draftsmen) but had brief partnerships with Frank W. Andree (Andree & Jacobi) in 1889; George Birnback (Jacobi & Birnback) in 1900; Augustin V. Wiskocil (Jacobi & Wiskocil) from 1901 through 1903; and with Anton Dohmen in 1905. Some of these partnerships may have been more in the way of brief collaborations on specific projects. Jacobi's only known project with Anton Dohmen, for example, was Friedens Church in 1905. Dohmen was known for his church design and later designed Ascension Lutheran on Layton Boulevard (1922). Jacobi's only known commission with George Birnback was the Dr. C. W. Graham House and Office at 2329-2331, a brownstone building unlike anything else built in the city.

Jacob married Josefa (Josephine) Fiala on October 21, 1871 at Milwaukee's "Bohemian Church". The Jacobi's moved to 1311 Chestnut Street in 1874 and it remained their home for the duration of their marriage. The one and a half story cottage featured distinctive gothic label moldings above the front windows and a pierced gable at the entry porch. The parents of Golda Meir would later live there after Mrs. Meir left Milwaukee. (Registration of Marriage. Jacob Jacobi and Josefa Fiala. Online at [http://content.mpl.org/cdm4/item\\_viewer.php?CISOROOT=/MCMC&CISOPTR=13786&...](http://content.mpl.org/cdm4/item_viewer.php?CISOROOT=/MCMC&CISOPTR=13786&...))

Jacob Jacobi was active in the I.O.O.F. (Odd Fellows) and Sons of Herman and was a member of the Wisconsin chapter of American Architects. The Milwaukee Journal reported on the couple's silver wedding anniversary, celebrated at their Chestnut Street home in May 1893 where they were serenaded by the Sons of Herman. A silver wedding anniversary is a 25<sup>th</sup> anniversary. The dates of the anniversary celebration and the marriage certificate do not match up by year or month. Either the Journal reporter erred or the marriage certificate reflects a different couple with the same names. Jacob Jacobi died in 1918 and his wife moved to 611 Lee Street (615 W. Meinecke, razed). (Milwaukee-A Half Century's Progress, 1896, p.185; Milwaukee Journal.Saturday May 6, 1893 p. 3)

We have relatively few documented buildings by which to study Jacobi's work. Many of Jacobi's projects were located in neighborhoods that have experienced significant disinvestment and are no longer extant. Additional surveys of the city may identify more of Jacobi's projects and help to further assess his architectural contribution to the city.

Jacobi's known residential projects included a number of towered houses in middle and upper class neighborhoods:

960 N. 34<sup>th</sup> Street (1893) (Concordia Historic District)  
2454 W. Kilbourn Avenue (1894)  
2832 N. Summit Avenue (1895)  
3009 W. Highland Boulevard (1897) (Highland Boulevard National Register Historic District)

There are also several documented front gabled duplexes:  
1504-1506 N. Jackson Street (1898) with large front bays and a Palladian window in the gable end

1220-1222 N. 21<sup>st</sup> Street (1902, with Augustin Wiskocil) with German Renaissance Revival details  
839-841 N. 11<sup>th</sup> Street (1905 remodeling for Albert G. Seeboth)  
2434 N. Cramer Street (1906) with details resembling the Seeboth duplex

Commercial buildings included:

2251 W. Fond du Lac Avenue (1891) towered Queen Anne style  
1402 W. North Avenue (1911) Lyceum Theater (Later known as Iris, Roosevelt and Bell)

The remodeling of 839-841 N. 11<sup>th</sup> Street is the perhaps the best remaining and most intact example of Jacobi's exteriors. The towered Queen Anne built for William Manegold at 3009 W. Highland Boulevard, now the Acanthus Bed and Breakfast, has a sumptuous interior but lacks the original porch. The property at 1220-1222 N 21<sup>st</sup> Street, closely resembling the 11<sup>th</sup> Street commission, has had its brick exterior painted and the trim altered. We do not know how Jacobi received his commission from Albert G. Seeboth but the latter's wife was Mary Jacobi, perhaps the architect's sister, cousin or other relation. The remodeling for Seeboth was accomplished in seamless fashion and shows Jacobi to have been accomplished in detail work. Looking at the front façade with its tan/taupe brick and prominent half timbered gothic front gable, one would never know that the house once wore Italianate details. Only an examination of the rear and north elevation shows signs of its previous incarnation. It is also significant that Jacobi along with most of the city's architects, dipped his toe into the German Renaissance Revival style, a general name for the German-inspired buildings found in Milwaukee from the 1890s through World War I.

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## **IX. STAFF RECOMMENDATION**

Staff recommends that the Schultz / Seeboth Duplex at 839-841 N. 11<sup>th</sup> Street be given historic designation as a City of Milwaukee Historic Site as a result of its fulfillment of criteria e-5 and e-9 of the Historic Preservation Ordinance, Section 320-21(3) of the Milwaukee Code of Ordinances.

- e-5. Its embodiment of the distinguishing characteristics of an architectural type or specimen.

Rationale: The Schultz / Seebboth Duplex is a very good example of ethnic architecture in Milwaukee. Medieval details combining half timbering, stucco and pierced ornamental bargeboards were used to make associations with the Germanic roots of the owner. In the late 1890s and early 20<sup>th</sup> century German architects in Europe and architects trained in Germany but practicing here were rejecting classical revival forms. They sought out earlier elements that expressed their Teutonic heritage. Prosperous German immigrants or second generation German Americans in Milwaukee, often characterized as conservative, had some of most avant-garde structures of their time. In this instance, Albert G. Seebboth was conservative in preserving the majority of the house built by Daniel Schultz, but took the bold step at converting the duplex into a statement about his ethnic heritage by adding a new façade and bold gables and new interior

- e-9. Its unique location as a singular physical characteristic, which represents an established and familiar visual feature of a neighborhood, community or the city of Milwaukee.

Rationale: Overlooking the gulf of the I-43 freeway that splits downtown, the Schultz / Seebboth Duplex stands out among the remaining late 19<sup>th</sup> and early 20<sup>th</sup> century buildings on the 800 block of N. 11<sup>th</sup> Street. When referencing this duplex, virtually everyone knows the building for its prominent and ornate facade. I

### **Preservation Guidelines for the Schultz/Seebboth Duplex**

The following preservation guidelines represent the principal concerns of the Historic Preservation Commission regarding the historic designation of the Schultz/Seebboth Duplex. The intent of the commission is to preserve the historic, existing exterior features of the building with an emphasis on the main elevation facing N. 11<sup>th</sup> Street. The duplex is the combination of an earlier 1869 house with a front addition constructed in 1905 and both parts of the house should be respected and preserved as part of its unique architectural history.

Building maintenance and restoration must follow accepted preservation practices as outlined below. Any exterior changes including tuckpointing but exclusive of routine painting will require a certificate of appropriateness. Most certificates are issued on a staff-approved basis and only major new construction or alteration requests typically will go before the Historic Preservation commission. The Commission reserves the right to make final decisions based upon particular design submissions.

#### **A. Roofs**

Retain the roof shape. The installation of skylights where they would be visible from the street are discouraged but may be added to roof surfaces if they are not visible from the street or public right of way. One older skylight, possibly original, is already located behind the cross gable where it is not visible from the street and may remain. No changes can be made to the roof shape of the house which would alter the building height, the roofline or its pitch. Locate mechanical systems and vents on portions of the roof not visible at all from the public right of way and paint them out to minimize impact. If the building gets re-roofed, consultation with historic preservation staff is required to review and approve the new roofing material, flashing, and gutters. The minimum standard for re-roofing is a 3-tab asphalt shingle. Very light colors or very

dark colors such as black are not permitted. The original brackets must be retained and they cannot be removed or covered over with aluminum or vinyl siding or other substitute materials. Should a satellite dish be installed it should be placed where it is not visible from the street. Retention of the existing original chimney at the back of the house is optional. No rooftop construction or addition is allowed, as this would interfere with the viewing of the house. Preserve the existing dormer. The construction of new dormers or other rooftop features requires review by Historic Preservation staff and a Certificate of Appropriateness.

B. Materials

1. Masonry

- a. Unpainted brick or stone must not be painted or covered. Painting masonry is historically incorrect and could cause irreversible damage if it was decided to remove the paint at a later date. Covering masonry with other materials (wood, sheet metal, vinyl siding, etc.) is not allowed.
- b. Repoint defective mortar by duplicating the original in color, hardness, texture, joint finish and joint width. See the masonry chapters in the books, *As Good As New* or *Good For Business* for explanations on why the use of a proper mortar mix is crucial to making lasting repairs that will not contribute to new deterioration of the masonry. Replaced mortar joints should be tooled to match the style of the original. Do not use mortar colors and pointing styles that were unavailable or were not used when the building was constructed. Consultation with historic preservation staff and a Certificate of Appropriateness is required before starting any repointing.
- c. Clean masonry only when necessary to halt deterioration and with the gentlest method possible. Sandblasting or high pressure water blasting or the use of other abrasive materials (baking soda, nut shells, etc.) on limestone, pressed brick or cream brick surfaces is prohibited. This method of cleaning erodes the surface of the material and accelerates deterioration. The use of accepted chemical products to clean masonry is allowed and a test panel is required before general commencement of the work. Work should be done by experienced individuals as the chemical cleaning process can have a negative impact on the masonry. Consultation with historic preservation staff and a Certificate of Appropriateness is required before any cleaning would begin.
- d. Repair or replace deteriorated masonry with new material that duplicates the old as closely as possible. The stucco in the gables should be repaired or replaced only with genuine cement stucco that duplicates the original finish. The use of EIFS (exterior insulation and finish systems) which is synthetic stucco is not permitted. Consultation with historic preservation staff and a Certificate of Appropriateness is required before attempting work on the masonry.

2. Wood/Metal

- a. Retain original material, whenever possible. Do not remove architectural features that are essential to maintaining the building's character and appearance.
- b. Retain or replace deteriorated material with new material that duplicates the appearance of the old as closely as possible. Do not cover architectural features with new materials that do not duplicate the appearance of the original materials. Covering wood or metal with aluminum or vinyl or other substitute material is not permitted. Ornamental wood details, such as the distinctive brackets may not be removed or altered except to restore their appearance. Spot replacement or spot repair of any deteriorated brackets, is encouraged rather than complete removal and replication. Any new wooden elements must replicate the pattern, dimension, spacing and material of the original.

### C. Windows and Doors

1. Retain existing window and door openings. Retain the existing configuration of panes, sash, surrounds and sills, except as necessary to restore them to the original condition. Do not make additional openings or changes in existing fenestration by enlarging or reducing window or door openings to fit new stock window sash or new stock door sizes. Do not change the size or configuration of the original window panes or sash. Use storm windows or protective glazing which have glazing configurations similar to the prime windows and which obscure the prime windows as little as possible.
2. Original windows have been replaced may remain, but in the event those windows are replaced they must match the original design and materials of the that are seen in historic photos of the building. New glass must match the size of the historic glass. Do not fill in or cover openings with inappropriate materials such as glass block or concrete block. Glass block is permitted in basement windows on the rear elevation where they are not visible form the street Do not use modern style window units, such as horizontal sliding sash or casements, in place of double-hung sash or the substitution of units with glazing configurations not appropriate to the style of the building.

Any original windows on the Schultz/Seeboth Duplex should be retained and repaired if at all possible. Vinyl, vinyl clad, metal, and metal-clad or fiberglass prime window units are not permitted. Combination, metal storm/screens may remain in place but in the event they are replaced on the front elevation they should be wood combination/storm screen units or fixed storm windows that fit the shape of the original opening. The front door is original to the 1905 alteration and should be preserved. Any replacement doors should be appropriate to the historic period of the house. Any changes to doors and windows, including installation of new doors and windows, require consultation with Historic Preservation staff and a Certificate of Appropriateness.

3. Steel bar security doors and window guards are generally not allowed where they are visible from the street. If permitted, the doors or grates must be of the simplest design and installed so as to be as unobtrusive as

possible. A Certificate of Appropriateness is required for this type of installation.

D. Trim and Ornamentation

There should be no changes to the existing historic trim or ornamentation except as necessary to restore the building to its original condition. The ornamental barge boards in the front gable are particularly important to retain and preserve as they are one of the style-defining elements of the duplex. A replacement feature must match the original member in terms of scale, design, color and appearance. Existing historic trim in wood and stone, found on the porch and sills and throughout the building, must not be removed unless it is for the purpose of repair. Decorative brackets may not be removed from the building. Consultation with Historic Preservation staff is required before any changes or repairs are made to the building.

E. Additions

No additions will be permitted on the east (front), north (right side), and south (left) elevations of the Seeboth House as this would greatly alter the character of the building. Rear additions require the approval of the Commission. Ideally an addition should either compliment or have a neutral effect upon the historic character of the building. Approval shall be based upon the addition's design compatibility with the building in terms of window size and placement, building height, roof configuration, scale, design, color, and materials. Additions must be smaller than the duplex and not obscure the historic building.

F. Signs/Exterior Lighting

The installation of any permanent exterior sign or light fixture on the front of the building or its lawn shall require the approval of the Commission. Approval will be based on the compatibility of the proposed sign or light with the historic and architectural character of the building. Consultation with Historic Preservation staff is required to assist in the selection of exterior fixtures. Plastic internally illuminated box signs with a completely acrylic face are not permitted.

G. Site Features

New plant materials, paving, fencing, on the front elevation shall be compatible with the historic architectural character of the building. Any rear deck installation requires a Certificate of Appropriateness. No retaining wall is permitted along the front of the property or the 11<sup>th</sup> Street facade of the building. A concrete parking area is currently located at the rear of the property. Consultation with Historic Preservation staff is required before starting any work that would involve the landscape features, including the service walk at the front of the duplex.

H. Guidelines for New Construction

It is important that new construction be designed to be as sympathetic as possible with the character of the structure. Small-scale accessory structures, like a gazebo, garage or fountain, may be permitted depending on their size, scale and form and the property's ability to accommodate such a structure. Any request to construct a garage would be subject to review for code compliance and appropriate design and would require a Certificate of Appropriateness.

1. Siting

New construction must respect the historic site and location of the building. It should be accomplished so as to maintain the appearance of the building from the street as a freestanding structure. Any new construction would be located behind the duplex.

2. Scale

Overall building height and bulk, the expression of major building divisions including foundation, body and roof, and individual building components, such as overhangs and fenestration that are in close proximity to a historic building must be compatible to and sympathetic with the design of the building. New construction is to be smaller in size and shorter in height than the historic building.

3. Form

The massing of the new construction must be compatible with the goal of maintaining the integrity of the building as a freestanding structure.

4. Materials

The building materials which are visible from the public right-of-way and in close proximity to the historic building should be compatible with the colors, textures, proportions, and combinations of cladding materials used on the historic building. The physical composition of the materials may be different from that of the historic materials, but the same appearance should be maintained and materials not available when the house was constructed should be avoided.

- I. Guidelines for Demolition

Although demolition is not encouraged and is generally not permissible, there may be instances when demolition may be acceptable if approved by the Historic Preservation Commission. The following guidelines, with those found in subsection 9(h) of the ordinance, shall be taken into consideration by the Commission when reviewing demolition requests.

1. Condition

Demolition requests may be granted when it can be clearly demonstrated that the condition of a building or a portion thereof is such that it constitutes an immediate threat to health and safety and is beyond hope of repair.

2. Importance

Consideration will be given to whether or not the building is of historical or architectural significance or displays a quality of material and craftsmanship that does not exist in other structures in the area.

3. Location

Consideration will be given to whether or not the building or portion of it contributes to the neighborhood and the general street appearance and has a positive effect on other buildings in the area.

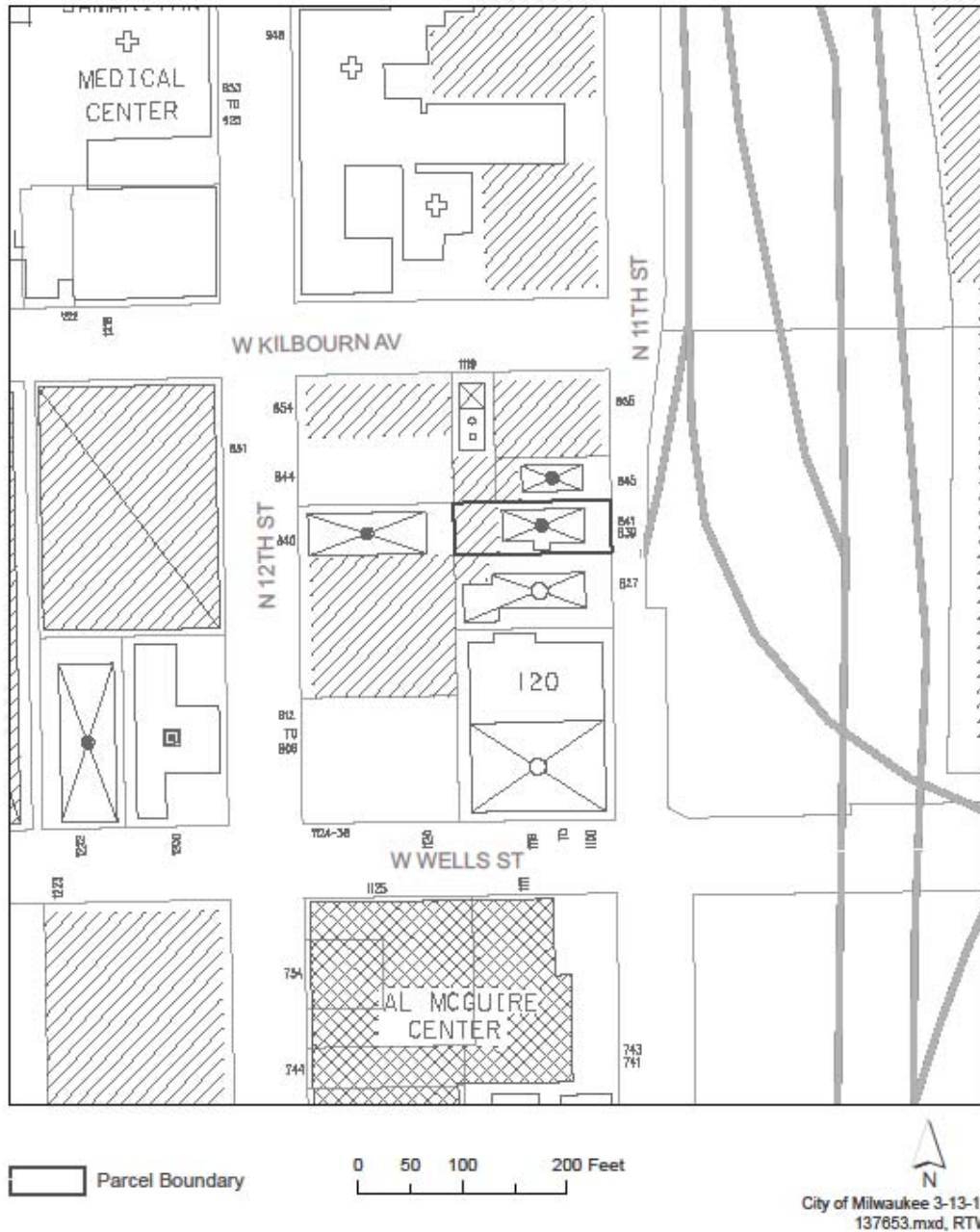
4. Potential for Restoration

Consideration will be given to whether or not the building is beyond economically feasible repair.

5. Additions

Consideration will be given to whether or not the proposed demolition is a later addition that is not in keeping with the original design of the structure or does not contribute to its character. In the case of the Schultz/Seebboth Duplex, however, the later front addition is a key, contributing part of the structure and it should not be removed.

**Schultz / Seeboth Duplex**  
**839-841 N. 11th Street**  
**April 2012**





Rear Elevation



South Elevation



North Elevation





# HISTORIC SITE DESIGNATION APPLICATION

Reed  
2/2/12  
P.J.

## 1. Name

Historic: Seeboth Residence

and/or Common: Chudnow Museum of Yesteryear

## 2. Location

Street & number 839 - 841 North 11th Street

Aldersperson: Robert Bauman

District(s): 4th

## 3. Classification

Category	Ownership	Present Use			
<input checked="" type="checkbox"/> building(s)	<input type="checkbox"/> public	<input type="checkbox"/> agricultural	<input type="checkbox"/> park	<input type="checkbox"/> government	<input type="checkbox"/> transportation
<input type="checkbox"/> structure	<input checked="" type="checkbox"/> private	<input type="checkbox"/> commercial	<input type="checkbox"/> cemetery	<input type="checkbox"/> industrial	<input type="checkbox"/> other
<input type="checkbox"/> object	<input type="checkbox"/> both	<input type="checkbox"/> educational	<input type="checkbox"/> religious	<input type="checkbox"/> military	
<input type="checkbox"/> site		<input type="checkbox"/> entertainment	<input type="checkbox"/> private- residence	<input checked="" type="checkbox"/> museum	

## 4. Owner of Property

Name: A. Chudnow and Sons Historical Museum Inc.

Street & number: 839 N. 11th Street

City: Madison

State WI

Zip 53233

## 5. Representation Existing Surveys

Inventory: #0109811

Date: (updated date)

☐ federal ☒ state ☐ county ☐ local

**Depository for survey records:**

**Organization** State Historical Society of Wisconsin

**Street & number** 816 State Street

**City** Madison

**State** WI

**Zip** 53706

**Previous historic designation:**

☐ **National Register**      **Date**      **Name**  
☐ **City of Milwaukee Landmark**      **Date**      **Name**  
☒ **Other**  
**Name of Program** Wisconsin Architecture and History Inventory

**Date designated** 2000

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## 6. DESCRIPTION

---

**Condition:**

☐ excellent  
☒ good  
☐ fair  
☐ deteriorated  
☐ ruins

**Check one:**

☒ original site  
☐ moved date  
☐ altered  
☐ unaltered

**Building form:** *Victorian*

**Number of stories** 2

**Foundation:**

☒ stone    ☒ brick    ☐ concrete block    ☐ concrete  
☐ other

**Roof:**

gable ( ☐ flank ☐ end ☒ cross )  
gambrel ( ☐ flank ☐ end ☐ cross )  
☐ hip    ☐ mansard    ☐ flat  
☐ other

**Walls:**

☐ clapboard    ☒ brick    ☐ stucco    ☐ stone    ☐ wood shingle    ☐ slate    ☐ terra cotta  
☐ asphalt siding    ☐ asbestos tile    ☐ aluminum siding    ☐ artificial stone    ☐ other

---

**Written description:** (Continue on a separate sheet, if necessary)

*On Separate Sheet*

## 6. Description

It is unknown how much of the building except for the foundation exists from before the c. 1905 remodeling done by Stiegerwald Construction and Architect J. Jacobi. As can be seen from the Sanborn maps of 1894 and 1910, the front porch and the west half of the building was extensively changed. The entire building is Cream City brick construction except for the front portion of the building which includes the porch. The walls are a solid three brick thick construction.

The front porch is supported by four solid, brick columns. At the top of the columns are subdued wooden cornices and corbels. There are two front doors, one in the middle of the building and the other on the north side for the upstairs duplex. In between the doors are a three window set of bow windows. Since the residence was a duplex, this is duplicated in the 2<sup>nd</sup> floor directly above. An additional set of 1<sup>st</sup> and 2<sup>nd</sup> floor bow windows are found on the south side of the building as part of the dining rooms.

The building has a very steep roof, almost forming a 45 degree angle. The front (east) gables contain decorative lattice work including several "S" motifs. This was probably to recognize the Seeboth family. The front gables and both cross section gables have a half-timbered exterior found in some T-plan style houses.

(See accompanying photographs and floor plan)

## 7. SIGNIFICANCE

### Areas of significance:

- |  |   |  |   |
|--|---|--|---|
| <input type="checkbox"/> agriculture             | <input type="checkbox"/> economics              | <input type="checkbox"/> law                 | <input type="checkbox"/> science                        |
| <input checked="" type="checkbox"/> architecture | <input type="checkbox"/> education              | <input type="checkbox"/> literature          | <input checked="" type="checkbox"/> social/humanitarian |
| <input type="checkbox"/> art                     | <input type="checkbox"/> engineering            | <input type="checkbox"/> military            | <input type="checkbox"/> theater                        |
| <input type="checkbox"/> commerce                | <input type="checkbox"/> exploration/settlement | <input type="checkbox"/> music               | <input type="checkbox"/> transportation                 |
| <input type="checkbox"/> communications          | <input type="checkbox"/> industry               | <input type="checkbox"/> philosophy          | <input type="checkbox"/> other (specify)                |
| <input type="checkbox"/> community planning      | <input type="checkbox"/> invention              | <input type="checkbox"/> politics/government |   |
| <input type="checkbox"/> conservation            | <input type="checkbox"/> landscape architecture | <input type="checkbox"/> religion            |   |

Date built or altered: Built c. 1870 altered c. 1905

Builder/architect: Designer J. Jacobi, Builder E. Stigerwald & Shulz associated with 1905 alteration

### Written statement of significance: (continue on a separate sheet, if necessary)

The hilltop area of Eleventh Street north of Wisconsin Avenue was mostly residential throughout the history of the city. When the city of Milwaukee was first incorporated in 1846, this was just outside of the commercial and industrial districts to the east but still within the street grid system. For several blocks in all directions, the three Cream City brick structures still standing at the corner of Eleventh Street and Kilbourn Avenue are the last remnants of single family houses, duplexes and apartments. The 839 North 11th Street residence is just a few hundred feet south of the original southern fork start of the Watertown Plank Road. This was quite an ideal location for a young cooperer to build his house. Lawyers, doctors, bankers, insurance agents, clerks and servants of Milwaukee have all called the location home over the last 150 years.;

*Continued on separate sheet*

## 7. Significance

Prior to 1930, the 839-841 North Eleventh Street address was 225-227 North Eleventh Street

**1<sup>st</sup>** known owners from 1870 to 1900 Daniel Schultz, wife Charlotte and family. They are also listed on 1850 and 1860 census but those years do not have corresponding street names and numbers. There is no known original construction date for the building. Daniel Schultz was originally a cooper but later was an Insurance Agent for the Milwaukee Mutual Fire Insurance company. His son, Alfred G. Schultz, became the vice president of the National Bank of Commerce of Milwaukee. (History of Milwaukee City and County Vol. II, 1922, p. 355)

There is a Daniel Schultz in the roll of the Old Settlers Club which would mean he had settled in Milwaukee County prior to 1843. This is possible since his date of birth is about 1816.

**2<sup>nd</sup>** owners from 1905 to 1924(?) were Albert G Seeboth, wife Mary and family. Both from Seeboth Family history (Mary Seeboth Higgins short biography) and the Sanborn Fire Insurance maps, there were extensive alterations done to the building (Milwaukee Sanborn map 1910 Vol. 3, Sheet 323). The Wisconsin State Historical Society associates this remodeling with architect Jacob L. Jacobi and the Steigerwald Construction company. Steigerwald is a 4<sup>th</sup> generation Milwaukee Construction Company still in business today. As a side note, Albert's wife Mary (or Marie), was born Mary Jacobi.

From roughly mid '10s to mid '20s a portion of the duplex was rented to Dr. Carl Schiedel, his mother Christina and sister Francis (listed on the 1920 census at that location; at a nearby house in the 1910 census). Seeboth Family history has the Schiedels there for 'about 12 years' and then an Anna Stoltz and two nephews for a few years. Also, the Seeboth Family history has the Seeboths selling in 1922.

As listed in the History of Milwaukee City and County vol. III, 1922 p. 93 and 94, Albert Seeboth and his brother formed the Seeboth Brothers Co, Inc. who dealt in scrap metal and paper stock. In the early 20<sup>th</sup> century, the Seeboths formed the Milwaukee Ornamental Metallic Manufacturing Co (later changed to Milwaukee Bronze Casting Company). Among other items, they took advantage of new business to be found in the regional auto production businesses. ("The Foundry" magazine, vol. 32, No.1, March 1908). Albert passed away in the 1940s.

**3<sup>rd</sup>**- 1930 census mentions a Florence Miller who was a 'keeper of rooming house' there but moved to an unknown address prior to the census. No other information can be found about the people who may have been living at this rooming house.

**4<sup>th</sup>**(?)- The 1938 George Washington University Alumni Directory lists Dr. Joseph Johns Eisenberg, surgeon, having his clinic at 839 North 11th Street. His wife is Bessie and they had two daughters at this time. The Eisenberg family did not live at this building but just used it as his clinic. There is a strong indication that the 2<sup>nd</sup> floor dining room (now the museum theatre) was used as his office. A relative of Dr. Eisenberg remembers having stayed at the building for several months sometime after WW2 when her family arrived from Europe.

**5<sup>th</sup>**(?)- Avrum M. Chudnow purchased the building in 1966. He then remodeled the house for offices to accommodate his growing real estate construction and management company. No exterior work was done at this time. In 1980, Zimmerman Architects did a comprehensive remodeling project on the three cream city brick buildings at 11<sup>th</sup> and Kilbourn (Milwaukee Journal, March 2, 1980).

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## 8. Major Bibliographical References

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The Milwaukee Journal, Home Section, March 2, 1980 "Old Buildings Hired Rescued and Restored"  
Federal Census 1850 -1880 , 1900-1930  
Eleanor Cecil Seeboth Higgins  
Wright's Milwaukee City Directories , Various 1873-1947  
Sanborn Insurance Map 1894 and 1910  
History of Milwaukee City and County : Vol. III Chicago-Milwaukee 1922 pg. 93-94

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## 9. Property Description

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**Acreage:** Less than 1 Acre

**Legal property description:**

The North 50.00 feet of Lot 3 in Block 192 in the subdivision into city lots of the North 30 acres of the west 1/2 of the Northwest 1/4 and the North 14 acres of the West 24 acres of the South 50 acres of the West 1/2 of the Northwest 1/4 of Section 29, Town 7 North, Range 22 East in the city of Milwaukee, County of Milwaukee, Wisconsin

Tax Key: 391-0204-000

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## 10. Form Prepared By

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**Name/Title:** Joel Willems, Curator

**Organization:** Chudnow Museum of Yesteryear

**Street:** 839 N. 11th Street

**City:** Milwaukee

**State:** WI

**Zip:** 53233

**Telephone (days)** 414-274-6010

**(evenings)** 414-217-0590

**Date:** 01/31/12

**Return to:** Historic Preservation  
City Clerk's Office  
200 E. Wells St.  
Room B-4  
Milwaukee, WI 53202  
  
(414) 286-5722

**City of Milwaukee  
Historic Designation Application Instructions  
Site or Structure**

*Ready  
2/2/99*

To be considered for designation by the Milwaukee Historic Preservation Commission, it is necessary for an applicant to complete the enclosed application form and return it. The application is designed so that it can be completed without professional assistance. Although most of the items are self-explanatory, some may be unfamiliar to you. The following instructions explain the most frequently misunderstood items. If you have further questions, do not hesitate to contact the Historic Preservation Commission staff at (414) 286-5722.

1. **Historic Name:** This is ordinarily the first name given to the building or the name of the original owner. A name associated with a site at a later date may also be used if it can be demonstrated to have more historic validity than the name by which it was first known.

**Common Name:** This is usually the name by which a site is currently popularly identified. It may be the same as the historic name.

5. **Representation in Existing Surveys:** If you know whether or not your property has been included in the City of Milwaukee Historic Building Inventory or some other inventory or has been previously historically designated by either the former Milwaukee Landmarks Commission or the National Register of Historic Places, please indicate this information. If you do not know, just write "unknown."

6. **DESCRIPTION Written Description:** Describe the structure's shape, building materials, and exterior features in paragraph form. Specify types and colors of materials, the design or pattern of decorative ornament, and the arrangement of architectural elements. Also describe other features on the site such as outbuildings, decorative fences, sculpture, fountains, or landscape treatments that may add to the significance or historic character of the site. Briefly describe additions or alterations and non-historic features. Use continuation sheets, if necessary.

7. **SIGNIFICANCE Written Statement of Significance:** In a brief opening paragraph, enumerate the areas of significance previously checked and explain specifically why the site is important in each of these categories. In subsequent paragraphs, and on continuation sheets, if necessary, detail the history of the site and the people or events that have contributed to its significance. You may want to attach photocopies of documentation to support and further amplify your research.

8. **Major Bibliographical References:** Include major references. Use continuation sheets if necessary. Be sure to include publisher, city, and publication dates for books and edition dates for newspapers and periodicals.

9. **Property Description:** Indicate the acreage of the nominated property (if less than one acre, just say "less than one acre") and the legal property description from the deed or tax assessor's records.

**Return the form to:** Historic Preservation  
City Clerk's Office  
200 E. Wells St.  
Room B-4  
Milwaukee, WI 53202  
(414) 286-5722





 **COPY**

839 - 41 North 11th  
192 - 4  
14200

C. 1960  
from Marquette University

 **COPY**

HERMAN HURWITZ  
ATTORNEY  
2022 WEST VLIET STREET  
MILWAUKEE 5, WISCONSIN  
TELEPHONE WEST 3-7080

October 4, 1966

Lawyer's Building Co., Inc.  
845 North 11th Street  
Milwaukee, Wisconsin 53233

Re: 839 North 11th Street

Gentlemen:

I have examined the Abstract of Title to the real estate hereinafter described and herewith submit my conclusions based upon the following abstract extensions:

#9272	Milwaukee County Abstract Company	Apr. 7, 1905
#26120 A	Milwaukee Title Guaranty and Abstract Company	Apr. 3, 1924
#A 93811	Citizens Abstract and Title Company	Aug. 29, 1929
#A 94478	Citizens Abstract and Title Company	Sept. 27, 1929
#42287 B	Milwaukee Title Guaranty and Abstract Company	Nov. 13, 1929
#A 130429	Citizens Abstract and Title Company	Aug. 15, 1935
#232305	Security Abstract and Title Company	May 12, 1944
#233180	Security Abstract and Title Company	June 16, 1944
#B-32539	Title Underwriters, Inc.	Sept. 16, 1966 at 8:00 A.M.

#### DESCRIPTION OF PREMISES

The North Fifty (50) feet of Lot numbered Three (3), in Block numbered One Hundred Ninety-two (192) in Subdivision into City lots of the North 30 acres of the West One-half (1/2) of the North West One-quarter (1/4) and the North 14 acres of the West 24 acres of the South 50 acres of the West One-half (1/2) of the North West One-quarter (1/4) of Section Twenty-nine (29), Township Seven (7) North, Range Twenty-two (22) East, in the City of Milwaukee.

#### TITLE

I am of the opinion, assuming that all matters affecting the title to said premises are fully and correctly set forth in said abstract and extensions and that the proceedings and conveyances therein shown are genuine, that the title to said premises according to said abstract and extensions was on the 16th day of September, 1966, at 8:00 A.M., good in BESSIE H. EISENBERG, F. MARCELLA EISENBERG and C. GLORIA BOYELL, nee EISENBERG, each an undivided one-third (1/3) interest, as joint tenants.

#### DEFECTS IN TITLE

A former owner is variously referred to as DR. JOSEPH J. EISENBERG FOUNDATION, INC. and DOCTOR JOSEPH J. EISENBERG FOUNDATION, INC. A recordable affidavit should be obtained establishing the fact that the foregoing references refer to one and the same entity.

*from Charles M. ... 11*

October 4, 1966

At entry #5 of the final extension of the abstract, there is shown a Quit Claim Deed from MINNIE SCHOTTENSTEIN, nee Glickman, to BESSIE H. EISENBERG, F. MARCELLA EISENBERG and C. GLORIA BOYELL, nee EISENBERG, as joint tenants, and to the survivors or survivor, dated and acknowledged January 29, 1952 and recorded April 11, 1966, in Reel 302, Image 1097, as Document No. 4247980. There is doubt as to the validity of said deed by reason of the great lapse of time between the date of execution and the date of recording, which latter date may have been at a time subsequent to the death of the grantor in said deed so as to create a doubt as to whether or not there was a valid delivery thereof during the lifetime of said grantor. There should be obtained a satisfactory affidavit as to the fact of the delivery of this deed. The inheritance tax, if any due upon this transfer, should be determined and paid.

MATTERS NOT APPEARING OF RECORD

1. You should inquire into the right, title and interest of all persons in possession or occupancy of the premises.

2. You should inquire to determine if there are any lien claims of contractors, materialmen or laborers for materials furnished or for work performed on which the statutory lapse of time for filing has not yet expired.

3. Inquiry should be made to determine whether the premises are correctly surveyed and, particularly, whether any buildings, eaves, cornices, roofs, etc. on adjoining premises encroach upon the premises above described, and whether any buildings, eaves, cornices, roofs, etc. upon the premises in question encroach or trespass on the adjoining lot or lots.

4. This examination does not cover possible outstanding inheritance tax liens by reason of transfers given in contemplation of death where abstract does not set forth dates of deaths of grantors either by death certificates or probate proceedings.

5. This examination does not include:

(a) Taxes for the year 1966 and subsequent years.

(b) Special taxes or assessments, if any, payable with taxes levied or to be levied for the year 1966 and subsequent years.

(c) Liens or deferred charges not shown on the tax roll for installations and connections of water, heat, sewer and gas laterals, mains and service pipes.

(d) Laws, Zoning and other Ordinances unrecorded regulating and restricting the use of said premises.

Respectfully submitted,



 COPY

The George Washington University  
ALUMNI DIRECTORY

1824-1937



The George Washington University Press  
Washington, D. C.

1938

*From the Charles Wilson  
Archives*

- EISENBEISS, V H PhdD 88 Res 19 Whittier St Washington DC
- EISENBERG, Arthur Alexander AB 10 MD (w d) 11 Phys Sydenham Hosp Res 395 Riverside Dr New York N Y
- EISENBERG, Gerson Gutman AB 30 Res 6317 Park Hts Ave Baltimore Md
- EISENBERG, Herman MD 31 Phys Splai Pediatrics 732 9th St NE Washington DC
- EISENBERG, Joseph Johns MD 14 (PhdG 10 Marquette U) Surg De Joseph J Eisenberg Clinic 839 N 11th St Milwaukee Wis
- EISENHOWER, Mrs Milton S (Helen Elsie Eakin) DDS 13 Dntst Res 3280 N St Washington DC
- EISENSTEIN, Nathan MD 29 (BS 25 EISENSTEIN, Victor William MD 29 (BS 25 U Pittsburgh) Res Box 13 Uptown Sta Pittsburgh Pa
- EISINGER, John Overton BS in ME (w d) 23 Res 3503 Wis Ave Washington DC
- EISINGER, Rudolph John LLB 23 Asst Pat Atty Westinghouse Elec & Mfg Co Philadelphia
- EISINGER, Walter George Jr MD 21 Surg US Bur Pub Health Service Res 3503 Wis Ave Washington DC
- EKLUND, Raymond Thorwald MD 34 (AB 30 Stanford U) Phys & Surg Kula Sanatorium Maui H T
- ELDER, Clarence M LLB 31 (BS in Eng 35 Res 119 Church St Staunton Va)
- ELDER, Harry M MD 34 (AB 30 U Utah)
- †ELDER, Thomas H MD 1860
- †ELDRID, Jeannette Montague AB 37 Res 414 5th Ave Warren Pa
- †ELDRIDGE, C W LLB 1869
- †ELDRIDGE, Daniel AM (h) 1845
- †ELDRIDGE, Harriet Dayton AB & TD 17 AM 22 Res 2017 Park Rd Washington DC
- ELDRIDGE, John Dupree Jr LLB 33 (AB 20 U Arkansas) Atty Augusta Ark
- ELDRIDGE, Maurice Owen BS in Gen Sci 99 Asst Dir Traffic DC Dept Vehicles & Traffic Res 1789 Lanier Pl Washington DC
- ELDRIDGE, Watson William Jr MD 10 Asso Medicine The George Washington U Dir Med & Surg Dept St Elizabeths Hosp Washington DC
- †ELDRIDGE, William Charles LLM 94 (LLB LLM National U Sch Low)
- ELGIN, Arthur Carpenter LLB 35 (AB 28 St Johns Coll) Atty w Millan & Smith #722 Washington Loan & Trust Bldg Washington DC
- ELGIN, Mrs Russell M (Ruth Clara St Clair)
- ELIAS, Max Allan AB 37 Res 329 Van Brunt St Brooklyn N Y
- ELIASON, Howard Russell AB 29 Librn Feil Trade Commn Res 1314 Columbia Rd Washington DC
- †ELIOT, Johnson MD 1842 (AM 1869 PhdD 1872 Georgetown U)
- †ELIOT, Thomas Dawes AB 1825 AM 1829
- †ELIOT, William Greenleaf AB 1829 (DD 1854 Harvard U)
- †ELISEO, Pasquale Pio MD 33 (AB 29 Columbia U)
- ELKINS, Earl Cook MD 33 (BS 27 Burna Vista Coll) Phys Mayo Foundation Rochester Minn
- ELKINS, Harry Scott LLB 15 Atty Nat Petroleum Assn #930 Munsey Bldg Washington DC
- ELLENBERGER, William Joseph BS in EE 30 BS in ME 34 Power Sales Engr Potomac Elec Power Co Res 1359 Parkwood Pl Washington DC
- †ELLENBERGER, William P DFS 97
- ELLENBOGEN, Louis AB 16 (AM 29 Columbia U) Tchrs Abraham Lincoln H Sch Res Half Moon Hotel Brooklyn N Y
- ELLER, Ernest McNiel AM 34 (Grad 25 US Naval Acad) Lt U S N c/o US Bur Nav Washington DC
- ELLER, Evelyn Virginia (Mrs Walter Leon Rhinehart) AB in Govt (w d) 32 Sec Res #433 1745 Troy St Colonial Village Arlington Va
- ELLERSON, Edmund Murdaugh MD 27 Phys 1726 1 St Washington DC
- ELLERY, Edward LLB 37 Chem & Dean Faculty Union Coll Schenectady N Y
- ELLFELDT, Lois Elizabeth BS in PE 33 (MS 31 Wellesley Coll) Tchrs Modern Dance U California Hearst Gymnasium Berkeley Calif
- ELLIOT, Janet Elizabeth AB & B Dip in Ed (w d) 24 Tchrs French Powell Jr H Sch Res 3757 McKinley St Washington DC
- †ELLIOT, John B MD 1829
- ELLIOT, William Saunders BS 31 Lt U S A Air Corps Res 3757 McKinley St Washington DC
- ELLIOTT, Charles S MD 90 (M Accts 81 Kasar Normal Coll) Res San Juan Tex
- ELLIOTT, Edith Louise (Mrs Paul S Conger) AB 24 Res 4602 DeRuey Pkwy Chevy Chase Md
- ELLIOTT, Edna Taylor PhdD 12
- ELLIOTT, Henry Harold LLB 29 (BS in Erea 20 U Pennsylvania) Atty w Baker Selby & Ravenel Res 4717 Linnean Ave Washington DC
- †ELLIOTT, Henry R LLB 1870
- †ELLIOTT, J LeRoy DDS 17 Dntl Surg 1029 Vt Ave Washington DC
- ELLIOTT, John Gregg LLB 1875 LLM 79 Pa Atty #1429 Mooadnock Blk Chicago Ill
- ELLIOTT, John Plummer AB 21
- ELLIOTT, Mrs Lawrence L (Fredda Lenore Rhodes)
- ELLIOTT, Leo Louis MD 10 Phys Browning Mont
- ELLIOTT, Middleton Stuart Jr MD 94 Rear Adm U S N Res 936 H Ave Coronado Calif
- ELLIOTT, Mrs Orrin Matthews (Rosemary Arnold)
- †ELLIOTT, Robert Franklin LLB 91
- †ELLIOTT, William Emmett LLB 34 (BS in EE 30 Georgia Sch Technology) Examr US Pat Off Res 6631 Western Ave Washington DC
- †ELLIS, George Stoughton LLB 23
- ELLIS, Greer BS 34 Res 150 Tenn Ave NE Washington DC
- ELLIS, J William LLB 93 LLM 94 (PhB 90 Cornell U) Atty #1103 D S Morgan Bldg Buffalo N Y
- ELLIS, John W LLB 94 Atty Mem Ellis & Hackett #801 69 W Wash St Chicago Ill
- ELLIS, Lee Elbert LLB 23 Contract Examr & Reviewer US Gen Acctng Off Res 8 Ross St Brentwood Md
- ELLIS, Virginia Margaret Craighead AB 35 Clk US Dept Stato Res 1720 20th St Washington DC
- ELLIS, William Leigh LLB 33 LLM 36 (AB 29 Hulldale Coll) Spl Claims Examr US Gen Acctng Off Res #514 5521 Colo Ave Washington DC
- ELLISON, Enoch Edward LLB 34 Atty US Dept Justice Res 307 Decatur St Washington DC
- ELLISON, Everett Moore MD 12 Phd 25 (AB 01 AM 03 U Chattanooga) Phys 1720 M St Washington DC
- ELLISON, Mrs Everett Monroe (Fannie Mae Huff)
- ELLISON, Newell Windom AB 17 LLB 21 Atty Mem Covington Burling Ruhlee Acheson & Shurb #701 Union Trust Bldg Washington DC
- ELLISON, William Bascom LLB 05 (AB 00 U Chattanooga) Atty Farmer Res R #2 Loudon Tenn
- †ELLISON, William McElfresh LLB 98
- ELLISWORTH, German Smith LLB 27
- †ELLISWORTH, James H LLB 84
- †ELLYSON, Robert Maitland MD 88
- ELMS, Margaret Edelin AB in Ed 35 Tchrs Jr H Sch Silver Spring Res 25 Dresden St Kensington Md
- ELVOVE, Kady (Mrs Milton Ede Jr Legal Asst Off Judge Adv G ington DC
- ELWELL, Richard E LLB 25 (ornia) Atty Investment DC
- ELWOOD, William Adams BS i
- ELY, Albert Love Jr LLB 37 (i #1216 Leader Bldg Cleveland
- ELY, Charles Russell Phd 00
- ELY, Fole U AM 92 Gallaudet C Prof Natural Science Gallaudet Hall Green Washington DC
- ELY, Grace Darling AB & B Tchrs Kendall Sch Res 6 Kensington DC
- ELY, Orville Ray LLB 04
- ELY, Robert Burroughs LLB 2 & Henry Coll) Atty Col Lee Co Jonesville Va
- ELY, Selden Marvin LLB 94
- AM 09 Ret Supervising Pr 2918 Cortland Pl Washington
- ELY, William James DDS
- K St Washington DC
- EMBRY, Lee Anna Pemberton (Liam Burns) AB 33 w Loan Corp Res 605 Houston Md
- EMERY, Lemuel Jackson AB
- EMERY, Robert Burroughs LLB 22 S
- EMERY, Mrs Barton Stone (Ne
- EMERY, Neil Coleman (Mrs bry) AB in Ed 35 Res 231 ington DC
- EMERSON, Adams LLB 1866
- EMERSON, Lee Earl LLB 1 cause U) States Atty Res E
- EMERY, George Frederick AM (Cherry Coll) Asst Histori Chattanooga Nat Mil Pk I
- EMERY, James Armitage MD
- EMERY, Matthew Gault Jr AM 82 Princeton U)
- EMERY, Oliver V MD 02 (1 Sch Law) Sr Atty Alcohol Int Rev Res #12 1214 I S
- EMMART, George Allen Phd 17th St Arlington Va
- EMMERICH, Harry Henry U Kentucky) Res 316 3d
- EMORY, Mary Annette (Mrs E & B Dip in Ed (w d) 19 US Bus Entomology & Plai 1200 Jackson St NE Washin
- EMORY, William PhdD 89
- EMSHWILLER, John Patterson 32 Asst Structural Engr Res 4 Oakwood Rd Hyattsv
- ENCK, Mrs Schuyler Collax (Bixler)
- ENGEL, Abraham BS in Chem 20 National U Sch Law) 170 Broadway New York N
- ENGEL, Richard Drum LLB US Vets Adminstrn Res 800 ington DC
- ENGELHART, George Kemp Delhigh Co Fullerton Pa Res Glencoe Ill

HISTORY  
OF  
MILWAUKEE  
CITY AND COUNTY

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VOLUME II

---

ILLUSTRATED

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CHICAGO—MILWAUKEE  
THE S. J. CLARKE PUBLISHING COMPANY  
1922

 COPY

Company, a director of the Peoples Land Company and a stockholder in numerous other enterprises.

In 1900 Mr. Kunzelmann was married to Miss Elizabeth Betty Bambrick of Ilion, New York, and they have four children: Leroy, Lester, Norma and Fabian. The religious faith of the family is that of the Catholic church and Mr. Kunzelmann is a fourth degree member of the Knights of Columbus. He is also identified with other societies and he is a member of the Milwaukee Athletic Club. Coming to this city at the age of seven years, he has practically spent his life here and the course which he has followed has gained for him not only substantial wealth but also the confidence and warm regard of his fellowmen.

#### ALBERT HEATH.

Albert Heath, who has one of the largest exclusive grocery and delicatessen stores in Milwaukee, has developed his business along substantial lines, employing industry, close application, thoroughness and reliability as the salient features in attaining his present-day prosperity. Mr. Heath was born at Poquonock Bridge, Connecticut, August 16, 1846, his parents being John R. and Emily (Eldredge) Heath, the former a native of the state of New York, while the latter was born in New York city. They came to Wisconsin in 1856, settling at Brandon, Fond du Lac county, where the father engaged in buying wheat for about four years. In the spring of 1862 he removed to Milwaukee, where he resided until 1866 and then became a resident of New Jersey, where his remaining days were passed, his death occurring in 1871.

Two years before his father's death, or in 1869, Albert Heath, then twenty-three years of age, returned to Milwaukee. He had attended the public schools of Brandon and of Milwaukee and upon his return to this city he secured a clerkship in a grocery store at No. 196 West Water street, there continuing for ten years—a fact which indicates his absolute faithfulness and capability. He was also for two years connected with the store of C. J. Russell on Wisconsin street and in June, 1884, he opened a store at No. 2106 Wells street. In 1889 he removed to his present location at 2027-29 Wells and Twenty-first, beginning with a small store but increasing his stock in order to meet the growing demands of his trade until he had one of the largest exclusive grocery and delicatessen stores in the city, and for the past eight years he has conducted a bakery in connection therewith. For thirteen years, too, he has owned and conducted a store at No. 597 Downer avenue, where he carries a large stock of groceries and delicatessen products. In March, 1910, he incorporated his business under the name of The Albert Heath Company and has since conducted both establishments under that firm style. He is the president of the company, his associate officers being John H. Seip, vice president; Arthur S. Heath, secretary and treasurer; and F. O. Lovell, who is the manager of the east side store.

In 1876 Mr. Heath was married to Miss Martha S. Swain, a daughter of Colonel James A. Swain, an early pioneer of Milwaukee. To them were born three children: Arthur S.; Marie, the wife of Frank O. Lovell; and Alice, deceased. Mrs. Heath died August 13, 1916.

Mr. Heath is a member of the Old Settlers Club and also of the City Club and likewise has membership in the Association of Commerce. He has been a lifelong republican but never an aspirant for office, preferring always to concentrate his efforts and attention upon his business. His success is attributable in part to the fact that he has always continued in the line in which he embarked upon his return to Milwaukee in early manhood. He has thus become thoroughly acquainted with every phase of the trade and his increasing capability and power have brought him to a point of leadership among the grocery merchants of the city.

#### ALFRED G. SCHULTZ.

When one reviews the life record of a thoroughly successful man it is usually found that his early opportunities were not superior to those enjoyed by the majority nor have his chances been greater than come to the multitude, his prosperity being won by reason of the fact that he has ever made wise use of his time, his talents and his opportunities. He has improved chances that others have passed heedlessly by and has shown an unusual degree of industry, determination and enterprise in conducting his affairs. This statement finds its verification in the life record of Alfred G. Schultz, who is the vice president of the National Bank of Commerce of Milwaukee and who through the steps of an orderly progression has reached the enviable position which he now fills. Born in this city on the 30th of July, 1865, he is a son of

Daniel and Charlotte (Koenig) Schultz, the former a native of Alsace-Lorraine, while the latter was born in Black Rock, New York.

Spending his youthful days under the parental roof Alfred G. Schultz enjoyed the educational opportunities afforded by the city schools and made his initial step in the business world when a youth of eighteen, by entering the Merchant's Exchange Bank in a clerical position in 1883. For ten years he remained with the bank, thoroughly mastering many features of the business as he was promoted from time to time in recognition of his developing power and ability. When a decade had passed he left that institution and was promoted to the assistant cashiership of the West Side Branch at Third and Chestnut streets, this becoming later the West Side Bank. A recognition of his sound business judgment and his influence in the community led to the choice of Mr. Schultz for the office of cashier upon the organization of the Germania National Bank early in the year 1903. The institution opened its doors on the 1st of July of that year and the success of the bank has been attributable in large measure to the capability, progressiveness and thoroughly reliable methods of Mr. Schultz. He had acquainted himself with every phase of the banking business and has ever maintained an even balance between conservatism and progressiveness in the conduct of the affairs of the institution of which he has been an official from the beginning.

In September, 1884, Mr. Schultz was married to Miss Busjaeger, a daughter of Albert and Fredericka (Salzmänn) Busjaeger of Milwaukee. Two children have been born of this marriage: Armin D., who married Miss Erna Graf, a daughter of Charles A. and Matilda (Heinemann) Graf of this city, and is with the National Straw Works of Milwaukee; and Alfred F., who died in July, 1917. The family is well known in Milwaukee, the parents occupying an enviable social position. Mr. Schultz is a member of the Wisconsin Club, the Milwaukee Athletic Club, the Association of Commerce, the Benevolent Protective Order of Elks and the Milwaukee Musical Society. His membership relations indicate clearly the nature of his interests and activities outside of business and place him with the valued and representative residents of the Cream city.

#### WALLACE BEATSON WHITCOMB.

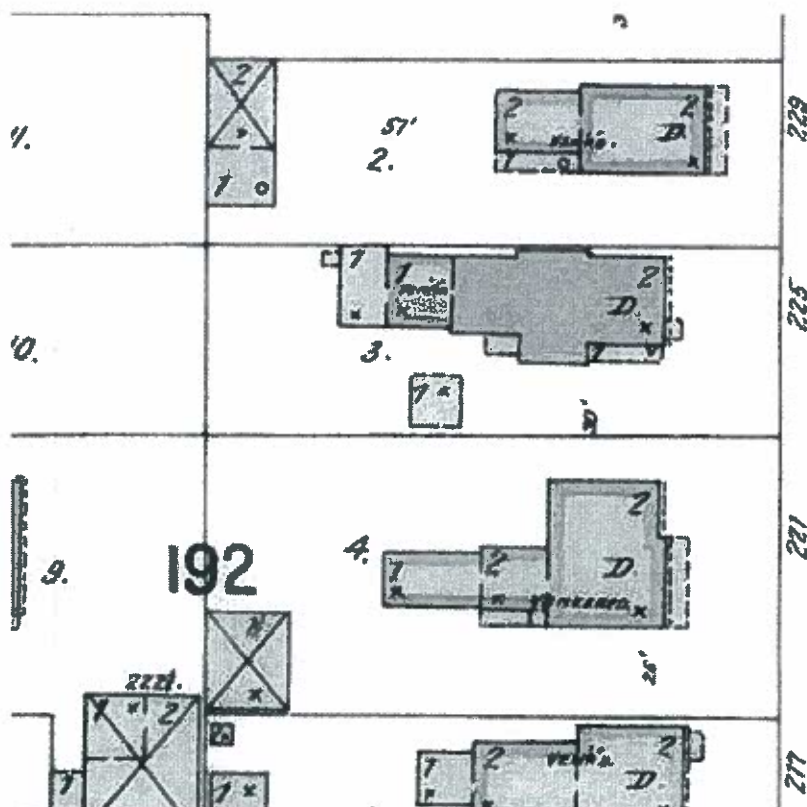
Wallace Beatson Whitcomb, violin maker of Milwaukee, whose productions are regarded as a valuable contribution to the realms of musical art, was born in Waterford, Wisconsin, on the 24th of November, 1856. He comes of a family that has been distinctively American in its lineal and collateral lines for many generations. His grandfather, Aaron Whitcomb, was born in Vermont, as was his wife. He followed the occupation of farming and on leaving New England removed to the state of New York, settling in Jefferson county. There occurred the birth of his son Albert W. Whitcomb, who in young manhood left the Empire state and for a time resided in Cincinnati, Ohio, where he was employed as paymaster and bookkeeper for the Cincinnati, Dayton & Ohio Railroad Company. He then came to Wisconsin and for some time worked on the road being built westward from Milwaukee. The grade was established but the line was never constructed. Mr. Whitcomb became principal of the schools at Waterford, Wisconsin, and afterward occupied a similar position at Sheboygan Falls and was the first superintendent of schools in Sheboygan county. He was likewise a practicing physician, a licensed member of the bar and a civil engineer. Moreover, he became assistant actuary of the Northwestern Mutual Life Insurance Company, which position he occupied for a year, and was then elected actuary, but his health failed, preventing his continuance in the position. He was a mathematician of notable ability and one of the six honorary members of the Paris Philosophical Society outside of France, an honor he obtained through his discoveries in the Tables of Logarithm. He wrote largely for mathematical magazines and was a deeply learned man. He was in close touch with mathematical professors of the leading colleges of this and other countries. His contributions to science were indeed valuable and he is numbered among those who have done much to push forward the wheels of progress. He married Rachel Scott Howard, a daughter of John Howard, a railroad contractor and of English descent. The first Howard to come to this country was the youngest son of the Duke of Norfolk, named Todd Howard. He was the father of John Howard, who settled in Lawrence county, New York, and purchased a large tract of land there. The foregoing record explains the extensive connection of Wallace Beatson Whitcomb with old families of New England and of New York. His father died in the year 1889 and was survived for a long period by his wife, who passed away in 1914.

Wallace B. Whitcomb obtained his early education in the public schools of Sheboygan Falls, which he attended to the age of fourteen years, and then turned his attention to the watchmaking and jewelry business, which he followed for eight or ten

Milwaukee Sanborn Map  
1894 Vol. 2, Sheet 148

Excerpt of block 192  
showing lot 3

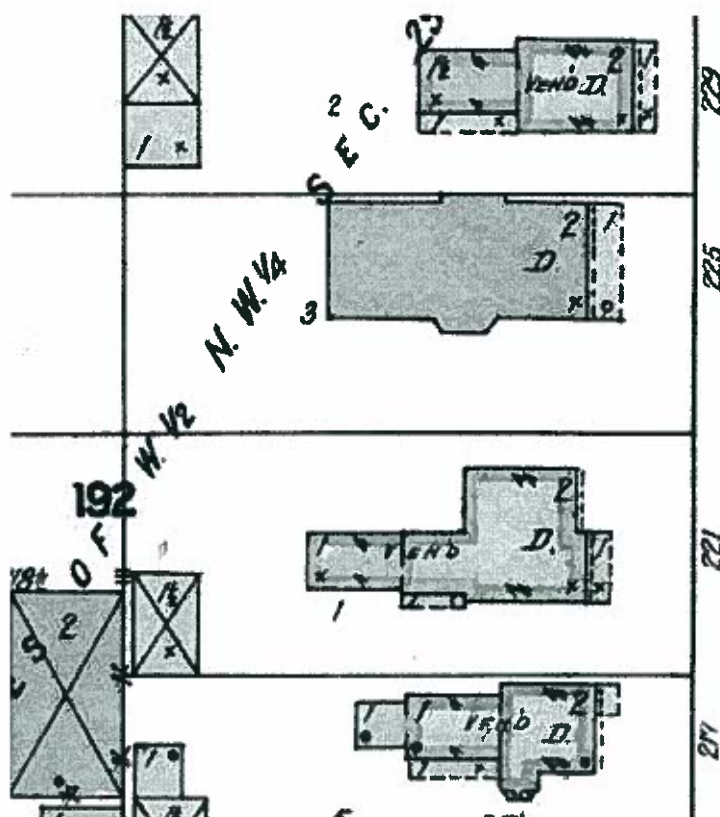
*UWM Libraries Digital Col.*



Milwaukee Sanborn Map  
1910 Vol. 3, Sheet 323

Excerpt of Block 192  
showing lot 3

*UWM Libraries Digital Col.*







## Wisconsin Architecture & History Inventory

This inventory card is merely a historical record of a property and may have inaccurate or misleading data. Inclusion in the inventory conveys no special status. Please read our [Disclaimer](#) for more details.

[AHI Home](#)

### Refine search

County: <b>Milwaukee</b>	Record #: <b>0109811</b>	Location: <b>839 - 841 11th St.</b>
City or Village: <b>Milwaukee</b>	Town, Range, Section:	Quarter Sections:
Civil Town:	National Register Date:	State Register Date:
Unincorporated Community:	District:	
Current Name:	NR Multiple Property Name:	
Survey Map: <b>391</b>	Historic Name: <b>Saeboth Residence</b>	Wall Material: <b>Brick</b>
Map Code: <b>91/6</b>	Construction Date: <b>1870</b>	Structural System <b>Balloon Frame</b>
Survey Date: <b>2000</b>	Designer Name: <b>J. Jacobi</b>	Other Buildings on Site?: <b>N</b>
Style or Form: <b>Craftsman</b>	Cultural Affiliation:	
Resource Type: <b>duplex</b>	<a href="#">View Additional Comments</a>	

[<<- Previous Record in Summary](#)

[Next Record in Summary - >>](#)

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updated: January 04, 2001

State Historical Society of Wisconsin 816 State St, Madison, WI 53706 608-264-6400

**COPY**

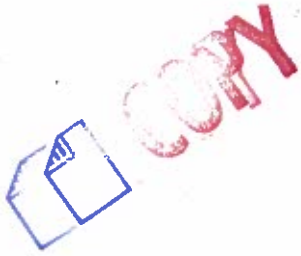
**AHI: 0109811****Additional Comments:**

Construction date is either 1870s or early 1890s. Additions and alterations were made in 1905. Builder was E. Steigerwald & Schultz. A. Seeboth was associated with the 1905 alteration.n.

**Bibliographic References:**

Sanborn Insurance Map, 1888 and 1894. Building Permit Records - (no original building permit on file).

[Close this window](#)



## ELEANOR CECIL SEEBOTH HIGGINS

I was born in Milwaukee, Wisconsin on March 26, 1904 to my parents, Albert and Mary Seeboth. I was born in our house on 4th and State St., which is now the site of the Milwaukee Journal Building. I was the youngest of five children. My siblings were Emily, Frances, George and Alice. Emily was 15 years older than me, Frances 14 years older, George 10 years older and Alice 7 years older. I was the real baby in the family. When I was about 2 years old we moved into a beautiful duplex that my father had built on 11th Street, between Kilbourn and Wells Street. Each side of the duplex had 3 bedrooms downstairs and 2 bedrooms upstairs. The other side of the duplex was rented out for about 12 years to Dr. Schiedel and his sister, Tilly. After Dr. Scheidel moved out, Anna Stoltz moved in with her two nephews from Green Bay. The boys were students at Marquette University.

While I lived in the duplex we were members of Gesu parish, where I attended grade school from 1st through 8th grade. After I finished Gesu I attended West Division High School, which was on 22nd and State St. I walked to and from school 4 times a day because I had to come home for dinner, our main meal, at noon time. It was a one mile walk each way. On very cold days I rode the street car, which cost about 7 cents a ride. The Catholic High School, Holy Angels was only 4 blocks from my house, but I chose West Division because of my dislike for the Notre Dame nuns at Gesu and I didn't want to spend any more time with nuns in school. To this day I regret my decision because all of my friends from Gesu Grade School went to Holy Angels and I knew very few people at West Division.

All the activities at our house on 11th St. took place in the diningroom. We studied there, celebrated Christmas Eve in there, when Santa would arrive and give us gifts and had special dinners there every Sunday and on holidays.

My mother had a Swiss girl living with us for several years.. Her name was Rosie Eggers and she was Archbishop Messmer's niece. He brought her to the United States to learn the American way. She lived with us for 3 years until her father became ill and called her back home to Godac, Switzerland. Rosie and I were good friends, eventhough I was about 10 years younger than her. She would take me to visit the archbishop at his house on 24th and Wisconsin Ave. on Sundays. I remember him being such a nice man. The house is still there and today is used as a museum.

In 1922 we sold the duplex because the 11th Street area was getting so run down and my mother wanted out. The house sold in one month's time and we had to get out fast. We moved into a duplex on 63rd St. and Wisconsin Ave. and lived there for 3 years, while our house at 538 N. 67th St., in Wauwatosa. was being built. During the 3 years that we lived there, Frances and I lived at home and Alice attended the University of Wisconsin-Madison for 2 years. Emily was married and living in New York and George was married and living in Milwaukee.

While living on 63rd St., I attended Milwaukee Normal School, which is now the University of Wisconsin-Milwaukee. I was very privileged because I was able to drive to school. I learned how to drive when I was 16 years old because my dad would not learn how to, and after George was married my dad was going to sell the car unless I would learn. I took three lessons from Jimmy Crowley, a neighbor and have been driving ever

THE · GEORGE · WASHINGTON · VNIVERSITY  
CERTIFICATE · OF · SERVICE  
VNIVERSITY · HOSPITAL

THIS IS TO CERTIFY THAT Joseph Johnz Eisenberg, M.D.  
SERVED AS Interne FROM July 1st, 1914,  
TO December 1st, 1914, AND THAT THE SERVICE SO  
RENDERED WAS SATISFACTORY.

WASHINGTON, DISTRICT OF COLUMBIA December 1st, 1914.

 COPY



CHAIRMAN, EXECUTIVE COMMITTEE.

*From Chatham Museum Archives*

 COPY



834 N. 11th Street 1970's (Pre-1980 work)

## PLAT OF SURVEY

**LOCATION:**

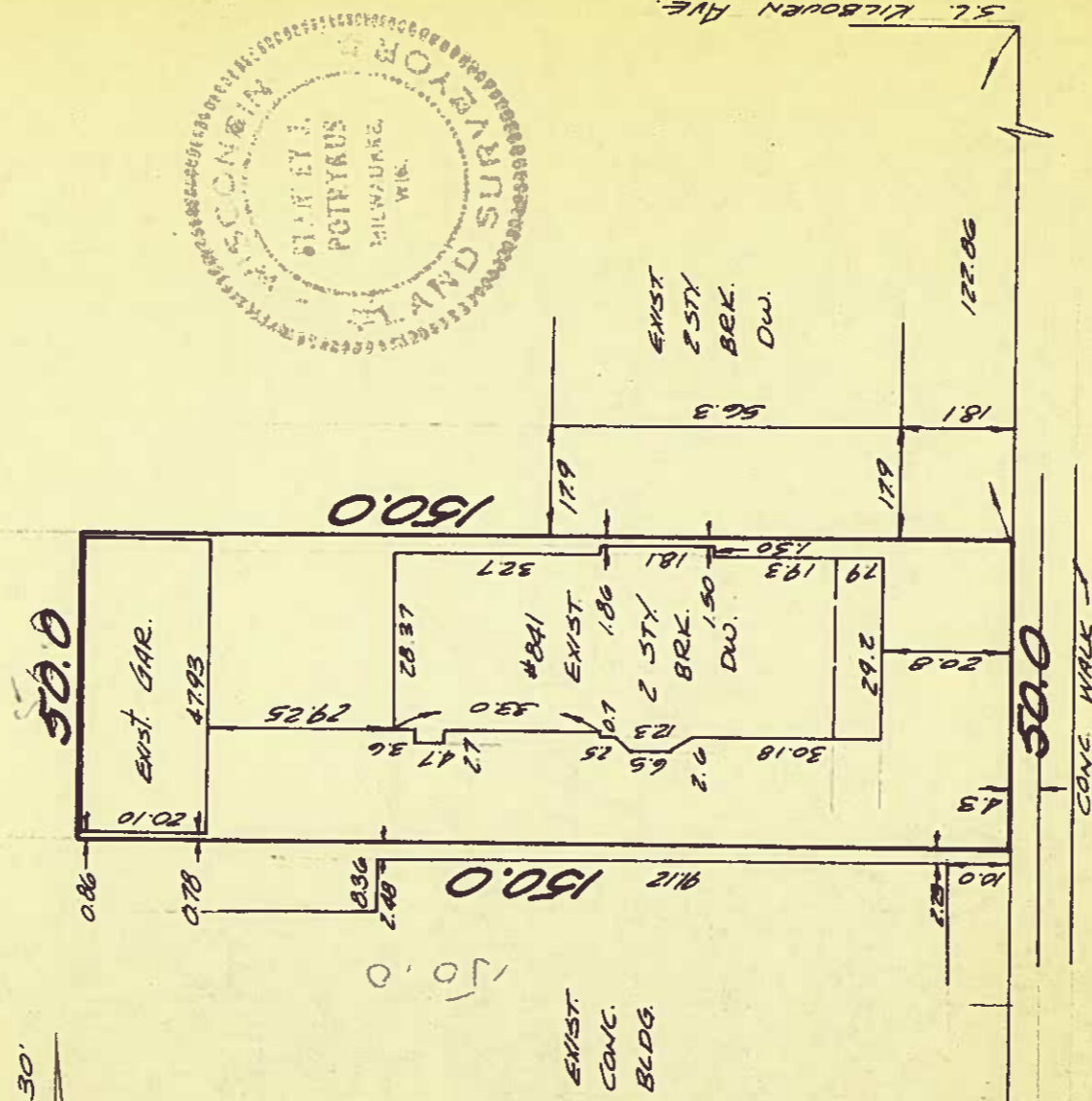
NORTH 11TH STREET, MILWAUKEE, WISCONSIN

**LEGAL DESCRIPTION:** THE NORTH 50.00 FEET OF LOT 3 IN BLOCK 192 IN THE SUBDIVISION INTO CITY LOTS OF THE NORTH 30 ACRES OF THE WEST 1/2 OF THE NW 1/4 AND THE NORTH 14 ACRES OF THE WEST 24 ACRES OF THE SOUTH 50 ACRES OF THE WEST 1/2 OF THE NW 1/4 OF SECTION 29, T 7 N, R 22 E, IN THE CITY OF MILWAUKEE, MILWAUKEE COUNTY, WISCONSIN.

JULY 6, 1967

SURVEY NO. 31705

SCALE 1"=30'



U. 11TH ST.

WE CERTIFY THAT WE HAVE SURVEYED THE ABOVE-DESCRIBED PROPERTY AND THAT THE ABOVE PLAT IS AN ACCURATE SURVEY AND A TRUE REPRESENTATION THEREOF AND CORRECTLY SHOWS THE EXTERIOR BOUNDARY LINES AND LOCATION OF BUILDINGS AND OTHER IMPROVEMENTS ON SAID PROPERTY AND THE CORRECT MEASUREMENTS THEREOF.

**METROPOLITAN SURVEY SERVICE, INC.**  
REGISTERED LAND SURVEYORS  
11612 W. NORTH AVE. WAUWATOSA, WIS. 53226  
414-453-9151

**SIGNED**

**STANLEY J. POTRYKUS**  
REGISTERED LAND SURVEYOR — S-500



COPY

THE MILWAUKEE JOURNAL

# FIION

REAL ESTATE • BUILDING • REMODELING • ARCHITECTURE

## Old buildings here rescued and restored

By LOIS HAGEN

Journal Home Furnishings Editor

Until recently, it has been far easier to find signs of decay on the fringes of Downtown than indications of revival and rebirth.

But that is changing. It's no longer considered entirely respectable to tear down a fine old building and replace it with a second-rate new one. And it's no longer necessarily true that it costs less to demolish and rebuild than to rehabilitate for "adaptive reuse," a phrase dear to the hearts of preservationists.

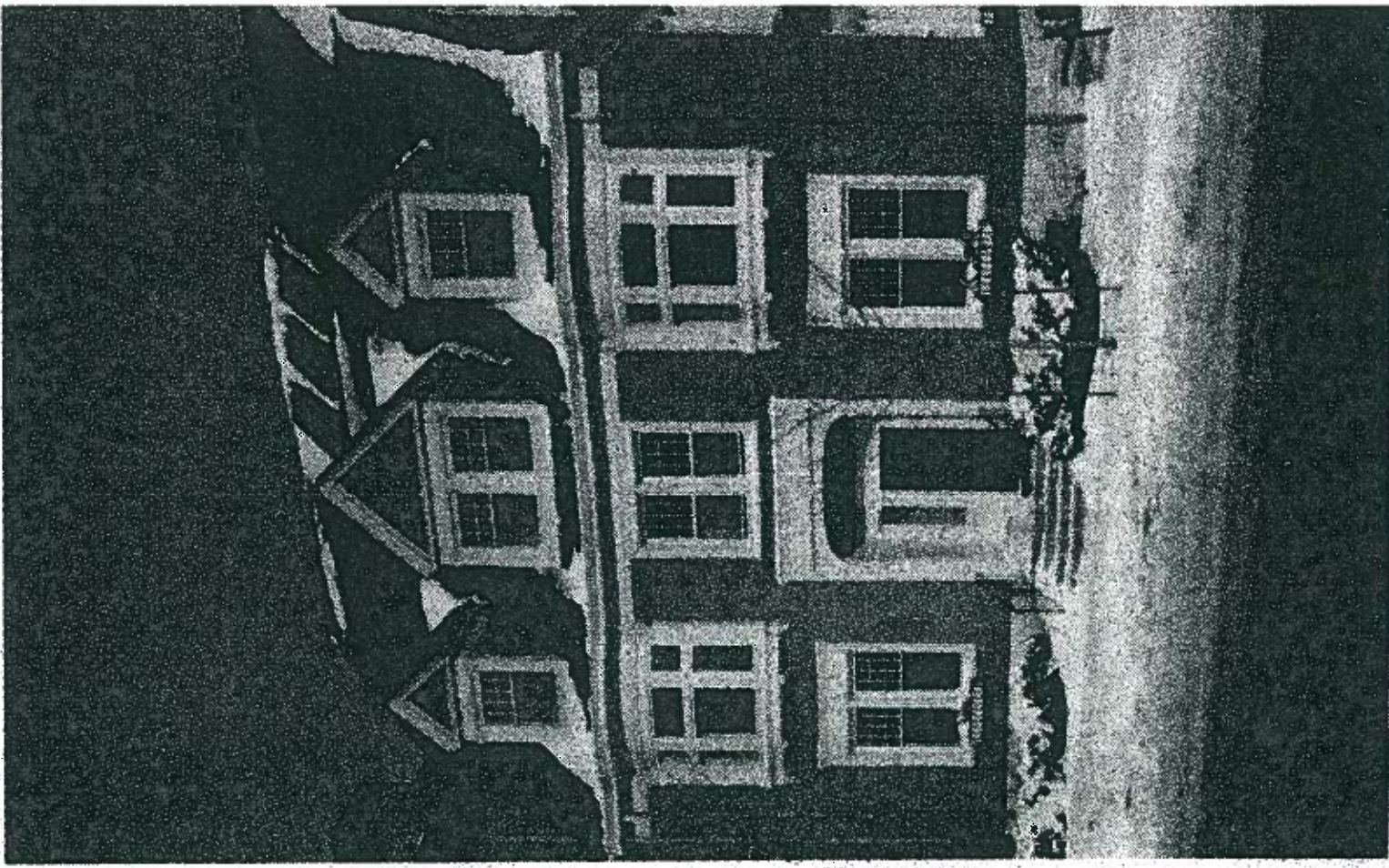
As a result, the slide toward deterioration has been reversed for some of the 19th and early 20th century homes that survive.

Two recently completed examples of recycling, one on the eastern fringe of Downtown, the other on the west, were prompted partly by practical considerations, partly by sentiment.

Rep. Henry Reuss (D-Wis.), seeking living quarters in Milwaukee, was drawn to the 89-year-old building at N. Astor and E. Knapp Sts. because his grandmother once lived there and he remembered visiting her home.

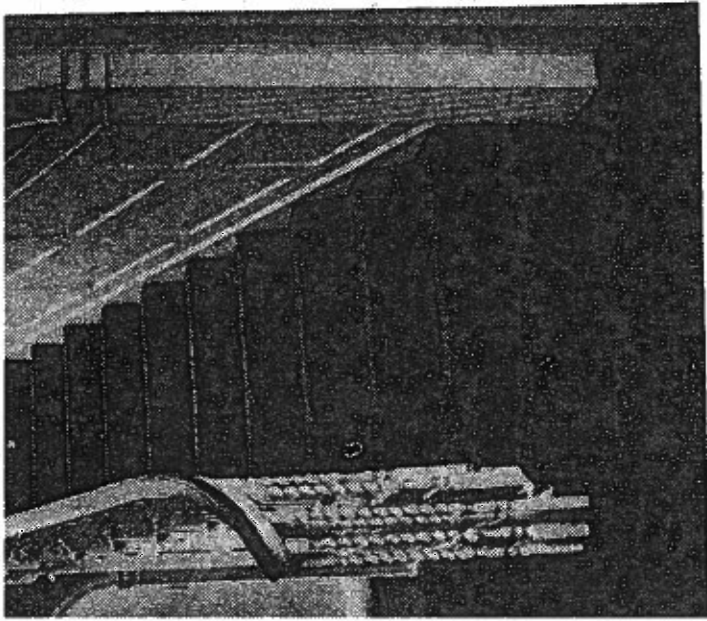
A. M. Chudnow, lawyer and collector of 19th century memorabilia, confessed that "I hate to destroy anything" in explaining why he and his brother, Joseph, and his law partner, Aaron Tilton, had gone to great lengths to restore three Victorian residences at the corner of N. 11th St. and W. Kilbourn Ave.

Another factor that prompted Reuss to buy, restore and tighten up an aging house was a desire to demonstrate his personal commitment to subjects that,

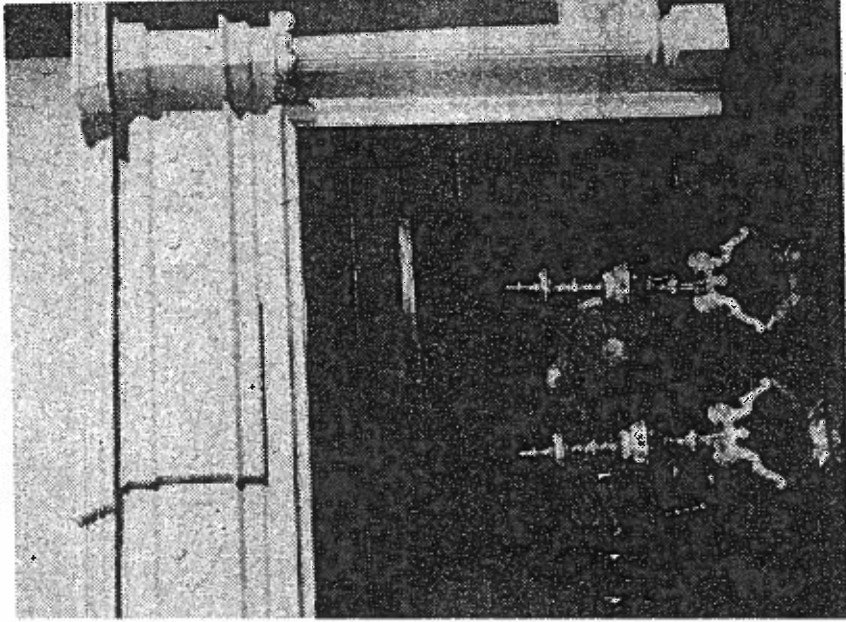


Turn to Page 2

from Chudnow Museum Archives



and-turned spindles in the front staircase in g were broken or missing and had to be re- ndrail was refinished, walls were stripped of lay- paper, patched and painted and the ceiling was



f carved wood and ceramic tile, one of 10 in the use, is still in good condition in the former parlor. rass andirons have been cleaned and polished.

street railway system.

### In historic company

The architects were Ferry and Clas, who also designed the Milwaukee Public Library, Abbot Row (also known as Ogden Row) and the Frederick Pabst mansion on Wisconsin Ave., all now listed on the National Register of Historic Places. The Montgomery house also has been nominated for the register.

The house had a succession of owners and from 1917 to 1922 was the home of Mrs. Emille Nunnemacher, Reuss's maternal grandmother.

When he bought the 24-room building, it was dreary and neglected but "in surprisingly good shape for its age," Reuss said.

It still retained 10 original fireplaces with wood mantels and tile fronts, front and rear stairways, original floors and woodwork, and the old brass and iron fixtures.

"What made the venture possible was the help of Herb Zien and his wife, Liz Levins," Reuss said. "I had met Herb when I dedicated a solar home he built near Dousman."

Since he knew Zien shared his interest in energy conservation, Reuss called him and they met at the Ziens' apartment, once the hayloft and attic of a former carriage house on the lower East Side. When he saw what they had done there, he asked them to take over the renovation on Knapp St.

Zien, executive vice president of Zien Mechanical Contractors, handled the plumbing, heating, air conditioning and installation of insulation, storm windows and rooftop solar panels. Liz Levins served as contractor.

The work, begun last May, included such tasks as finding artisans to clean and polish some 150 brass doorknobs and back plates, dozens of andirons and scores of brass light fixtures and their frosted glass shades.

An elaborate leaded and stained glass window was missing from its original position on an interior wall and, the opening was covered with orange plastic. But Zien found the window in a storeroom and convinced the former owner of the house to let them put it back in place.

### A whole lot of help

Many of the spindles were missing from the front stair rail; wood floors were hidden by linoleum and worn carpeting; walls were covered with painted layers of wallpaper. Professional painters weren't interested in stripping off old wallpaper so high

rooms would have been prohibitive, Liz Levins said. He has a two-room apartment with compact kitchen and bath at the rear of the building.

Substantial savings in energy are expected, Zien said. He used a method developed by the US Department of Energy to express them by converting the savings in British thermal units to savings in "equivalent barrels of oil."

The heating system was improved by installing a new boiler, converting from steam to hot water and changing from oil to gas. The attic was insulated and storm windows were installed, as were automatic setback thermostats to turn down the heat at night. Three solar panels near the peak of the roof on the south side now help provide hot water.

These measures, which cost a total of \$15,180, are expected to cut heating costs by more than \$3,500 annually. The energy savings, expressed in terms of oil, would amount to about 50 barrels a year, Zien estimated. (There are 42 gallons in a barrel.)

But the biggest conservation factor, Reuss and Zien believe, is the one-time saving that results when an existing building is remodeled rather than demolished and reconstructed.

Many of the improvements entitle the property to tax credits under state and federal energy conservation legislation. And the building's designation as a historic site make it eligible for accelerated depreciation for tax purposes, Reuss said.

### Restored Victorian flavor

Across town, the Chudnows and Tilton are enjoying the restored Victorian flavor of buildings acquired over a period of several years at the corner of N. 11th St. and W. Kilbourn Ave.

Once residences, the 19th century structures earlier had been remodeled for office use with picture windows, inappropriate entrances, glass block and air conditioners sticking out of windows. Porches had been torn off and brick walls had been painted.

Working with architect Richard Blake, the owners had new heating, air conditioning and plumbing systems installed, had the houses insulated and weatherstripped and refurbished the interiors. But they made no structural changes, keeping the rooms in their original size and shape.

When it came to exterior work, Blake recommended architectural historian H. Russell Zimmermann as a consultant. Under Zimmermann's guidance, two of the three buildings have returned to the mid-19th centu-

# TIMEOWNERS

#### MODEL HOMES

OPEN: Sun. 1-5, Sat. 2-4, Mon. and Wed. 6:30-8:30 or by appointment. "Tenny Ave. closed Sat. All in Waukegan

The Shenandoah — 4 bedroom two story — \$351,400.

(Take I-94 to Hwy. 18 exit. Hwy. 18 west to Hwy. "A." Hwy. "A" south to Sunset Dr. West 1/2 mile to Tenny Ave.)

The Treasure House VI — \$444,400.

## for 'adaptive reuse'

ry. The third, at 839 N. 11th St., was not as old and needed less work so the owners merely repaired it, cleaned the brick, painted the trim and put on a new roof. But the buildings at 845 N. 11th St. (photo on Page 1) and at 1119 W. Kilbourn Ave. underwent major surgery.

Zimmerman took pictures, made blowups, then had half-tone blueprints made from the enlargements.

"I drew all my suggested changes on those blueprints," he said. "After they were approved, Joe Chudnow, who is in the construction business and has his offices in one of the buildings, did the contracting.

"The usual direction in remodeling is to modernize and update," Zimmermann said. "We went the other way, making the buildings look older."

He described the process as "corrective surgery to erase the scars of earlier operations." Carrying the analogy further, he said, "Just as skin is often taken from other parts

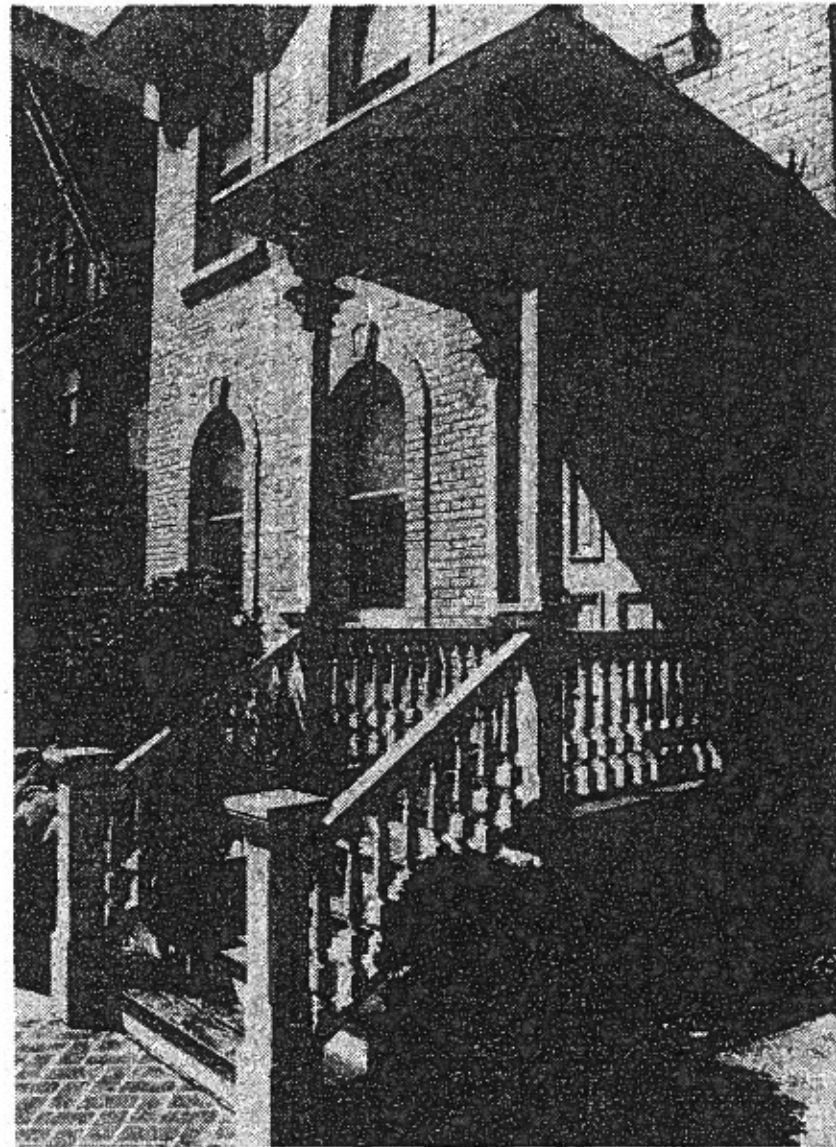
of the body in plastic surgery, we took old bricks from the rear of the houses and used them to restore arched windows and rebuild doorways on the front."

Then they found used brick from demolished buildings to patch the back sides. They also found authentic old hardware for new entrances designed by Zimmermann in the style of the period.

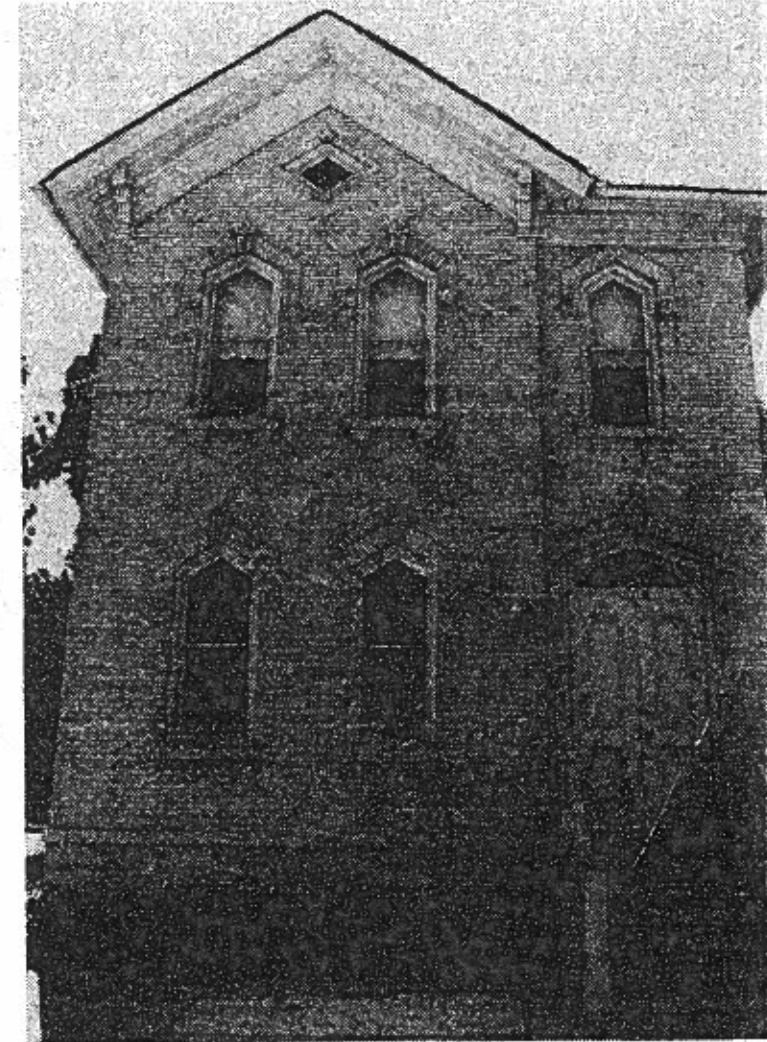
"It was expensive to go to such lengths for authenticity," Abe Chudnow confessed, "but we enjoy this style. I've always loved the Gay '90s period."

When all was finished, he said, "Russ and I went across the street for a look and he said, 'It needs a frame.' So we wound up spending \$18,000 more for a fence of Cream City brick that ties it all together."

Now the interiors are being restored. Chudnow said he was not sure how much the total cost would be and was almost afraid to ask, but, despite the expense, "We're delighted with the results."

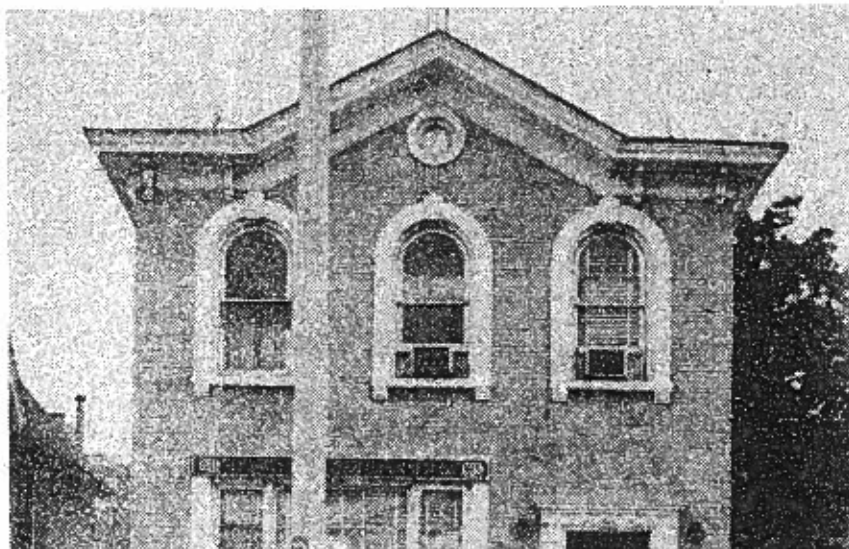


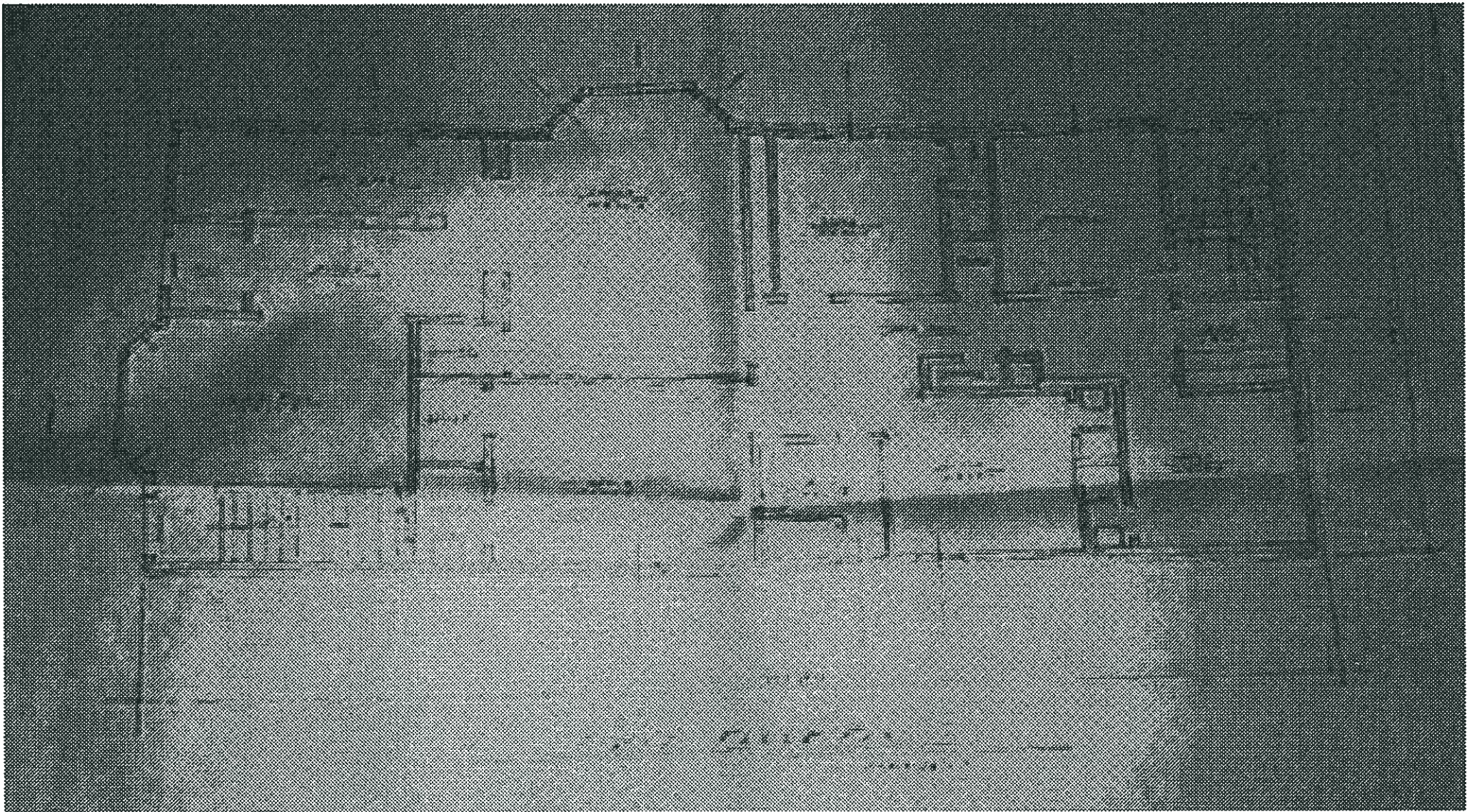
A Victorian porch and a four-panel door designed by H. Russell Zimmerman have replaced a colonial-style entrance and concrete stoop on the house at 845 N. 11th St. Brick from the rear of the house was used to rebuild two arched windows.



—H. Russell Zimmerman

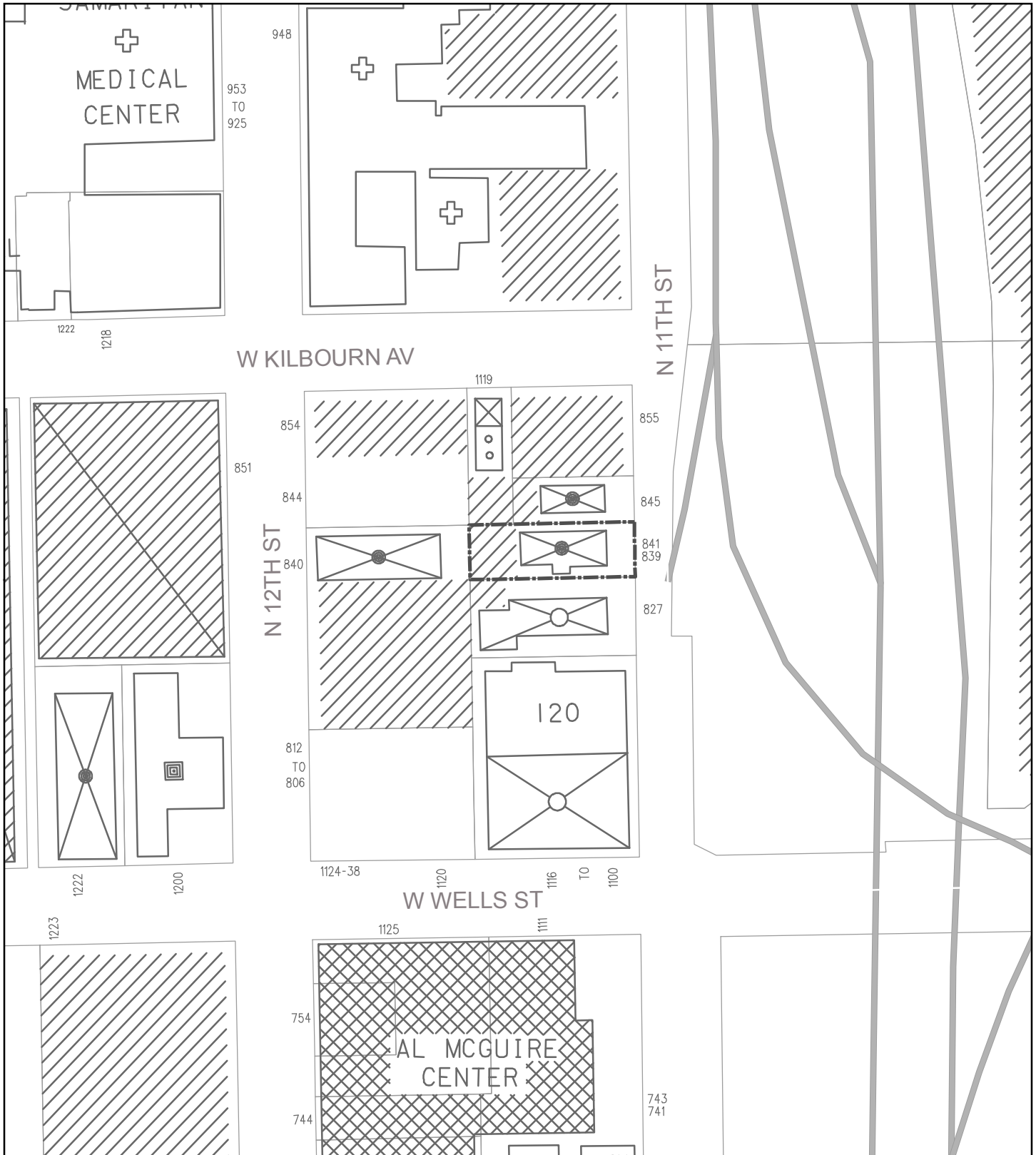
This house at 1119 N. Kilbourn Ave. also has undergone surgery. A picture window was replaced with two arched windows matching those on the second floor. A custom-designed double doorway of Victorian styling was installed and the bricks were turned to go straight down, as they probably did originally.





First Floor Plan  
from Chudnow  
Museum Archives  
c. 1910.

**Schultz / Seeboth Duplex**  
**839-841 N. 11th Street**  
**April 2012**



 Parcel Boundary

0 50 100 200 Feet





[www.milwaukee.gov](http://www.milwaukee.gov)

Office of the City Clerk

**Ronald D. Leonhardt**  
City Clerk

**Jim Owczarski**  
Deputy City Clerk

March 16, 2012

**CERTIFIED MAIL**

A. Chudnow and Sons Historic Museum, Inc.  
839 N. 11<sup>th</sup> St.  
Milwaukee, WI 53233

Dear Property Owner:

This is to inform you that the letter dated March 16, 2012, which was previously sent to you, was sent to you with errors. Please disregard that letter. Enclosed is the correct letter with the correct information for the public hearing to consider the historic designation nomination of the Schultz / Seeboth Duplex at 839-841 N. 11<sup>th</sup> St. for Tuesday, April 10, 2012 at 3:00 p.m. in City Hall, 200 East Wells Street, Room 301-B.

Sincerely,

RONALD D. LEONHARDT  
City Clerk

Cc: Ald. Robert Bauman – 4<sup>th</sup> Aldermanic District





www.milwaukee.gov

Office of the City Clerk

**Ronald D. Leonhardt**  
City Clerk

**Jim Owczarski**  
Deputy City Clerk

March 16, 2012

CERTIFIED MAIL

A. Chudnow and Sons Historic Museum, Inc.  
839 N. 11<sup>th</sup> St.  
Milwaukee, WI 53233

Dear Property Owner:

**RE: Historic designation for the Schultz / Seebboth Duplex located at 839-841 N. 11<sup>th</sup> Street**

An application was recently submitted to the Historic Preservation Commission to designate the Schultz / Seebboth Duplex at 839-841 N. 11<sup>th</sup> Street as a historic site (see map on back of this page).

A public hearing has been scheduled for Tuesday, April 10, 2012 at 3:00 p.m. in City Hall, 200 East Wells Street, Room 301-B to determine whether or not the proposed designation of the Schultz / Seebboth Duplex located at 839-841 N. 11<sup>th</sup> Street satisfies the criteria for historic designation in accordance with Section 320-21 of the Milwaukee Code of Ordinances.

If the Commission determines the building meets at least one criterion, a favorable recommendation for nomination can be forwarded to the Milwaukee Common Council.

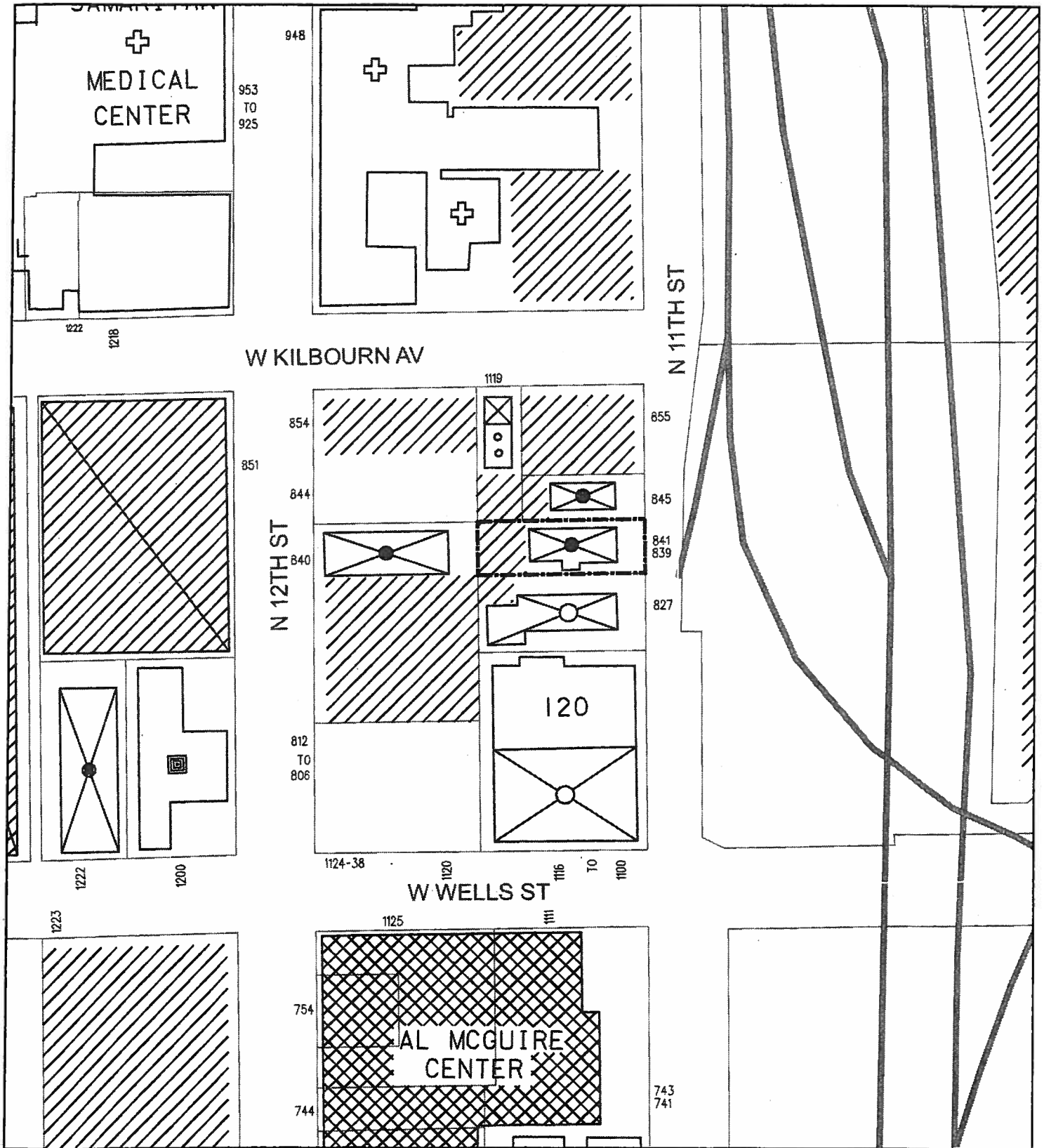
The Schultz / Seebboth Duplex Study Report and information about the Historic Preservation Commission are available online at <http://milwaukee.legistar.com/legislation>. The file concerning the Schultz / Seebboth Duplex is number 111525. If you have any questions regarding the proposed designation of the Schultz / Seebboth Duplex, please call Carlen Hatala of the Historic Preservation staff at (414) 286-5722.

Sincerely,

Ronald D. Leonhardt  
City Clerk

Cc: Ald. Robert Bauman – 4<sup>th</sup> Aldermanic District

**Schultz / Seeboth Duplex**  
**839-841 N. 11th Street**  
**April 2012**



 Parcel Boundary

0 50 100 200 Feet





[www.milwaukee.gov](http://www.milwaukee.gov)

Office of the City Clerk

**Ronald D. Leonhardt**  
City Clerk

**Jim Owczarski**  
Deputy City Clerk

March 16, 2012

Dear Property Owner:

This is to inform you that the letter dated March 16, 2012, which was previously sent to you, was sent to you with errors. Please disregard that letter. Enclosed is the correct letter with the correct information for the public hearing to consider the historic designation nomination of the Schultz / Seeboth Duplex at 839-841 N. 11<sup>th</sup> St. for Tuesday, April 10, 2012 at 3:00 p.m. in City Hall, 200 East Wells Street, Room 301-B.

Sincerely,

RONALD D. LEONHARDT  
City Clerk

Cc: Ald. Robert Bauman – 4<sup>th</sup> Aldermanic District





www.milwaukee.gov

Office of the City Clerk

Ronald D. Leonhardt  
City Clerk

Jim Owczarski  
Deputy City Clerk

March 16, 2012

Dear Neighboring Property Owner:

**RE: Historic designation for the Schultz / Seeboth Duplex located at 839-841 N. 11<sup>th</sup> Street**

An application was recently submitted to the Historic Preservation Commission to designate the Schultz / Seeboth Duplex at 839-841 N. 11<sup>th</sup> Street as a historic site (see map on back of this page).

A public hearing has been scheduled for Tuesday, April 10, 2012 at 3:00 p.m. in City Hall, 200 East Wells Street, Room 301-B to determine whether or not the proposed designation of the Schultz / Seeboth Duplex located at 839-841 N. 11<sup>th</sup> Street satisfies the criteria for historic designation in accordance with Section 320-21 of the Milwaukee Code of Ordinances.

If the Commission determines the building meets at least one criterion, a favorable recommendation for nomination can be forwarded to the Milwaukee Common Council.

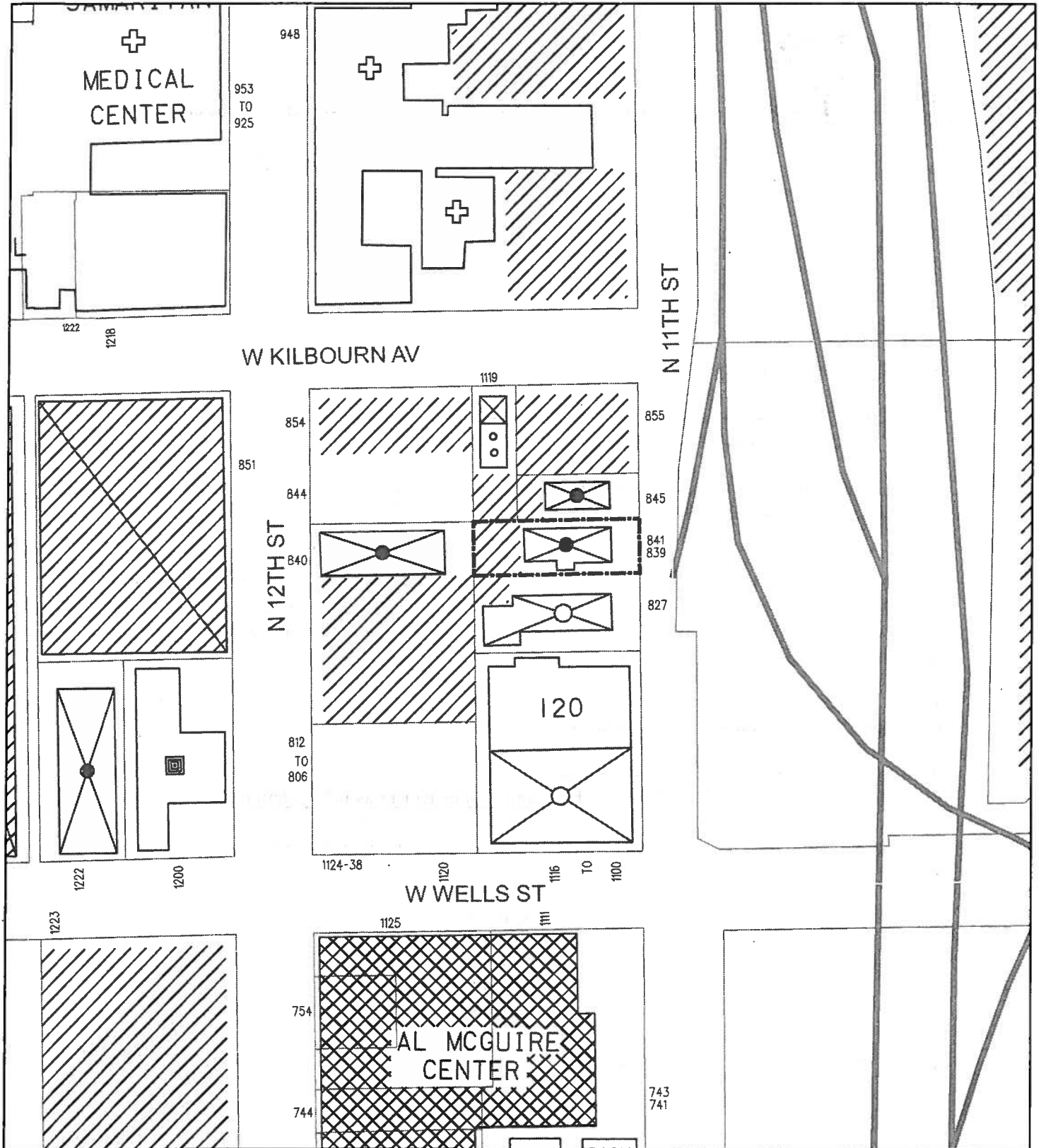
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Sincerely,

Ronald D. Leonhardt  
City Clerk

Cc: Ald. Robert Bauman – 4<sup>th</sup> Aldermanic District

**Schultz / Seeboth Duplex**  
**839-841 N. 11th Street**  
**April 2012**



 Parcel Boundary

0 50 100 200 Feet



CATHOLIC KNIGHTS INS SOC  
1100 W WELLS ST  
MILWAUKEE WI 53233

BADGER RE PORTFOLIO I LC  
3031 W MONTANA ST  
MILWAUKEE WI 53215

A. CHUDNOW AND SONS  
HISTORIC  
839 N 11TH ST  
MILWAUKEE WI 53233

AURORA SINAI MEDICAL CTR  
INC  
PO BOX 343910  
MILWAUKEE WI 53234-3910

HEGARTY'S PUB  
1120 W WELLS ST  
MILWAUKEE WI 53201-1881

STEVEN TILTON & NOLA  
3070 N CAMBRIDGE AV  
MILWAUKEE WI 53211

KILBOURN WEST LLC  
9864 S 35TH ST  
MILWAUKEE WI 53132

AURORA HEALTH CARE  
3000 W MONTANA AVE  
MILWAUKEE WI 53215

AMC REALTY LLC  
829 N 11TH ST  
MILWAUKEE WI 53233-1401

MARQUETTE UNIVERSITY  
PO BOX 1881  
MILWAUKEE WI 53201-1881





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Office of the City Clerk

**Ronald D. Leonhardt**  
City Clerk

**Jim Owczarski**  
Deputy City Clerk

March 16, 2012

CERTIFIED MAIL

A. Chudnow and Sons Historic Museum, Inc.  
839 N. 11<sup>th</sup> St.  
Milwaukee, WI 53233

Dear Property Owner:

**RE: Historic designation for the Seeboth Residence located at 839-841 N. 11<sup>th</sup> Street**

An application was recently submitted to the Historic Preservation Commission to designate the Seeboth Residence at 839-841 N. 11<sup>th</sup> Street as a historic site (see map on back of this page).

A public hearing has been scheduled for Tuesday, April 10, 2012 at 3:00 p.m. in City Hall, 200 East Wells Street, Room 301-B to determine whether or not the proposed designation of the Seeboth Residence located at 839-841 N. 11<sup>th</sup> Street satisfies the criteria for historic designation in accordance with Section 320-21 of the Milwaukee Code of Ordinances.

If the Commission determines the building meets at least one criterion, a favorable recommendation for nomination can be forwarded to the Milwaukee Common Council.

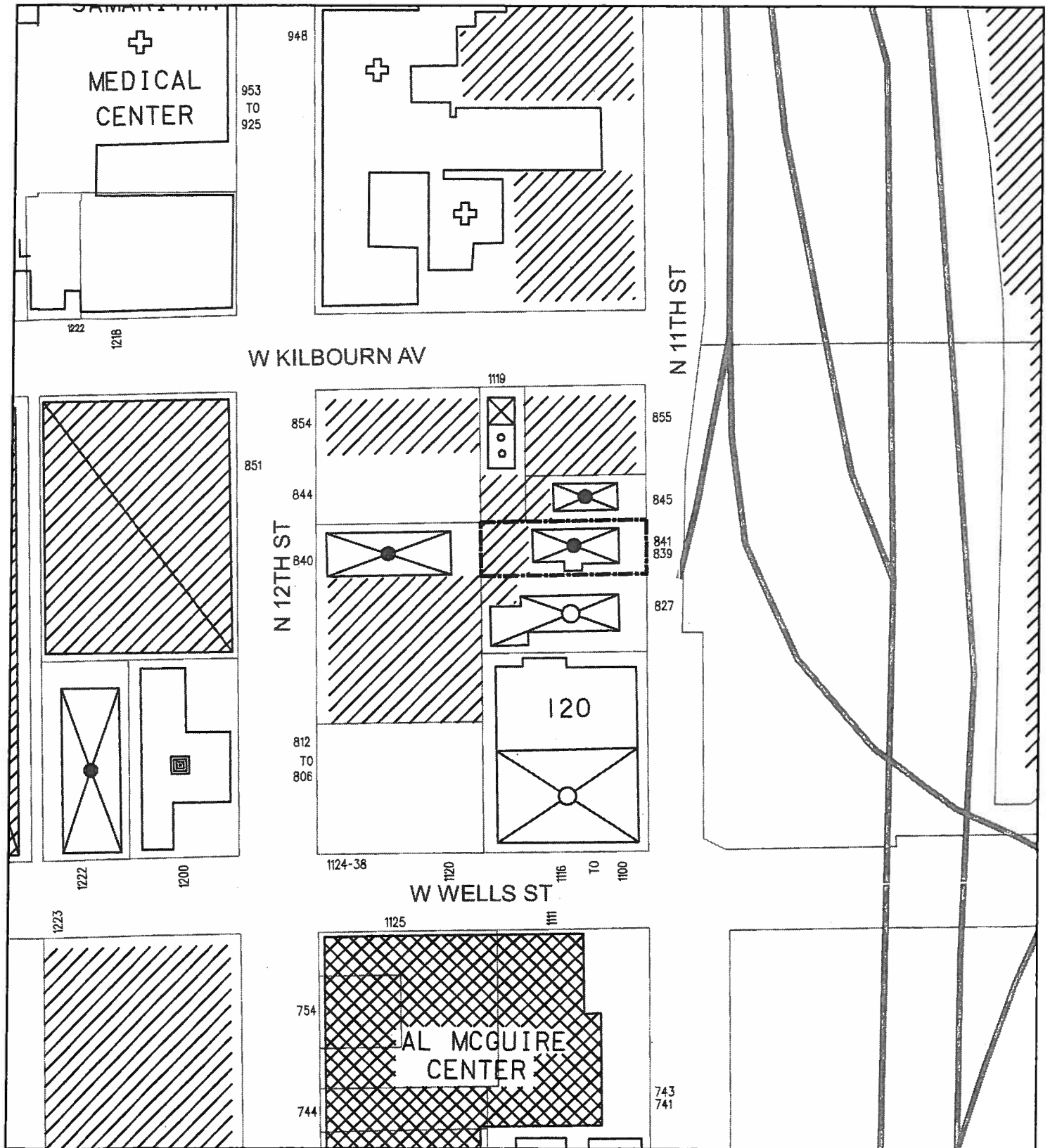
The Seeboth Residence Study Report and information about the Historic Preservation Commission are available online at <http://milwaukee.legistar.com/legislation>. The file concerning the Seeboth Residence is number 111525. If you have any questions regarding the proposed designation of the Seeboth Residence, please call Paul Jakubovich of the Historic Preservation staff at (414) 286- 5712

Sincerely,

Ronald D. Leonhardt  
City Clerk

Cc: Ald. Robert Bauman – 4<sup>th</sup> Aldermanic District

**Schultz / Seeboth Duplex**  
**839-841 N. 11th Street**  
**April 2012**



 Parcel Boundary

0 50 100 200 Feet





www.milwaukee.gov

Office of the City Clerk

Ronald D. Leonhardt  
City Clerk

Jim Owczarski  
Deputy City Clerk

March 16, 2012

Dear Neighboring Property Owner:


**RE: Historic designation for the Seeboth Residence located at 839-841 N. 11<sup>th</sup> Street**

An application was recently submitted to the Historic Preservation Commission to designate the Seeboth Residence at 839-841 N. 11<sup>th</sup> Street as a historic site (see map on back of this page).

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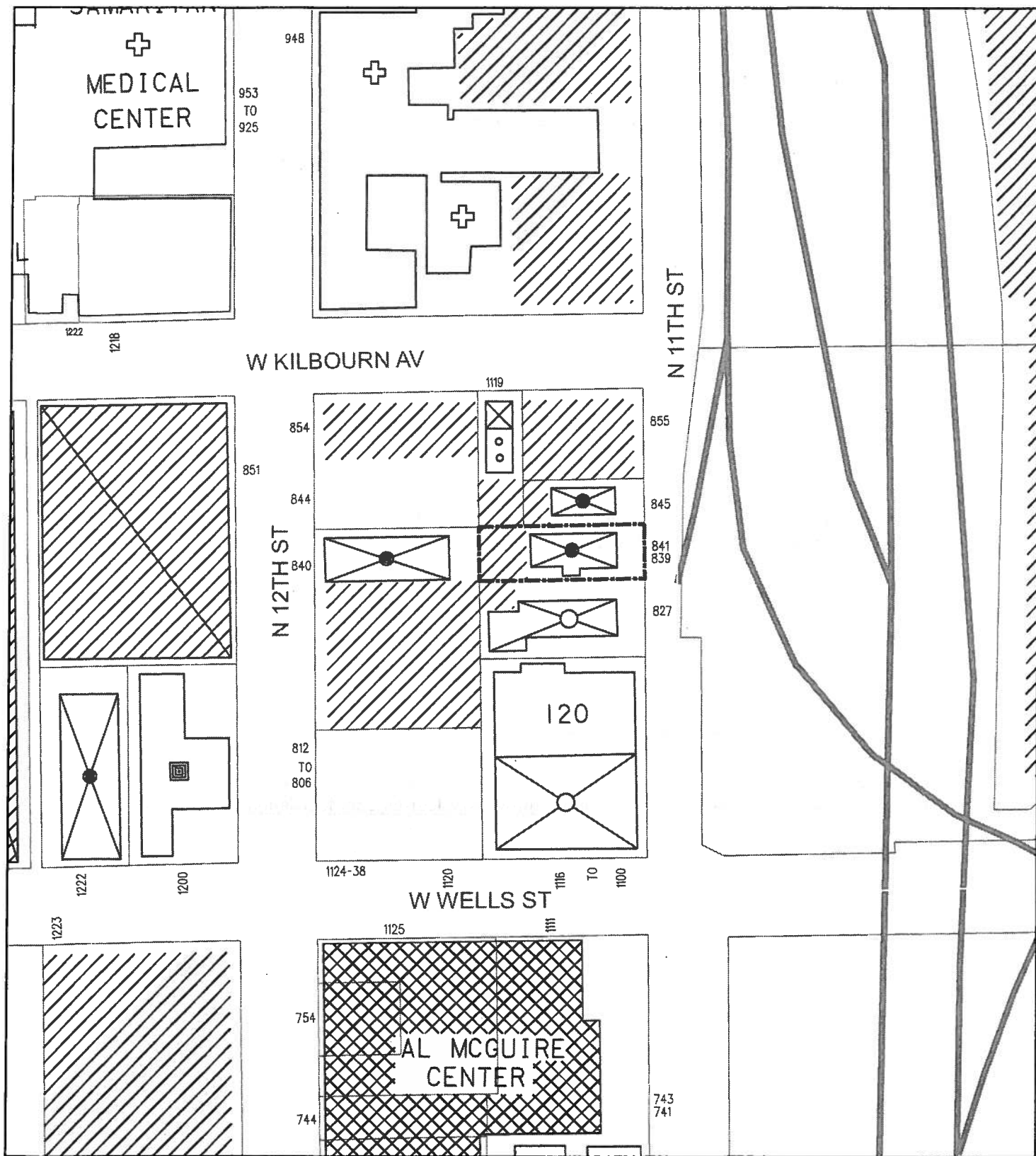
Sincerely,  
  
Ronald D. Leonhardt  
City Clerk

Cc: Ald. Robert Bauman – 4<sup>th</sup> Aldermanic District

# Schultz / Seeboth Duplex

## 839-841 N. 11th Street

### April 2012



 Parcel Boundary

0 50 100 200 Feet



CATHOLIC KNIGHTS INS SOC  
1100 W WELLS ST  
MILWAUKEE WI 53233

HEGARTY'S PUB  
1120 W WELLS ST  
MILWAUKEE WI 53201-1881

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3000 W MONTANA AVE  
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3031 W MONTANA ST  
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PO BOX 343910  
MILWAUKEE WI 53234-3910





## Legislation Details (With Text)

**File #:** 111615 **Version:** 0  
**Type:** Resolution **Status:** In Committee  
**File created:** 3/16/2012 **In control:** HISTORIC PRESERVATION COMMISSION  
**On agenda:** **Final action:**  
**Effective date:**

**Title:** Resolution relating to a Certificate of Appropriateness for restoration and renovations to Albrecht Hall at 3136 W. Kilbourn Avenue (Concordia Historic District).  
**Sponsors:** THE CHAIR  
**Indexes:** HISTORIC PRESERVATION, HISTORIC PRESERVATION COMMISSION, POTAWATOMI  
**Attachments:** HPC Staff Report, Application

Date	Ver.	Action By	Action	Result	Tally
3/16/2012	0	COMMON COUNCIL	ASSIGNED TO		

Number  
111615  
Version  
ORIGINAL  
Reference

Sponsor  
THE CHAIR  
Title

Resolution relating to a Certificate of Appropriateness for restoration and renovations to Albrecht Hall at 3136 W. Kilbourn Avenue (Concordia Historic District).

Requestor

Drafter  
CC-CC  
dkf  
3/16/12



## Milwaukee Historic Preservation Commission Staff Report

LIVING WITH HISTORY

**HPC meeting date: 4/10/2012**  
**Ald. Robert Bauman District: 4**  
**Staff reviewer: Paul Jakubovich**  
**PTS #79121**

<b>Property</b>	3136 W. KILBOURN <b>Concordia Historic District</b>	
<b>Owner/Applicant</b>	THE USA IN TRUST FOR FOREST COUNTY POTAWATOMI COMMUNITY C/O GREENFIRE MGMT SERVICE 320 E BUFFALO ST STE 607 MILWAUKEE WI 53202	Kubala Washatko Architect Harold Frank W61 N617 Mequon Ave Cedarburg, WI 53012 Phone: (262) 377-6039 Fax: (262) 377-2954
<b>Proposal</b>	Restore and repair the exteriors of the former Albrecht Hall and the Rincker Library. Demolish a small green house addition from the south elevation of Albrecht hall.	
<b>Staff comments</b>	<p>Albrecht Hall and the Rincker Library attached to it are the two most outstanding buildings on the former Concordia College Campus now owned by the Forest County Potawatomi. The proposal is to restore and repair the existing exterior features of both buildings.</p> <p>Albrecht Hall, constructed in 1900, is a symmetrical building featuring a large central, hip- roofed block flanked on either side by smaller hip-roofed wings. Attached to the west elevation of Albrecht hall is the former Rincker Library constructed in 1941 and designed in a Federal Revival style.</p> <p>The small greenhouse at the southwest corner of Albrecht Hall is a post World War II addition that will be removed to make way for a new accessible entrance in the gangway between Albrecht Hall and Rincker Library. The greenhouse is in very deteriorated condition and it is not known to have architectural or historical significance. Its removal is acceptable.</p> <p>All the remaining, original wood windows and doors in both buildings will be restored. The existing stainless steel replacement windows in Albrecht Hall, probably of 1950s vintage, will be retained and restored. The brick infill in the window arches of the main elevation of Albrecht Hall will remain as is.</p> <p>Albrecht Hall will be tuckpointed 100 percent. A careful, laboratory analysis of the original mortar has been performed and specifications have been provided for new mortar that will match the original in terms of color, texture and hardness. It will be very important that the tuckpointing is done in a manner that will preserve the very narrow mortar joints. The parapet wall on Rincker Library will be completely rebuilt. Any new brick used in the rebuilding process should match the originals as closely as possible. Corroded steel lintels throughout the building will be replaced. Limestone trim on the Library building, which is its most outstanding feature, will be chemically cleaned where stoned has completely spalled or broken off, new Indiana limestone Dutchman patches will be installed.</p> <p>The flat roof on Rincker Library will be replaced. The two distinctive ventilators atop Albrecht Hall will be repaired and repainted.</p> <p>The work meets preservation guidelines for the district and the complete renovation of the buildings is a very positive development for the Concordia Historic District and the City of Milwaukee.</p>	

**Recommendation**

Recommend HPC Approval

**Conditions**

A sample of tuckpointing on both buildings must be reviewed and approved by HPC staff prior to general commencement of the work. Any new brick for rebuilding the parapet walls of the Rincker library must match the originals as closely as possible in terms of color, texture and size. All new mortar for tuckpointing must match the original in terms of color, texture, joint width and finish.

**Previous HPC action****Previous Council action**



## CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.  
Please print legibly.

1. **HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT: (if known)**

Concordia Historic District

**ADDRESS OF PROPERTY:**

Albrecht Hall / Rincker Library, 3136 West Kilbourn Avenue, Milwaukee, WI 53203

2. **NAME AND ADDRESS OF OWNER:**

Name(s): Forest County Potawatomi Community

Address: 313 North 13th Street

City: Milwaukee

State: WI

ZIP 53233

Email: rzeller@GreenFireLLC.net

Telephone number (area code & number) Daytime: (414) 727-6110

Evening:

3. **APPLICANT, AGENT OR CONTRACTOR: (if different from owner)**

Name(s): The Kubala Washatko Architects, Inc

Address: W61 N617 Mequon Avenue

City: Cedarburg

State: WI

ZIP Code: 53012

Email: thansmann@tkwa.com

Telephone number (area code & number) Daytime: (262) 377-6039

Evening:

4. **ATTACHMENTS**

**A. REQUIRED FOR ALL PROJECTS:**

- X Photographs of affected areas & all sides of the building (annotated photos recommended)
- X Sketches and Elevation Drawings (1 full size and 2 reduced to 11" x 17" or 8 1/2" x 11")
- X Material and Design Specifications (see next page)

**B. NEW CONSTRUCTION/DEMOLITION ALSO REQUIRES:**

Floor Plans (1 full size and 1 reduced to 11" x 17")

Site Plan showing location of project and adjoining structures and fences

Other (explain):

**PLEASE NOTE: YOUR APPLICATION CANNOT BE PROCESSED UNLESS BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED.**



5. DESCRIPTION OF PROJECT:

Describe all existing features that will be affected by proposed work. Please specify the condition of materials, design, and dimensions of each feature (additional pages may be attached)

The intent of the proposed work is to restore the exterior of the building and to fix interior structural issues in order to stabilize the building for future adaptive office reuse. This project is utilizing Historic Tax Credits, and as such all proposed work would conform to the standards outlined by the National Park Service. All existing historic/original elements are to remain and be restored. Key character-defining features that remain are the masonry elements. The masonry on Albrecht Hall consists of a tan iron spot face brick with Indiana limestone base, trim and accents; a carved "CONCORDIA COLLEGE 1900" inscription is at the top band of the south central facade. The front entry projection includes limestone columns and cornice features. The masonry is deteriorated and spalling in places, with heavily decomposed mortar butter joints and corroded steel lintels found throughout the building. Rincker Library is a red-toned face brick with Indiana limestone trim. Masonry has decomposed mortar and spalling at the parapets. Roof: Roofing on both sections of the building is non-original. Doors/Windows: Several original windows remain on Albrecht on the east and west ends, and exterior doors with transoms are original. Windows at Library are original.

Photo No. See attached

Drawing No. See attached

B. Describe all proposed work, materials, design, dimensions and construction technique to be employed (additional pages may be attached)

Please refer to the attached Drawing Set for full building material descriptions/design features/specifications. In general, the proposed scope of work for the exterior includes:

1. Masonry: All masonry is to be restored. The masonry butter joints on Albrecht Hall are severely decomposed and will be repointed. Masonry joints on the Library portion will also be repointed, and parapets rebuilt as needed. Indiana limestone trim will be repaired. Corroded lintels will be replaced.
2. Roofing: Roofing and insulation underlay on the Library portion will be replaced with an adhered roofing system.
3. Doors/Windows: Original wood units and transoms over entry doors will be restored. 1955 stainless steel replacement units on Albrecht Hall will be cleaned and reglazed as needed.
4. Building Accessories: For any lighting attached to the building, period reproduction lighting would be utilized.

Photo No. See attached

Drawing No. See attached

6. SIGNATURE OF APPLICANT:

  
Signature

Harold Frank 3-14-12  
Print or type name Date

This form and all supporting documentation **MUST** arrive by 12:00 noon on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Hand Deliver or Mail Form to:  
Historic Preservation Commission  
City Clerk's Office  
200 E. Wells St. Room B-4  
Milwaukee, WI

PHONE: (414) 286-5722

FAX: (414) 286-3004

[www.milwaukee.gov/hpc](http://www.milwaukee.gov/hpc)





The Kubala Washatko Architects, Inc.

W61 N617 Mequon Avenue, Cedarburg, Wisconsin 53012-2017

tel: 262.377.6039 | fax: 262.377.2954 | www.tkwa.com

**ALBRECHT HALL / RINCKER LIBRARY STABILIZATION: CONCORDIA HISTORIC DISTRICT  
CERTIFICATE OF APPROPRIATENESS APPLICATION SUBMISSION  
MARCH 15, 2012**

**Project Overview: Synopsis of Key Items**

*Albrecht Hall Construction 1900, Rincker Library Construction 1941*



Albrecht Hall (Recitation Hall) undated image pre 1940.



Rincker Library, 1942

**Item 1: Masonry Restoration – Albrecht Hall**

*See Attached Exterior Elevations – Sheets D3.0 and D3.1 and the U.S. Heritage Group (USHG) Custom Mortar Matching Report and Sample Comparison for Albrecht Hall.*

The exterior walls are comprised of a tan “iron spot” brick, fairly homogenous in range, laid in a common bond pattern with butter joints. Base, horizontal banding, areas of coping, sills, miscellaneous trim and ornament are of Indiana limestone. Brick units are predominately in good condition with the noted exception of spot areas, in particular near basement windows. Mortar is severely decomposed or missing in many areas. Indiana limestone features are predominately intact with noted exceptions of spalls, especially near the South entry and fractures at window sill belt courses.

**INTENT:**

- March 2012: Mortar samples have been analyzed; refer to the USHG Custom Mortar Matching Report for details. New mortar and render will match the historic in composition, gradation and appearance for the brick and stone segments individually; compositions and tooling profiles are different at these materials.
- Cut and repoint mortar joints 80-100% on all wall faces. An effort will be to located intact original mortar segments to retain, however, extensive moisture infiltration will limit this effort. Butter joints at the brick must be hand removed as saw cutting would widen the joints and damage the brick units.





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tel: 262.377.6039 | fax: 262.377.2954 | www.tkwa.com

- Stone base, columns, entry portico, horizontal banding, sills, coping, trim, etc. will be restored and all stone reused where possible. Natural, custom matched stone restoration mortars will be utilized to repair spalled units.
- Replace severely corroded steel lintels with galvanized steel (alternate: stainless steel). Refurbish exposed surfaces on mildly corroded lintels.
- Moss, algae growth, tar, graffiti, and other defects will be cleaned from masonry surfaces utilizing the gentlest means possible; on-site testing in small areas will validate product selection. Efflorescence will be neutralized. Any extraneous metal attachments to the building will be removed and sympathetically patched.

*Refer to the attached Images for further details on existing conditions.*

## **Item 2: Masonry Restoration – Rincker Library**

*See Attached Exterior Elevations – Sheets D3.0 and D3.1 and the U.S. Heritage Group (USHG) Custom Mortar Matching Report]and Sample Comparison Report for Rincker Library [PENDING].*

The exterior walls are comprised of a red face brick, wide color range, laid in a common bond pattern with standard size lightly raked joints. Horizontal banding, West entry cornice, columns, coping, sills, miscellaneous trim and ornament are of Indiana limestone. Brick units are predominately in good condition with the noted exception of spot areas and the parapets, where spalling, cracked stone, deteriorated mortar, and instability is evident. Mortar is severely decomposed or missing in many areas. Indiana limestone features are predominately intact with noted exceptions of spalls and damaged coping.

### **INTENT:**

- March 2012: Mortar samples have been analyzed; refer to the USHG Custom Mortar Matching Report for details *[PENDING final report]*. New mortar will match the historic in composition, gradation, and appearance.
- Rebuild parapets as indicated on drawings, from the coping down to the horizontal stone belt course reusing all salvaged material possible. New material will consist of matching units.
- Spot cut and repoint mortar joints on all wall faces, estimated 40% of the surface area at this time.
- Stone base, columns, entry feature, horizontal banding, sills, coping, trim, etc. will be restored and all stone reused where possible. Custom matched stone restoration mortars will be utilized to repair spalled units. Spot replacement of stone will be necessary at coping that is spalled and fractured beyond repair.
- Replace severely corroded steel lintels with galvanized (alternate for stainless steel). Refurbish exposed surfaces on mildly corroded lintels.
- Moss, algae growth, tar, graffiti and other defects will be cleaned from masonry surfaces utilizing the gentlest means possible; on-site testing in small areas will validate product selection. Efflorescence will be neutralized. Any extraneous metal attachments to the building will be removed and patched.
- Modifications to the Connector to Albrecht Hall and the associated Greenhouse are pending design. It is expected that when the next phase of this project occurs, in order to occupy the buildings this Connector will need to be modified with an elevator to create accessibility to the buildings. The Greenhouse, currently in a state of severe deterioration in masonry, glazing, and wood frame, presents the least intrusive place to create an at-grade accessible entry point serving both buildings. Design drawings will be submitted for review (plans, exterior elevations, and sections) once solutions are designed and detailed for review.)

*Refer to the attached Images for further details on existing conditions.*





The Kubala Washatko Architects, Inc.

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tel: 262.377.6039 | fax: 262.377.2954 | www.tkwa.com

### **Item 3: Roofing and Drainage – Rincker Library**

*See Attached Roof Plan and Exterior Elevations – Sheets D1.4, D3.0 and D3.1*

The roofing is a flat roof obscured behind parapets and, as such, is not visible from the public right-of-way. Spay-on existing roofing is not original. Roofing extends up the entire height of the parapet and over the coping stone, trapping moisture; this has caused severe parapet deterioration. Roofing should terminate below the coping. A minimum of three brick courses on the roof side should be exposed to allow moisture to transmit through the parapet. Skyward facing joints in the coping are open, allowing moisture to further penetrate the parapet. As a result, parapets lean inward (towards the roof) and coping stones are loose; bedding mortar is completely decomposed and missing in many areas. Areas of the roofing are pitted and wavy, creating areas of standing water. Four roof drains are visibly clogged. Where roofing is pitted, the damp insulation layer below could be observed.

#### **INTENT:**

- Execute a complete tear-off of the roofing and insulation down to the decking.
- Install tan or white TPO (thermoplastic polyolefin) Single Ply Roofing System (TPO mechanically attached membrane over mechanically attached roof board, lap heat welded, Polyisocyanurate roof insulation, mechanically attached to existing structural roof deck), sloped for positive drainage to internal leader drains. Overflow drains to be added as needed.
- Install appropriate galvanized flashing and counter flashing bent and set with a reglet into parapet wall below coping.

*Refer to the attached Images for further details on existing conditions.*

### **Item 4: Windows and Doors – Albrecht Hall**

*See Attached Exterior Elevations – Sheets D3.0 and D3.1*

The majority of windows are modern (1955) stainless steel replacement units in good condition. A number of original wood windows can be found at the East and West ends of the building, as well as the transoms over the entry doors. These windows are peeling and missing glazing. Existing entry doors are original.

#### **INTENT:**

- **EXISTING HISTORIC WOOD WINDOWS/ENTRY DOOR TRANSOMS:** Refurbish existing windows. Retain glass in good condition and replace broken glass, add new hardware inserts at weights and pulleys, add zinc weather stripping, new putty and glazing sealants, new hardware. Scrape peeling paint, prime and paint. Replace protective glazing at south second floor sanctuary leaded glass windows. Restore leaded glass.
- **NON-ORIGINAL STAINLESS STEEL/GLASS BLOCK WINDOWS:** Refurbish windows in place. Refurbish hardware, replace broken glass, add weather stripping, add storms/screens as warranted.
- **TRANSOM INFILL:** Window transoms that have been infilled with masonry to remain as masonry.
- **DOORS:** Refinish existing wood and glass components. Refurbish hardware and add ADA and code compliant panic bars. New hardware for locksets and handles. Refurbish existing hinges. Add weather stripping.

*Refer to the attached Images for further details on existing conditions.*





The Kubala Washatko Architects, Inc.

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tel: 262.377.6039 | fax: 262.377.2954 | www.tkwa.com

## **Item 5: Windows and Doors – Rincker Library**

*See Attached Exterior Elevations – Sheets D3.0 and D3.1*

Windows and doors are original to the building. Paint is peeling and areas of glazing are missing.

### **INTENT:**

- **WOOD WINDOWS:** Refurbish existing windows. Retain glass in good condition and replace broken glass, add new hardware inserts at weights and pulleys, add zinc weather stripping, new putty and glazing sealants, new hardware. Scrape peeling paint, prime and paint.
- **DOORS:** Refinish existing wood and glass components. Refurbish hardware and add ADA and code compliant panic bars. New hardware for locksets and handles. Refurbish existing hinges. Add weather stripping.

*Refer to the attached Images for further details on existing conditions.*





FIGURE 1: South facade and main entry. Chapel windows above main entry are wood, all others on this elevation are stainless steel frame.



FIGURE 2: South facade. Windows other than the chapel windows above main entry are stainless steel frame and historic arch top at upper level has been filled in with a smooth brick.

## South Elevation - Albrecht Hall

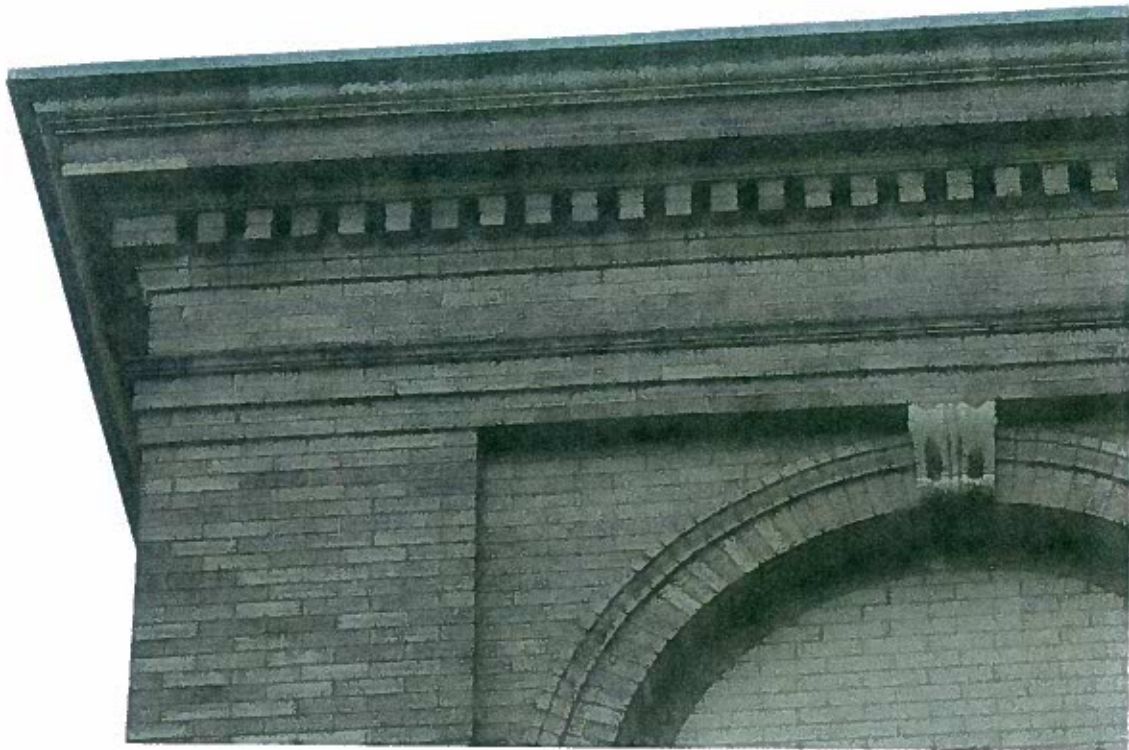


FIGURE 3: Brick details and dentils at top of wall, with limestone detail at top of window arch.



FIGURE 4: Brick infill at upper arch top windows, undated.



FIGURE 5: Indiana limestone at south entry exhibits moisture damage with spalling of details.



FIGURE 6: Wall area east of entry showing corrosion of lintels and spalling of concrete at steps.

## South Elevation - Albrecht Hall



FIGURE 7: Spalling of limestone at main entry and water damage to main entry door. Efflorescence from use of deicing salts and prolonged exposure to moisture.



FIGURE 8: Pockets of deteriorated mortar in butter joints and drifting of brick under sill.



FIGURE 9: Water damage and peeling at wood window frame of chapel above main entry. Wood rot is evident.



FIGURE 10: Water damage and peeling at wood window frame of chapel above main entry.

## South Elevation - Rincker Library

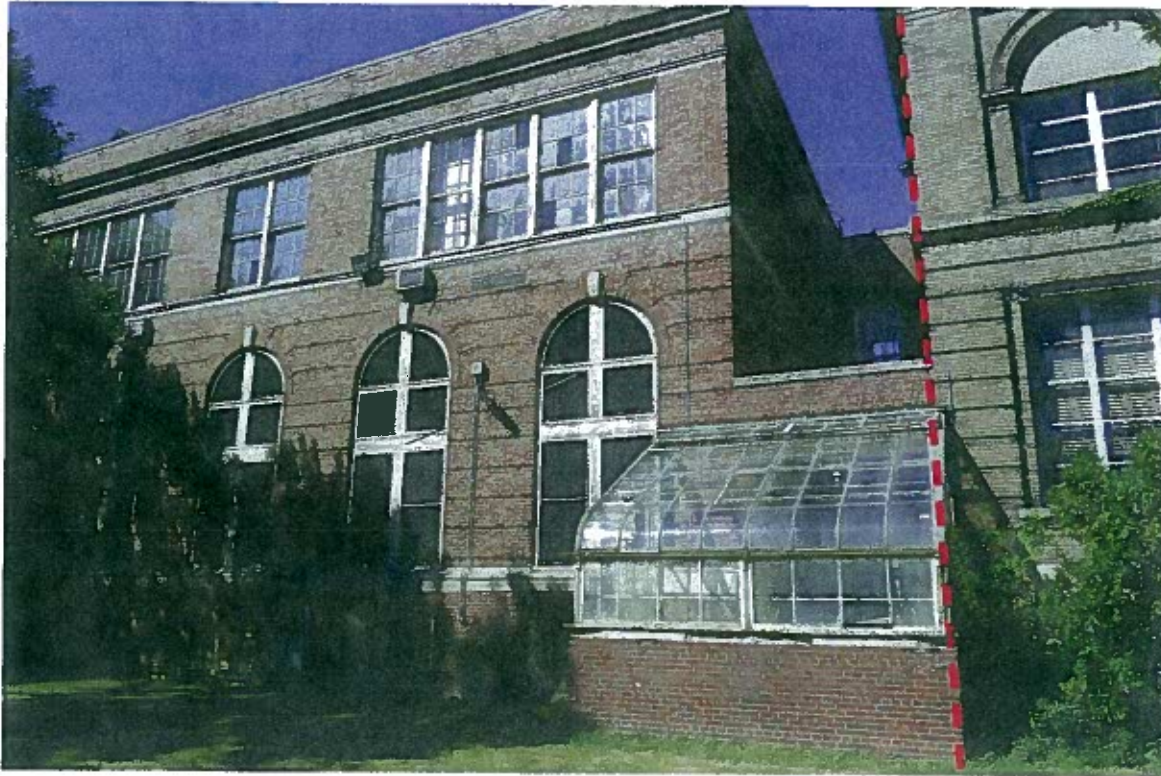


FIGURE 11: View looking southwest. Albrecht Hall on right and Rincker Library on left. Greenhouse addition is in very poor condition. As all building faces are “primary” facades, this location is the only one that does not have significant visual impact on the historic facades and a new accessible entry would fit.

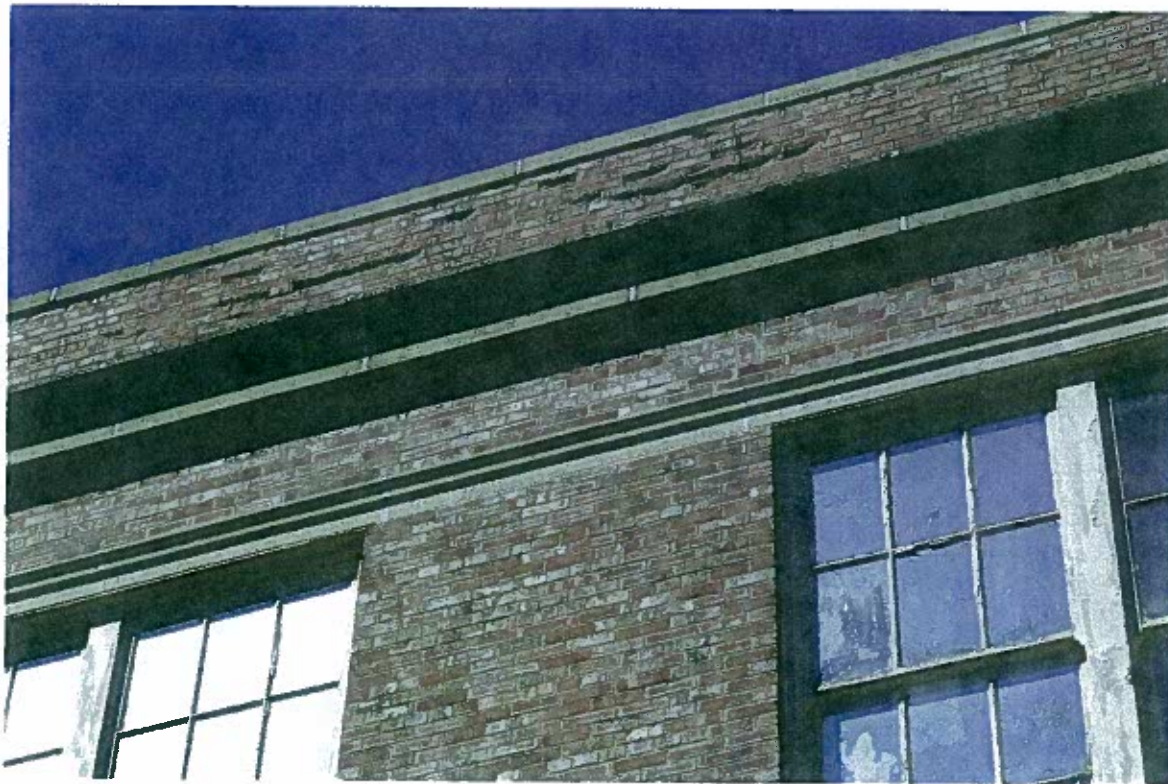


FIGURE 12: Parapet of Rincker Library is deteriorated with large areas of missing and decomposed/loose mortar, spalling shifted brick. The only remedy for these conditions is to rebuild the parapet.

## South Elevation - Rincker Library



**FIGURE 13:** Severe deterioration to all aspects of the greenhouse addition. This greenhouse is proposed to be removed to allow for an accessible entry that would serve both buildings. The limestone sill is spalling, brick is loose (cracks are evident), and mortar is decomposed. There is no modern use for this educational greenhouse within the proposed reuse plans.



**FIGURE 14:** Patching evident at meandering crack from the corroded lintel uplift near a south elevation basement window.

## South Elevation - Rincker Library



FIGURE 15: Cracking, spalling, and patches at existing Indiana limestone water table.



FIGURE 16: Wood windows are severely peeling. Air conditioner unit patched through wall will remain until study for future HVAC system is complete.



FIGURE 17: Mortar is completely decomposed in many areas of the Indiana limestone base at the south-east corner. Rising damp from the water saturated foundation has caused mortar deterioration.



FIGURE 18: East facade showing brick details. Ironspot brick with butter joint. Projecting details courses, Flemish cross design at east and west elevations.

## East Elevation - Albrecht Hall



FIGURE 19: View looking north along east side showing corrosion of protective window grates.



FIGURE 20: View looking up at east elevation interior corner efflorescence from prolonged exposure to moisture.



FIGURE 21: Original wood window shows water damage and peeling paint. Proposed to be stripped, primed, and painted. New glazing sealants will be installed, reputtied. Hardware is missing and will be recreated.



FIGURE 22: Top of jack arch at basement windows. The deterioration of mortar and spalling of brick is typical above all the basement windows on the east and north sides. Small pitting to the corners and top edges of the brick is from prolonged exposure to moisture, inappropriate pointing mortars.

## East Elevation - Albrecht Hall



FIGURE 23: View of northeast corner.



FIGURE 24: Deterioration of mortar and efflorescence below Indiana limestone sill.

## North Elevation - Albrecht Hall



FIGURE 25: View looking southeast. Connection to Rincker Library appears at right. Discoloration at the building base due to rising damp from severe water infiltration.



FIGURE 26: Severe deterioration of brick and mortar at northeast corner from rising damp caused by the moisture saturated and flooded basement/foundation conditions. Algae growth is also typical in this area.

## North Elevation - Albrecht Hall



**FIGURE 27:** Deterioration of mortar and efflorescence below sill at northeast corner. Building was left for many years with a leaking roof that allowed moisture to saturate the walls.



**FIGURE 28:** Corrosion of existing continuous steel lintel.



FIGURE 29: Missing section of Indiana limestone sill at a stress crack.



FIGURE 30: Deterioration of mortar at jack arch over basement window. Brick is slipping out of place.

## North Elevation - Albrecht Hall



FIGURE 31: Basement windows have been bricked in. Corrosion of continuous steel lintel. Exterior door and transom to be refurbished, reglazed, paint stripped, wood primed and painted.



FIGURE 32: Deterioration of mortar around basement exterior entry. Water penetrates boards and collects at bottom of steps leading down to this door, then enters the building below door.

## North Elevation - Albrecht Hall

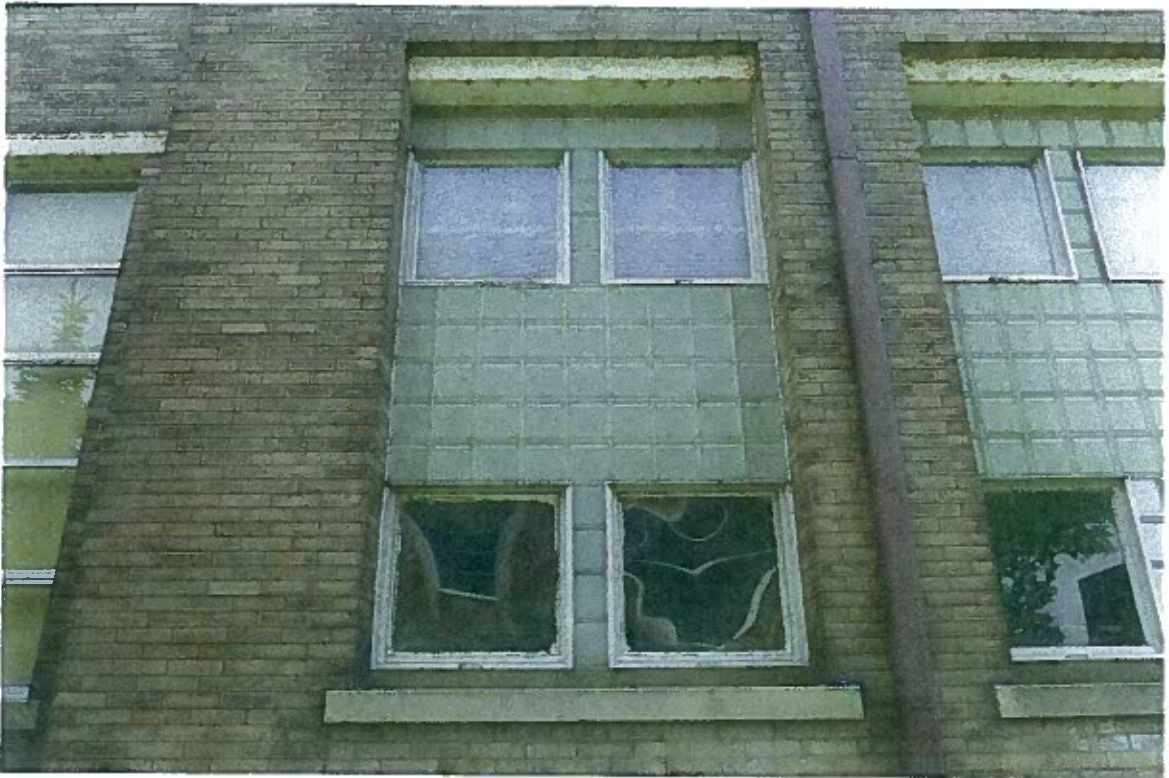


FIGURE 33: Replacement windows at north middle section include glass block and very sloppy glazing. Corrosion of steel lintel.



FIGURE 34: Acid etching of brick and mortar from severe moisture infiltration at window west of basement entry. Brick in this area will need to be replaced.

## West Elevation - Albrecht Hall & East Elevation - Rincker Library

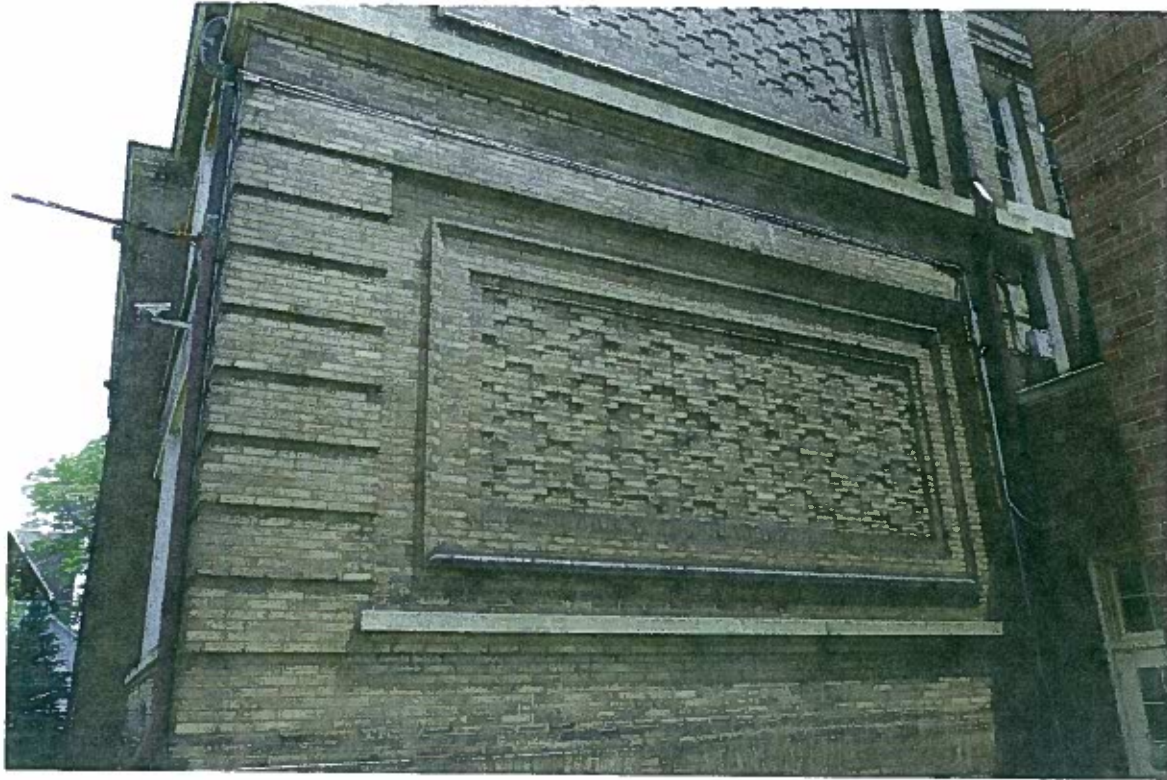


FIGURE 35: Brick details at west elevation connection with Library building.



FIGURE 36: Rincker Library east elevation and connector to Albrecht Hall. Access ladder is loose at top due to masonry deterioration at parapet.

## North Elevation - Rincker Library



FIGURE 37: North elevation of Library with Albrecht Hall at left.

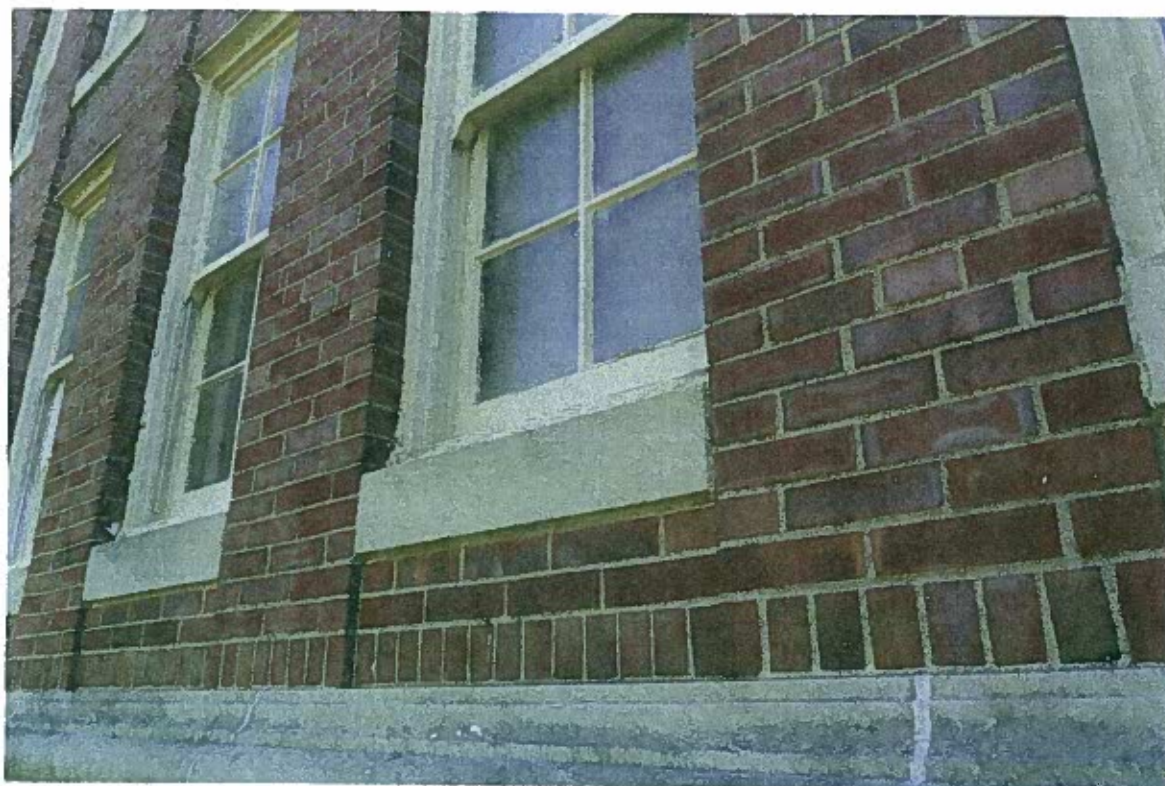


FIGURE 38: Patching at northeast corner base. Caulk at horizontal joint under water table band to be removed. Lintels at basement windows to be replaced due to corrosion and uplift causing brick damage.

## North Elevation - Rincker Library



**FIGURE 39:** Corrosion at continuous steel lintel. Corrosion at ventilation grille and metal sleeve for missing air conditioner. Long continuous lintels can be refurbished in place.



**FIGURE 40:** Peeling paint at original wood windows. Windows to be stripped, primed, and painted.

## West Elevation - Rincker Library



FIGURE 41: View from roof of Gymnasium/Rec Center. Wood door to be refurbished. Spalling at entry steps and crack at base of right column. Moisture infiltration through the parapet has caused spalling of the limestone details at the pediment and balustrade as well as mortar decomposition.



FIGURE 42: Indiana limestone canopy and inscription at main entry to Library. Indiana limestone to be cleaned.

## West Elevation - Rincker Library

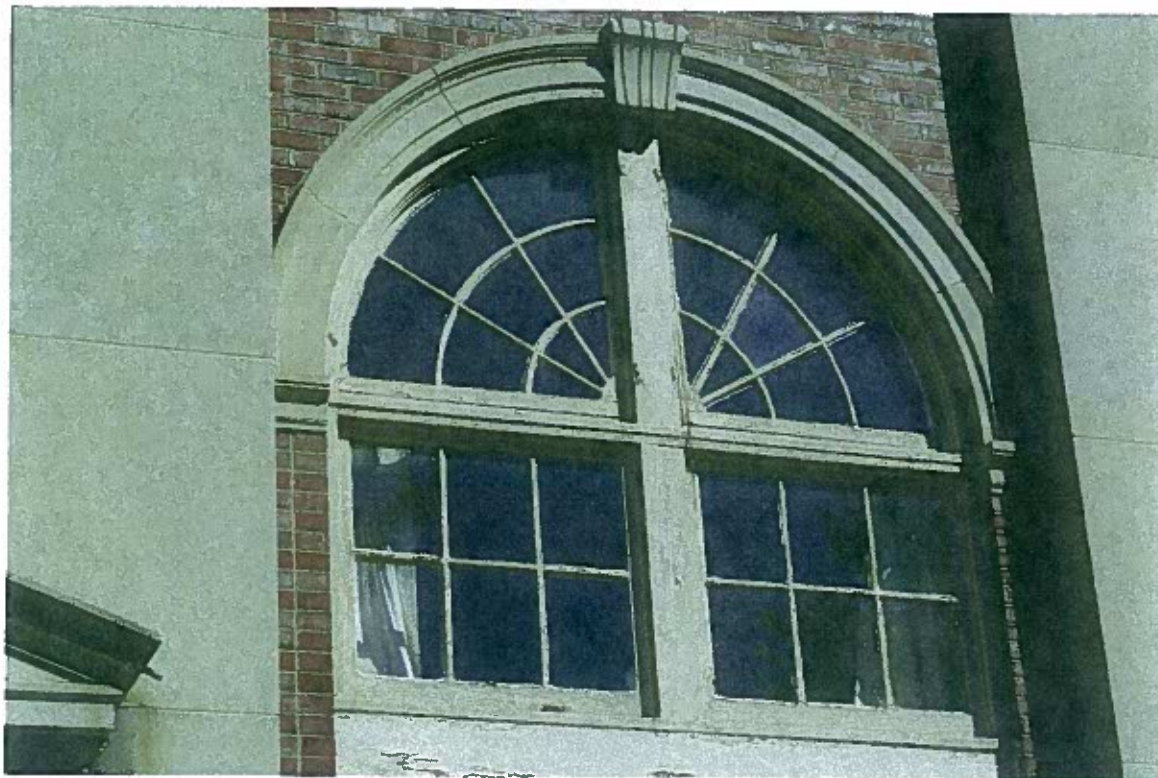


FIGURE 43: Water damage and peeling paint at original wood windows.



FIGURE 44: Severe spalling at Indiana limestone parapet coping and damage to brick below.

## Roof and Parapet - Albrecht Hall



FIGURE 45: Flat roof looking due West, ventilation chimney at background. Current rubber membrane and asphalt shingle roofing is in good condition.



FIGURE 46: Corroded frame of skylight to attic area.

## Roof and Parapet - Albrecht Hall



FIGURE 47: Shingle roof is in good condition. Copper flashing and counter flashing is not properly installed with a reglet and does not reach above the snowline. Tar from previous step flashing remains on the brick.

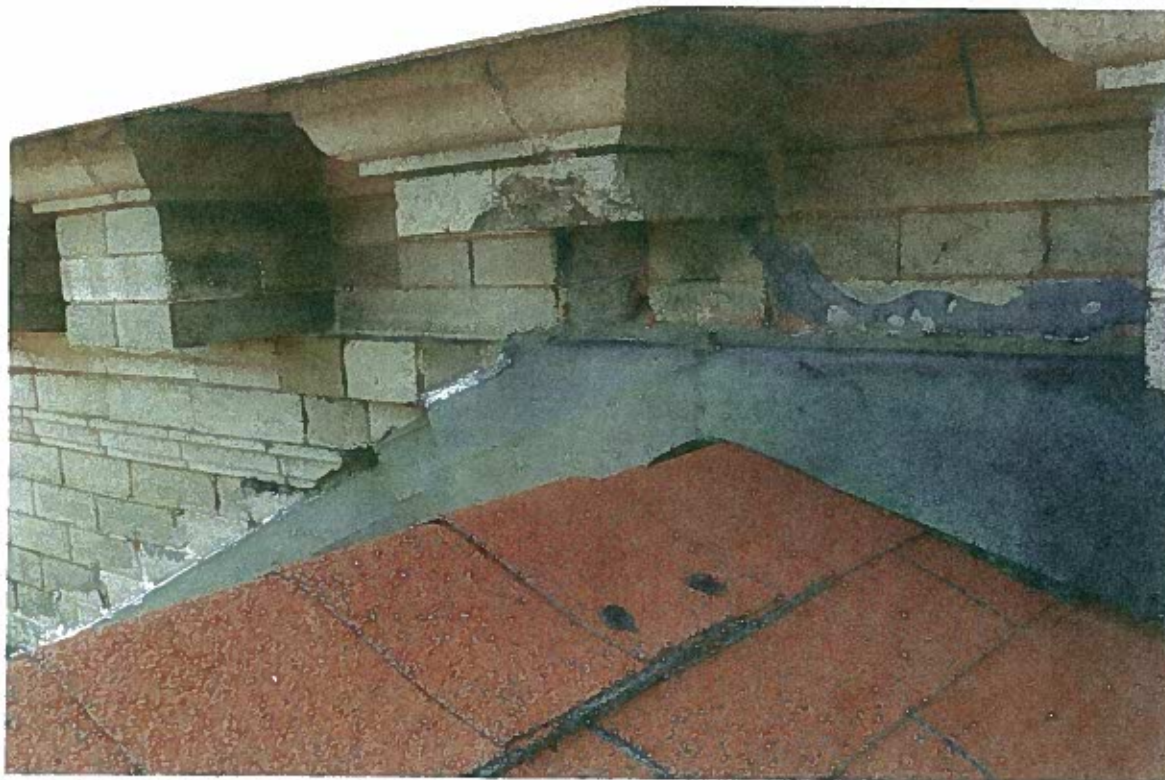
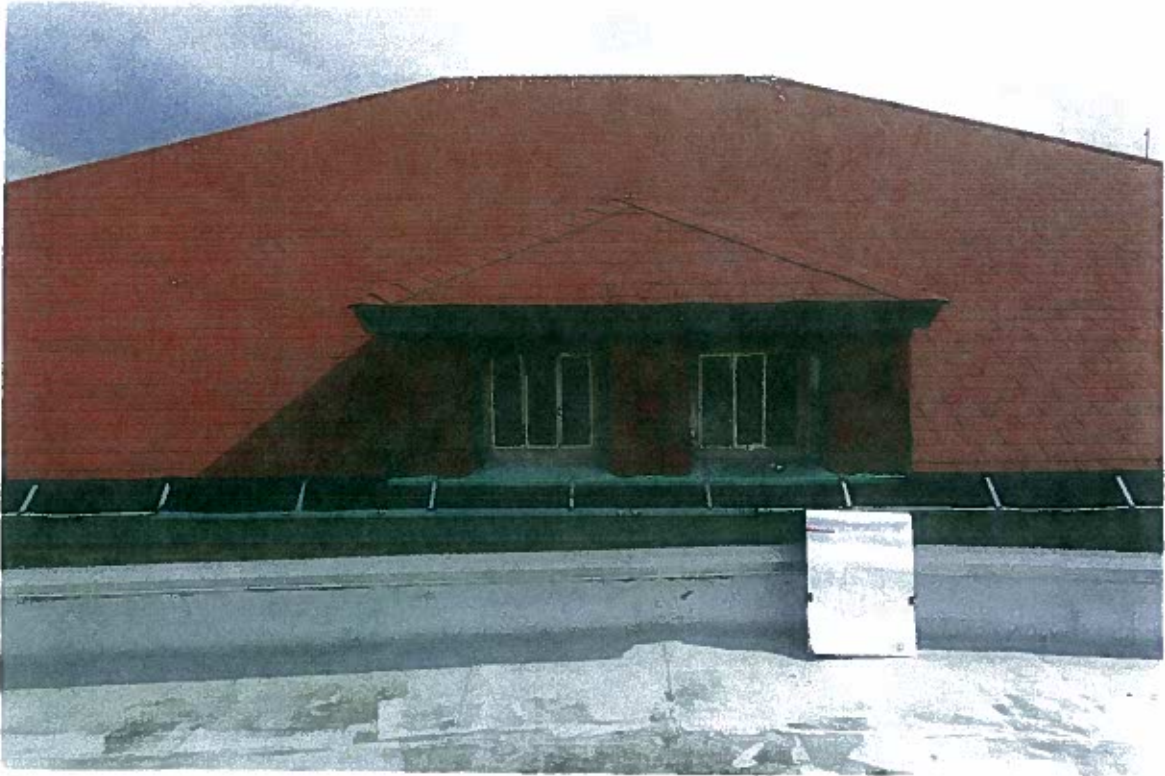


FIGURE 48: Failure at corbelled brick. Cracks evident in the limestone cornice bracket. Inappropriate flashing detail.

## Roof and Parapet - Albrecht Hall



**FIGURE 49:** Windows at the center dormer are missing glass, allowing rain, birds and other animals to enter the building.



**FIGURE 50:** Corner shingle capping has come off, allowing water infiltration. Poor glazing and missing glass at dormer window.

## Roof and Parapet - Albrecht Hall



FIGURE 51: Chimney/roof top ventilators are severely corroded. Require patch replacing and removal of corrosion from entire element, then prime and paint.

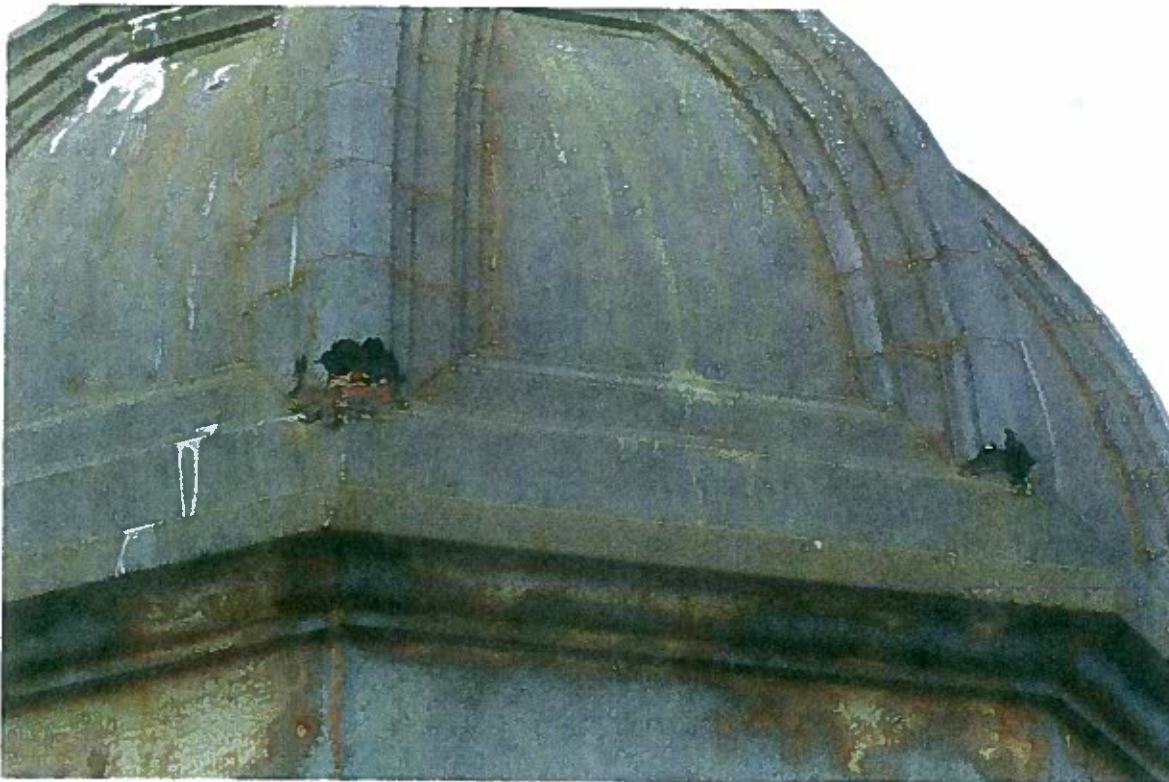


FIGURE 52: Detail of corrosion at chimney/roof top ventilator cap.

## Roof and Parapet - Rincker Library

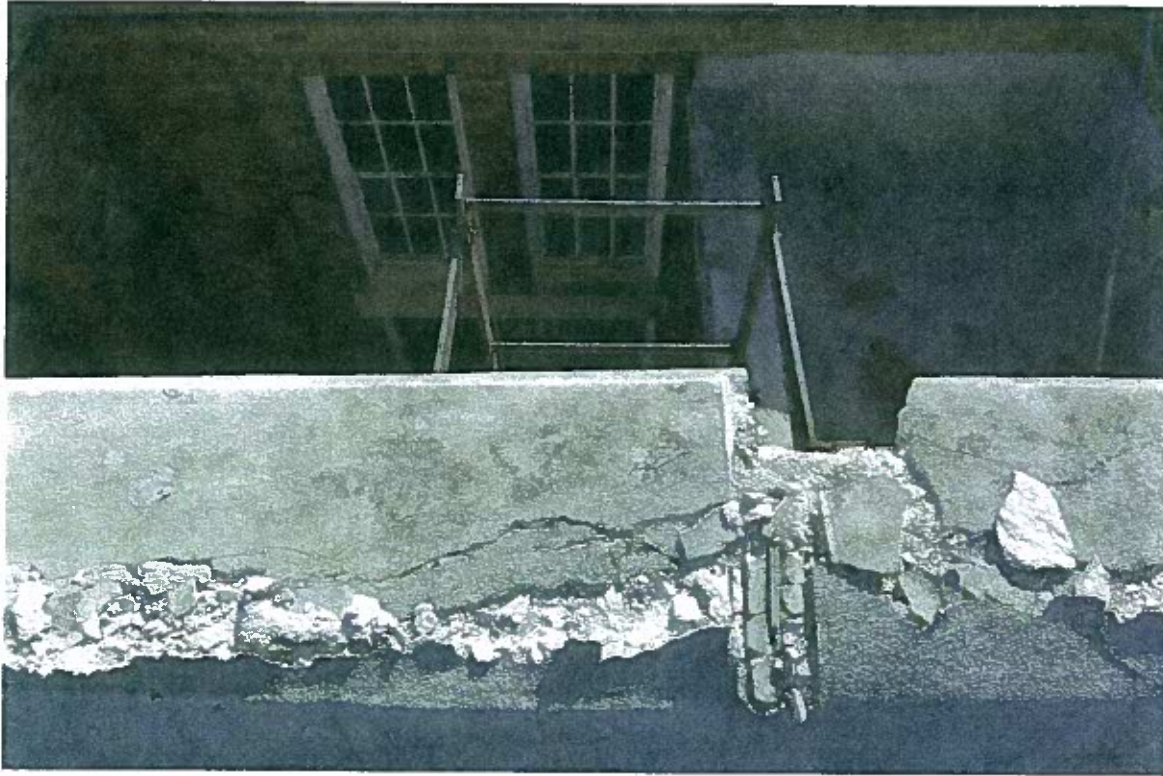


**FIGURE 53:** Roof looking West. Spray-on roof coating has an undulating surface and areas of ponding are visible. Beneath the spray-on roofing is spray-on foam insulation that is actively damp in all areas tested.

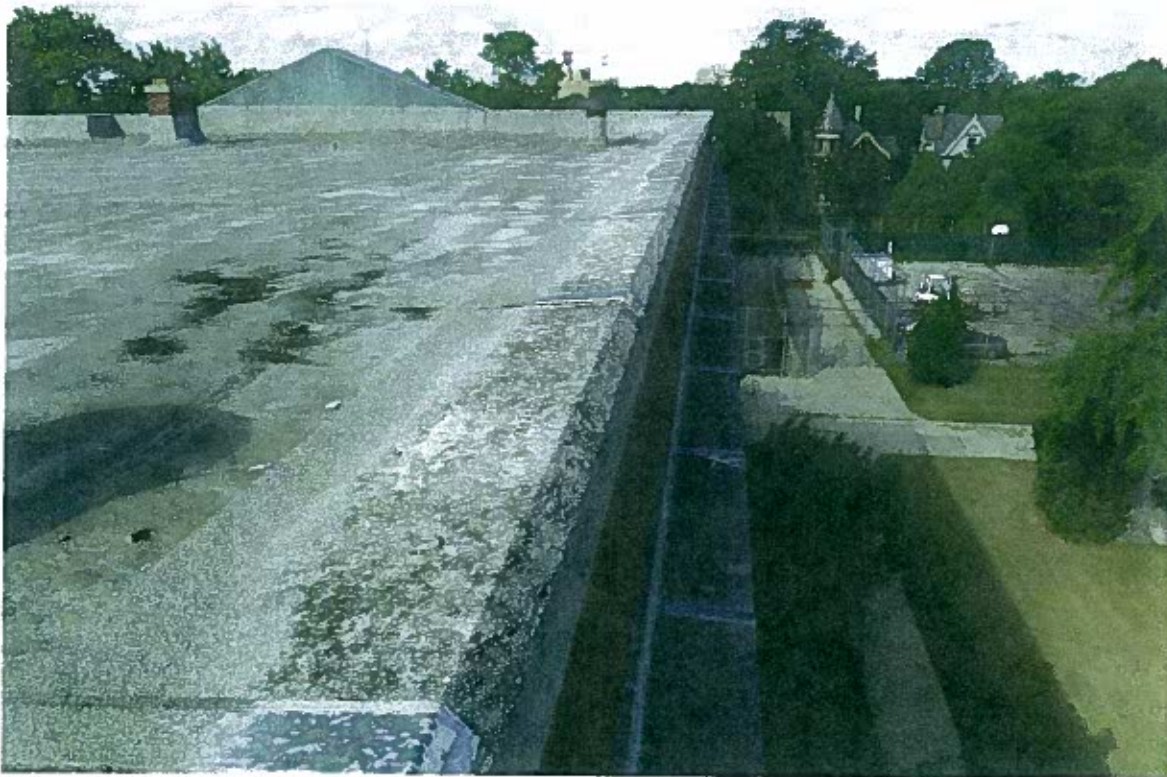


**FIGURE 54:** Roof looking East, with Albrecht Hall roof and chimney/roof top ventilators visible beyond.

## Roof and Parapet - Rincker Library



**FIGURE 55:** Spalling and cracking of Indiana limestone parapet from moisture trapped by the roofing membrane running up and over the coping.



**FIGURE 56:** Parapet at north side. Spar-on roofing and insulation run up the entire rood side of the parapet and half way up the coping. This has trapped moisture within the parapets, causing advanced mortar and stone decomposition.



FIGURE 57: Holes in roofing expose insulation below. Insulation is actively very damp with moisture meter reading upwards of 35% WME (wood moisture equivalent).



FIGURE 58: Deterioration of mortar at brick chimney and efflorescence from water infiltration. The spray-in roofing was applied up the chimney face.

## Roof and Parapet - Rincker Library



**FIGURE 59:** Roof ventilator and corner drain. All drains show signs of clogging. The roofing extends up to top of parapet and feathers out on top of coping. Historic roof was flashed just below coping stone and roofing applied over the flashing.



**FIGURE 60:** Parapet is mostly straight, but will require rebuilding due to water damage and failure of brick below. This view highlights feathering out of roofing material on top of the coping.



## Custom Mortar Matching Report

---

**USHG Project:** #12-006

**Analysis Date:** 2/23/2012 thru 2/28/2012

**Client:** Donna Weiss, Kubala Washatko Architects  
W61 N617 Mequon Ave, Cedarburg, WI 53217

**Phone:** 262-377-6039

**Client Requirements:** Match Mortar / Package B

**Mortar Dated:** 1901

---

### INTRODUCTION

The findings and recommendations presented in this report are premised on the results of tests performed on three mortar samples delivered to our laboratory on February 21, 2012.

The scope of testing was limited to the determination of the physical mix proportions of the major ingredients used in the mortar samples. The testing included visual examination, both with and without magnification, as well as analysis of the aggregate color, particle shape and grain size distribution.

The sample's physical characteristics, original date of construction, and guidelines from the U.S. Department of the Interior National Park Service were used to determine the proposed mortar component recommendations as well as the aggregate ratios for the replacement mix.

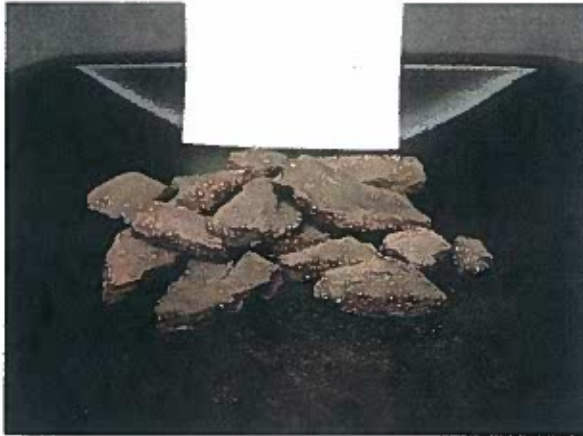
U.S. Heritage Group interpreted and adjusted the proposed mortar formulation based on the information provided to us regarding: current site conditions; present conditions; type of masonry; the function of the replacement mortar; and the degree of weather exposure. Assuming the samples provided are representative of the original mortar, the analysis and mortar-matching diagnosis detailed in this report will give a reliable indication of the original ingredients and allow U.S. Heritage Group to recommend historically correct replacement mortars for the Olney Friends School exterior masonry restoration project.

### SAMPLES

Three individually packaged mortar samples were received for analysis. Each bag contained mortar pieces extracted from different locations on the building.



The samples were identified in our laboratory as:



USHG 12-006A  
Exterior Iron Spot Face Brick mortar,  
Butterjoint



USHG 12-006B Interior Limestone Foundation



USHG 12-006C Exterior Limestone Foundation

## PRELIMINARY TESTING

Following preliminary cleaning U.S. Heritage Group technicians visually examined received mortar pieces. Both samples from limestone foundation were similar in texture and color. Sample from face brick appeared to be made with finer aggregate and addition of red pigment. Next we broke each mortar piece in half to see if lime inclusions are formulated within mortar mass and to check possible contamination from previous repair. Cross sections of each sample were consistent in color and texture showing no presence of different material. Different size lime inclusions were discovered in all three mortar samples.

Next we compared each sample against other mortars of a similar age and appearance by measuring their relative compression resistance. Direct pressure testing revealed that the compression resistance of all three samples is around low to medium strength. This suggests they may contain hydraulic component.



## AGGREGATE ANALYSIS

Technicians next crushed each sample and chemically removed the binder from the aggregate using a dilute acid solution. After drying the aggregate, it was viewed under 40X magnification to determine the characteristics of the particles. A sieve separation process established the distribution of aggregate particles by a percent of total weight. We prepared gradation charts for each sample to graphically display the color, shape and size of the aggregate particles. The aggregate sieve sizes requisite in ASTM C144 meet ASTM E11 specification requirements. The sand weight retained on each testing sieve was as follows:

Samples:	12-006A	12-006B	12-006C
Testing Sieve Size	% of sand retained		
4.75mm, No. 4	0.0	0.0	0
2.36mm, No. 8	0.0	1.3	0
1.18mm, No. 16	2.3	2.7	1.8
600micro, No. 30	3.5	9.4	5.4
300micro, No. 50	11.6	31.3	26.3
150micro, No. 100	54.7	41.8	50.4
75micro, No. 200	27.9	13.5	16.1
Total sand weight	100%	100%	100%

Sand grain distribution charts illustrating the sands isolated from each sample are attached.

Based on the particle color and shape similarities it appears that the sand extracted from all three mortar samples was originally obtained from the same source. The material is classified as fine to medium sized aggregate. The aggregate appears to be round and sub-round in shape. Under magnification, the majority of the aggregate is transparent buff with gray particles scattered throughout the material. Binder in brick mortar sample appears to be pigmented into red color and has small in size white lime inclusions. The binder in both mortar samples from limestone foundation has light buff/gray color with white medium size lime inclusions.

## BINDER TO AGGREGATE RATIO

Amount of binder in each mortar sample was established using wet chemical process.

All samples indicated high binder content in a range above 50% of the total weight. This mix design would be considered a binder-rich formulation. The results of this calculation can be affected by the presence of calcium carbonate in the aggregate which would have been dissolved out during the chemical wet process. This factor was considered in the evaluation of the proposed replacement formulation.

Sample	12-006A	12-006B	12-006C
Binder	65%	53%	53%
Aggregate	35%	47%	47%



## SUMMARY OF TEST RESULTS

Direct pressure testing indicates low to medium compressive strength for all mortar samples. The material reaction noted during the wet chemistry process suggests presence of a hydraulic binder only in two samples representing "limestone foundation mortar". Brick mortar sample did not indicate presence of cement in their mix composition.

These results, coupled with the samples' appearance, suggest that mortar used in brick wall masonry was originally mixed using a non-hydraulic slaked lime putty, and sand with no cement.

Mortar used for limestone foundation masonry appears to similar to Type O mortar formulation made with portland cement, slaked lime putty and sand. Mortars mixed with lime putty typically leave traces of lime inclusions that were identified in these samples and hydrated lime in bags was not available on the market until 1930.

## PROPOSED REPLACEMENT MIX

In light of these findings and the intended use of the replacement material, U.S. Heritage Group recommends the following mortar formulations:

### Brick wall Masonry: (1:2.5)

1 part lime putty and 2.5 parts sand selected from the USHG sand library. Mineral-based color pigments were used to match the original color.

Note: Masonry work using this formulation must be completed 45 days prior to freeze thaw cycles occurring. Do not perform any masonry work unless air temperatures are between 40 degrees Fahrenheit (10 degrees Celsius) and 95 degrees Fahrenheit (32 degrees Celsius) and will remain so for at least 5 weeks after the completion of the work.

### Limestone Foundation Masonry: (1:2:8)

1 part portland cement, 2 parts slaked lime putty and 8 parts sand selected from the USHG sand library. Mineral-based color pigments were used to match the original color.

This mix design would fall under the classification "Type O" in ASTM C270. The portland cement should be white in color and meet ASTM C150; the non-hydraulic slaked lime putty should meet ASTM C1489. Type O formulation made with lime putty is suggested for its flexibility, adequate compressive strength and compatibility to the substrate.

Note: Masonry work using this formulation must be completed 21 days prior to freeze thaw cycles occurring. Do not perform any masonry work unless air temperatures are between 40 degrees Fahrenheit (10 degrees Celsius) and 95 degrees Fahrenheit (32 degrees Celsius) and will remain so for at least 3 weeks after the completion of the work.

Above recommendations were made in accordance with Preservation Brief 2:

*"The new mortar must be as vapor permeable and as soft or softer (measured in compressive strength) than the historic mortar."*



## **JOBSITE MOCK-UP SAMPLE**

U.S. Heritage Group will prepare 10-pound site-ready replacement mortar samples to be field-tested through a jobsite mock-up. The mock-up sample should be installed by a qualified craftsman who understands the curing and application details of traditional lime mortars. Once the mock-up sample is installed, appropriate precautions should be taken to ensure that the mortar is protected from wind, sun, rain and frost to enable slow curing to take place.

Thank you for seeking our advice and entrusting these important details to U.S. Heritage Group. We are always available to discuss these findings with you in detail. Please contact me directly at 773-286-2100 x307 if you have any questions.

We look forward to providing you with a custom, ready-to-use, historically correct mortar for your project.

Respectfully,

U.S. Heritage Group, Inc.



Tom Glab  
Laboratory Manager

Note: This information is held in confidence and becomes a permanent record at the U.S. Heritage Group laboratories located at 3516 North Kostner Ave., Chicago, IL 60641. It can be referenced at any time in the future by the property owner named above or by an authorized mason contractor involved with the restoration work. When inquiring about this match please use the project number USHG #12-006

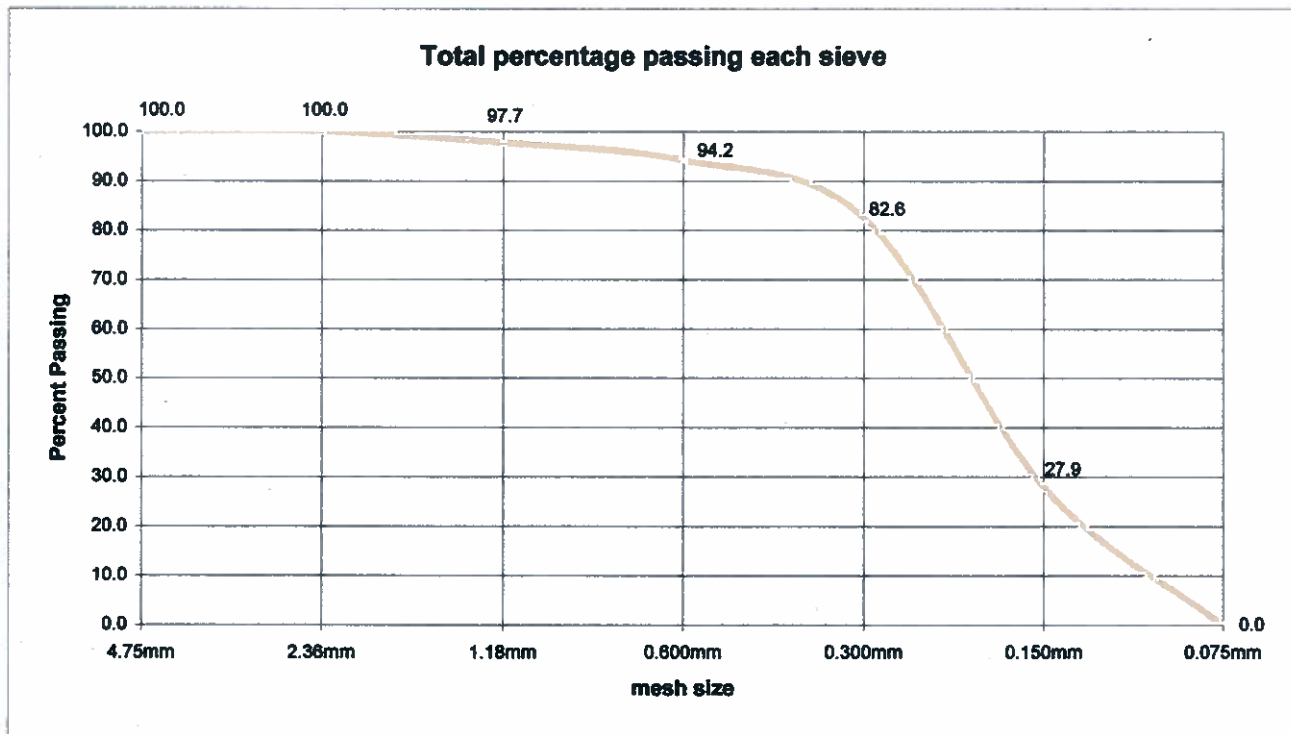


**USHG # 12-006A     Albrecht Hall - Exterior Iron Spot Face Brick, Butterjoint**

**SIEVE ANALYSIS REPORT**

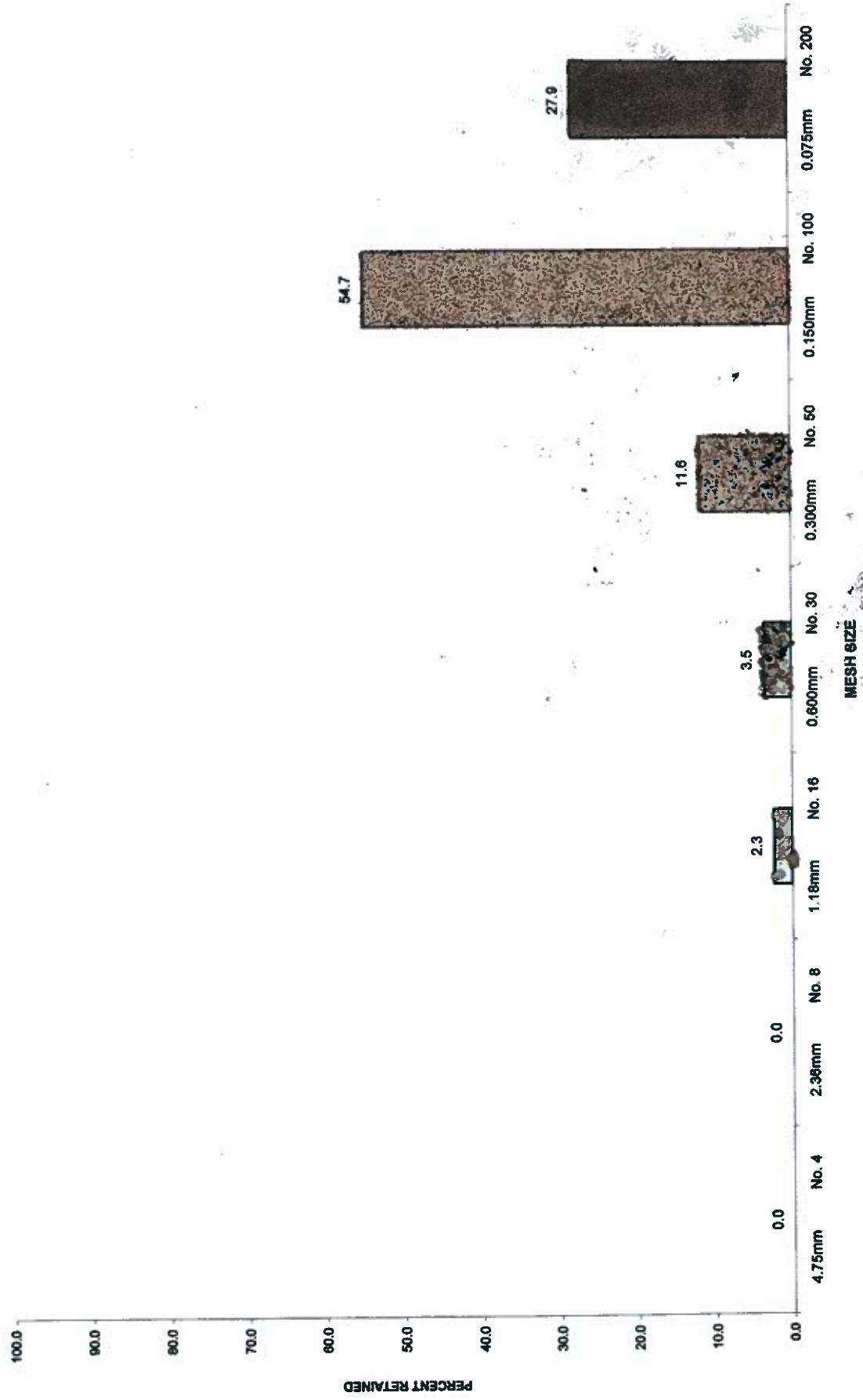
Sieve size	percent retained on each sieve [%]	Total percentage passing each sieve	Cumulative Percent Retained [%]
4.75mm	0.0	100.0	0.0
2.36mm	0.0	100.0	0.0
1.18mm	2.3	97.7	2.3
0.600mm	3.5	94.2	5.8
0.300mm	11.6	82.6	17.4
0.150mm	54.7	27.9	72.1
0.075mm	27.9	0.0	100.0

Fineness Modulus        **0.98**





**USHG # 12-006A     Albrecht Hall - Exterior Iron Spot Face Brick, Butterjoint**



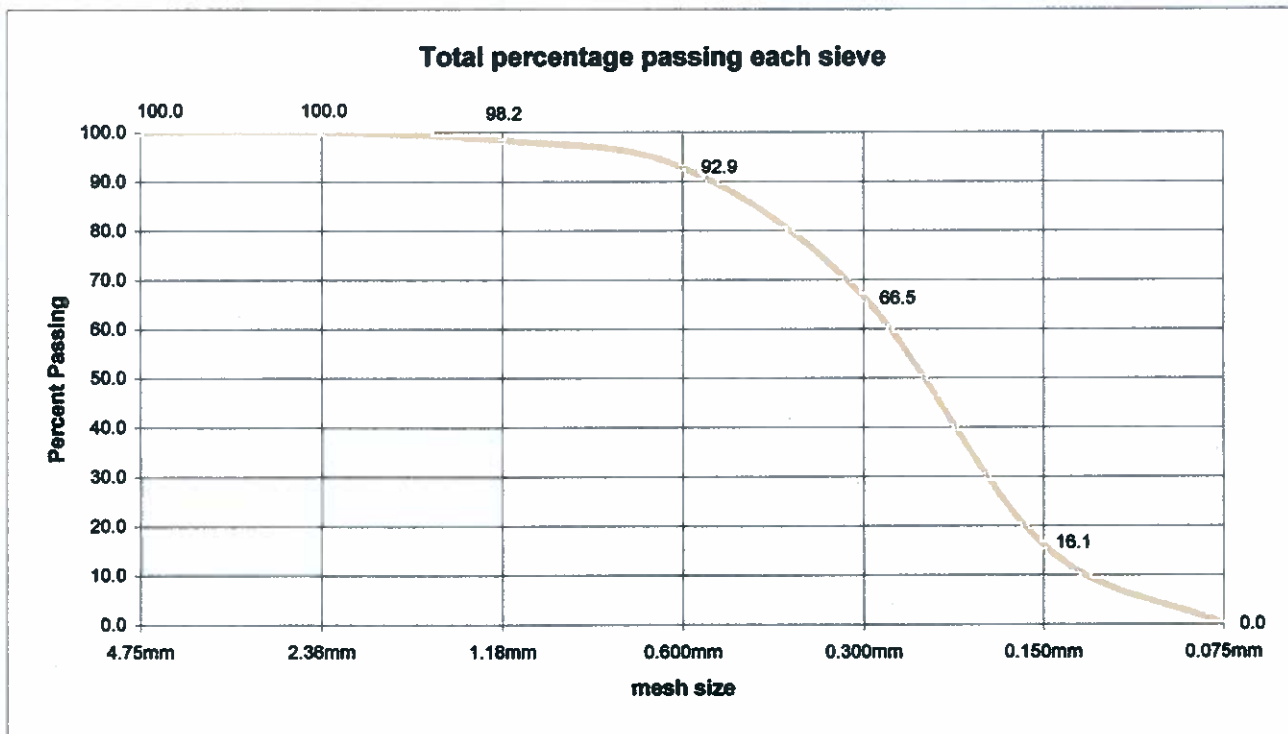


**USHG # 12-006C     Albrecht Hall - Exterior Limestone Foundation Mortar**

**SIEVE ANALYSIS REPORT**

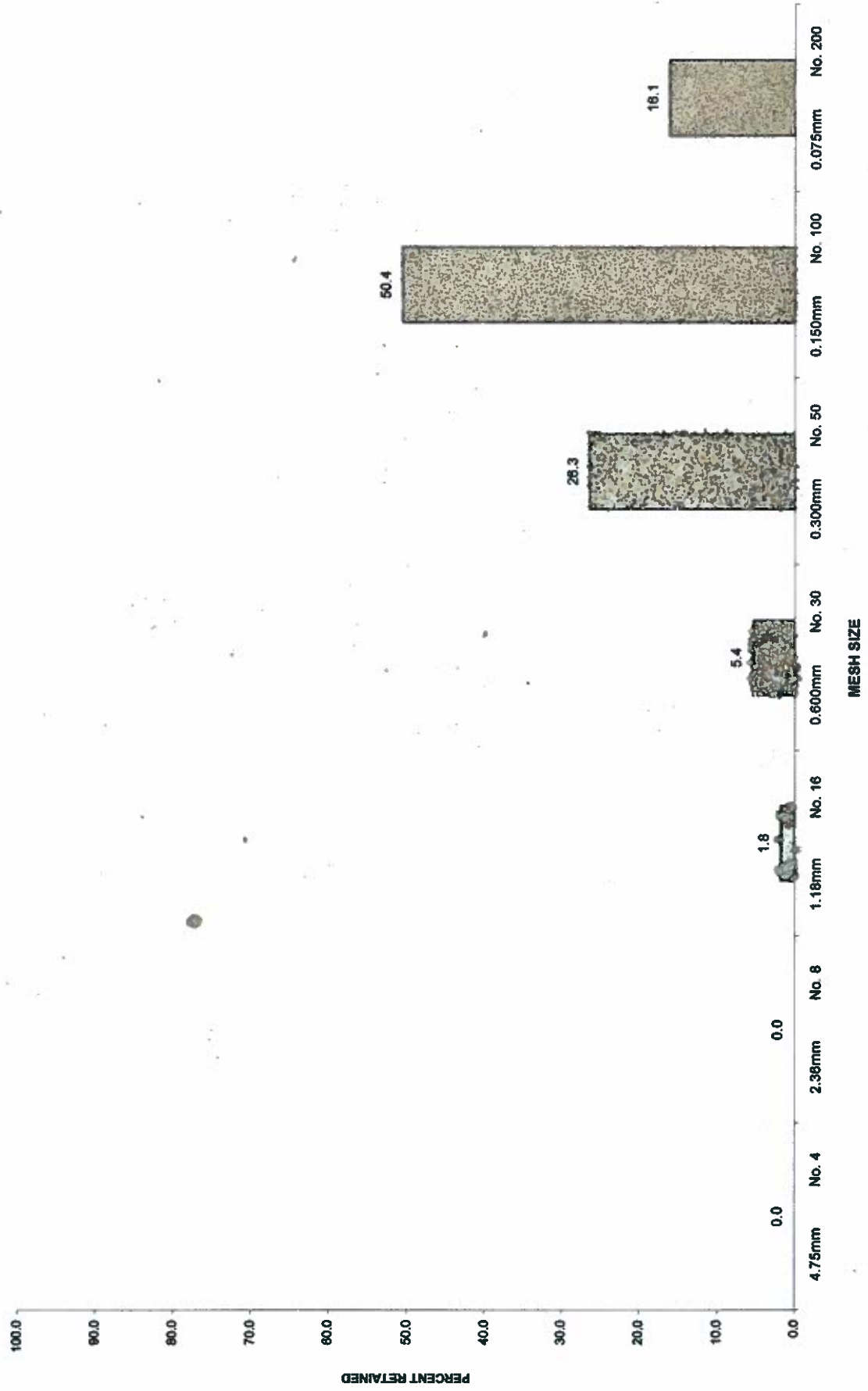
Sieve size	percent retained on each sieve [%]	Total percentage passing each sieve	Cumulative Percent Retained [%]
4.75mm	0.0	100.0	0.0
2.36mm	0.0	100.0	0.0
1.18mm	1.8	98.2	1.8
0.600mm	5.4	92.9	7.1
0.300mm	26.3	66.5	33.5
0.150mm	50.4	16.1	83.9
0.075mm	16.1	0.0	100.0

Fineness Modulus            **1.26**





# **USHG # 12-006C    Albrecht Hall - Exterior Limestone Foundation Mortar**



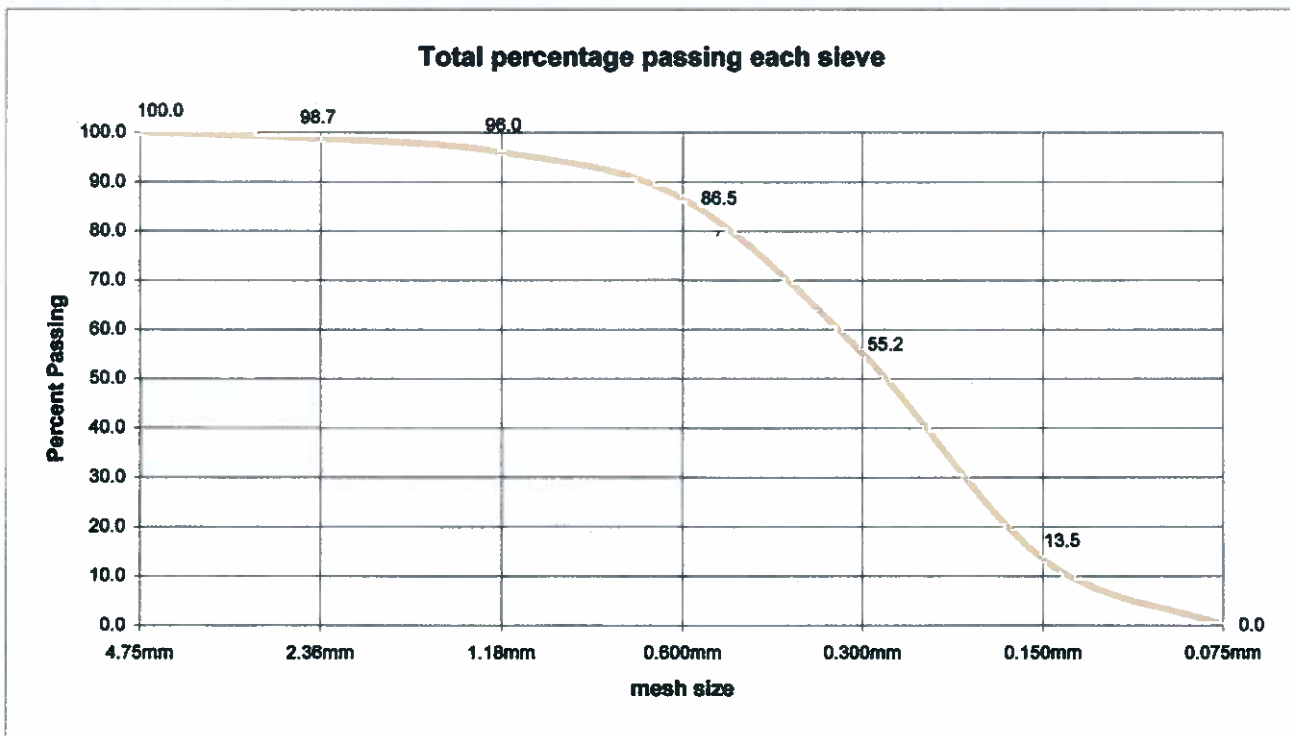


**USHG # 12-006B     Albrecht Hall - Interior Limestone Foundation Mortar**

**SIEVE ANALYSIS REPORT**

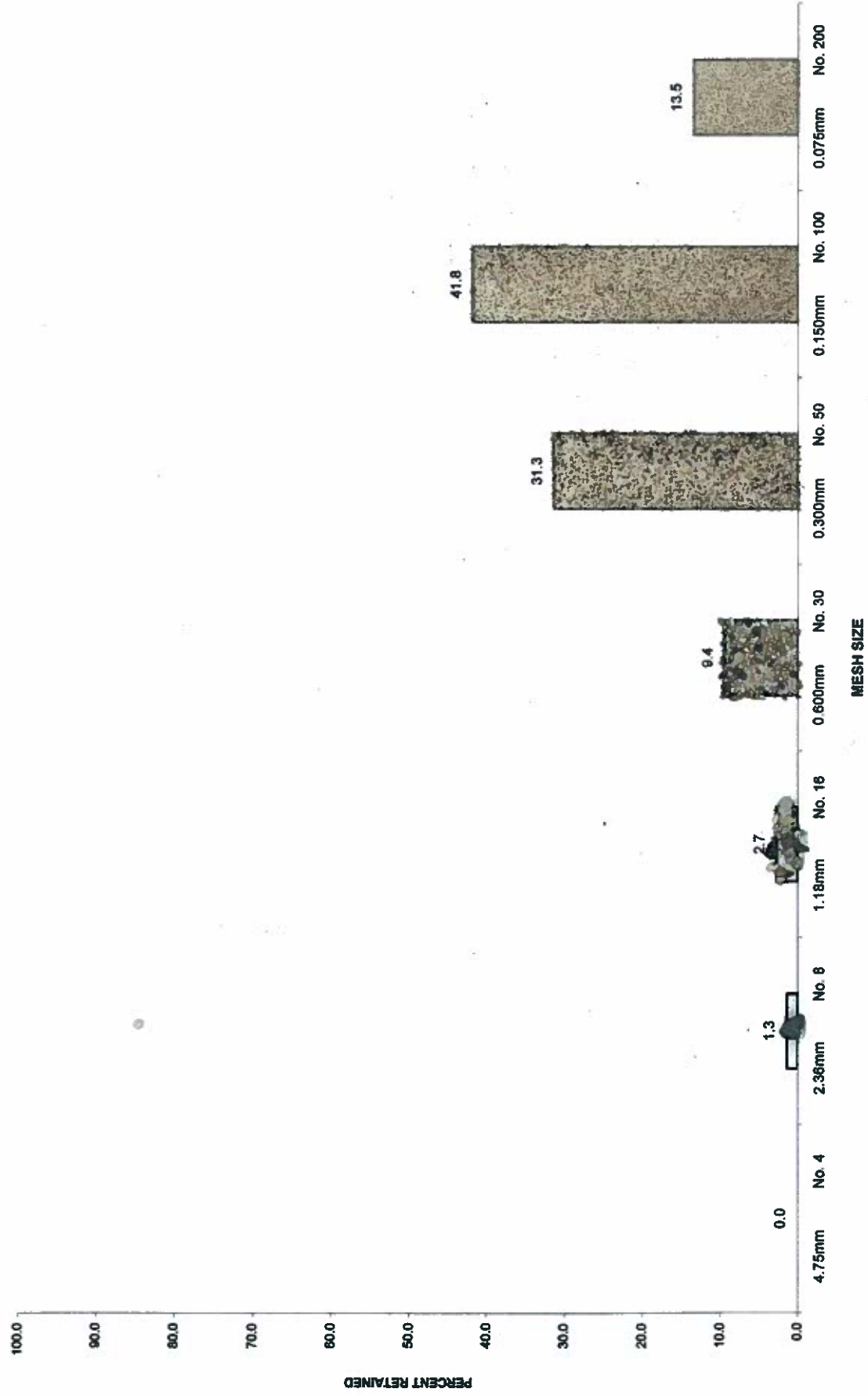
Sieve size	percent retained on each sieve [%]	Total percentage passing each sieve	Cumulative Percent Retained [%]
4.75mm	0.0	100.0	0.0
2.36mm	1.3	98.7	1.3
1.18mm	2.7	96.0	4.0
0.600mm	9.4	86.5	13.5
0.300mm	31.3	55.2	44.8
0.150mm	41.8	13.5	86.5
0.075mm	13.5	0.0	100.0

Fineness Modulus        **1.50**





# USHG # 12-006B    Albrecht Hall - Interior Limestone Foundation Mortar





SECTION 01 43 23

PRE-QUALIFICATIONS FOR MASONRY RESTORATION SERVICES

**PROJECT ADDRESS:**

**Albrecht Hall (historic)**  
**3136 West Kilbourn Avenue**  
**Milwaukee, WI**

**Introduction:**

Any contractor that wishes to be considered for this scope-of-work shall meet pre-qualifications. Bids by contractors who have not demonstrated meeting these specified pre-qualifications would be disregarded.

**Project Description:**

The major goals of the Albrecht Hall Masonry Restoration are:

- Return the appearance of the masonry to a "restored" condition without completely removing the patina of age or altering the brick/stone natural coloration.
- Repair damaged and deteriorated areas utilizing the techniques specified by the Project Architect and working with them to troubleshoot unforeseen conditions.
- Restore the masonry utilizing traditional masonry techniques including materials sympathetic; appropriate, and compatible to the original historic building components and materials. Modern treatments and repairs will be concealed such as the use of modern sealants, flashing, etc.

**The Building:**

Albrecht Hall, 1900, is listed on the National Register of Historic Places and is a designated building within a City of Milwaukee Landmark District. As such, the project will be utilizing Federal Historic Tax Credits making the appropriate execution of this work critical. The building is comprised of a tan iron spot face brick with Indiana limestone base, trim and accents.

Existing mortar is decomposed from high moisture levels, and large voids are present. Cut and repoint will be close to 100% due to mortar loss. Mortar joints are approximately 3/16".

**Services to be Performed by the Masonry Contractor:**

We are seeking qualified masonry restoration professionals. This would include preconstruction services (such as staging, scaffold erection, scheduling, pedestrian protection, building protection measures, etc.) transitioning into the Construction Phase of the project. This would include attending bi-weekly job site meetings with the Project Architect and Owner. *Note: All work shall be executed from scaffold.*

**Proposed Project Schedule:**

Please submit a Proposed Construction Schedule for the Masonry Restoration.

**Masonry Contractor Selection Criteria and Pre-Qualifications:**

Please respond to the following points. This will help in our understanding your experience, strengths, client satisfaction, and competitiveness. Sub-contractors included in your bid shall meet all pre-qualification requirements named herein with the exception of "materials," (see specs and drawings) and "mock-up."

1. **EXPERIENCE:** Provide a list of similar building types with restoration components, that your firm has completed within the last five years that are similar to this project. Include name of the building, address, and client contact with phone number, project architect's name with phone number. List your experience with Historic Structures in terms of restoration/renovation. In particular, provide detailed information on projects listed on the National Register of Historic

Albrecht Hall  
Masonry Prequalification  
01 43 23 - 1

1 Places, State Register of Historic Places, other buildings with local designations, Historic Tax  
2 Credit projects, etc.

3  
4 Provide a current under-construction project name and address that is being executed by your  
5 firm that the owners could tour with a representative from your firm if they so desire.  
6

7 **Mentoring:** It is acceptable for an approved masonry restoration contractor to act as a mentor  
8 to a masonry subcontractor that lacks the background described in these pre-qualifications. This  
9 would be for the purposes of allowing MBE firms to bid the work and increases the field for  
10 potential bidders. As the City of Milwaukee Landmarks and the National Park Service mandate  
11 the quality standards for this work, this bidding concession does not change the execution  
12 requirements for this project. Contractors and sub-contractors will still be required to meet the  
13 project specifications.  
14

- 15 2. **MATERIALS:** Mortar analysis has been executed, or is currently in process. A matching  
16 historically appropriate mortar will be the standard for all mortars for this scope of work.  
17 Demonstrate past project experience with traditional lime-based mortars. Demonstrate  
18 experience with varied mortar tooling capabilities beyond the standard raked or flush joint.  
19

20 *Note: All repointing work shall be performed by a craftsman that is familiar with historic*  
21 *lime mortar formulations, curing conditions, and performance characteristics. Work shall be*  
22 *performed by a firm having not less than five years successful experience in comparable*  
23 *masonry restoration projects and employing personnel skilled in the restoration process and*  
24 *operations indicated. Only skilled journeyman masons who are familiar and experienced with*  
25 *the materials and methods specified and are familiar with the design requirements shall be used*  
26 *for masonry restoration. One skilled journeyman mason, trained extensively in like-type*  
27 *projects, shall be present at all times during the mock-up and all subsequent masonry*  
28 *restoration and shall personally direct the work.*  
29

- 30 3. **MOCK-UP:** As part of the pre-qualification process, a mock-up shall be required on the actual  
31 Albrecht Hall masonry. Complete a 3' X 3' masonry restoration mock-up to demonstrate your  
32 interpretation of the Construction Documents and Specifications (mortar, tooling profile,  
33 quality, cleaning etc...). Two mock-ups are required. **Mock-Up One:** Joint preparation /  
34 mortar removal. **Mock-Up Two:** Mortar installation and tooling. Mock-ups will be executed at  
35 locations to be specified by the Owner, but must be in close proximity to a cleaned portion of  
36 the existing masonry. The mock-up shall act as a representation of the quality of the  
37 contractor's finished work. The approved mock-up shall establish the standard of quality for the  
38 project and will be a factor in final contractor selection.  
39

40 Upon mock-up completion, appropriate precautions shall be taken to protect the mortar from  
41 exposure to sun, wind, rain, and frost to enable slow curing (i.e. carbonation) to take place.  
42

43 *The "approved" sample can only be used for color matching after curing in the wall for a*  
44 *minimum of seven (but preferably fourteen) days.*  
45

46 Please contact the General Contractor, or in absence of a General Contractor contact the Owner's  
47 Representative, Robert Zeller to schedule the mock-up at:

48 Greenfire Management Services, LLC.  
49 Robert Zeller  
50 Phone: (414) 727-6110  
51 FAX: (414) 727-6111  
52 e-mail: [rzeller@greenfirellc.net](mailto:rzeller@greenfirellc.net)  
53

1                   All mock-ups shall be completed on or by the date specified by Greenfire Management Services.  
2                   Mock-ups will be evaluated by the Owner's Representative and Architect, and City of  
3                   Milwaukee Historic Preservation Commission Representative.  
4

- 5                   4. PERSONNEL: Indicate the name of key personnel that would be assigned to this project, act as  
6                   the main day-to-day contact, and follow the job through to completion.  
7  
8                   5. COSTS: Describe your method of project cost estimating. Provide the hourly rate of the  
9                   reimbursable personnel. Provide an outline of what the Owner could expect under the heading  
10                  of General Conditions with a preliminary estimate of those costs.  
11  
12                  6. SERVICES: List out-of- house trades you could potentially utilize on this project (such as  
13                  scaffold). The Architect and Owner will review the cost of this work for competitiveness. All  
14                  out-of-house subcontractors will bid directly to the Masonry Contractor with bid review by the  
15                  Owner and Project Architect (contracted through the Masonry Contractor).  
16  
17                  7. Complete the "Contractor Qualification Statement" AIA document A305 1986 Edition.  
18

19 **Proposal Due Date:**

20                  Four copies of your proposal and qualifications are due to the General Contractor, or in absence of a  
21                  General Contractor to the Owner's Representative, on the date specified in the Bidding Documents.  
22

23                  For questions regarding the actual restoration specifications contact:

24                   Tim Hansmann  
25                   Project Manager  
26                   The Kubala Washatko Architects, Inc.  
27                   Phone: 262/ 377.6039  
28                   Email: thansmann@tkwa.com  
29

30 **Mandatory Pre-Bid Meeting and Tour:**

31                  The pre-bid meeting and tour date for all firms will be established by the Owner's Representative.  
32                  Please r.s.v.p. via e-mail to confirm your attendance at the tour.  
33

34 **Pre-Qualification Notification:**

35                  Contractors will be contacted to indicate if they have met all pre-qualification requirements.  
36  
37



1 SECTION 04 01 00

2 MAINTENANCE OF MASONRY

3 PART 1 - GENERAL

4 1.1 SUMMARY

- 5 A. Section includes spot cleaning (water and/or chemical); replacement/repair of stone and brick  
6 units; repointing mortar joints; and repair of damaged masonry. For repointing, resetting, relaying  
7 of historic masonry as shown on the Drawings and as specified in the construction documents and  
8 Preservation Briefs 1, 2-revised, and 6, U.S. Department of the Interior, National Park Service,  
9 Technical Preservation Services.

10 1.2 REFERENCES

- 11 A. American Concrete Institute:  
12 1. ACI 530 - Building Code Requirements for Masonry Structures.  
13 2. ACI 530.1 - Specifications for Masonry Structures.
- 14 B. Preservation Briefs:  
15 1. No. 1 - The Cleaning and Waterproof Coating of Historic Buildings, Robert C. Mack,  
16 U.S. Department of the Interior, National Park Service, Preservation Assistance Division,  
17 Technical Preservation Services.  
18 2. No. 2 - Repointing Mortar Joints in Historic Brick Buildings, Robert C. Mack, John P.  
19 Speweik, U.S. Department of the Interior, National Park Service, Preservation Assistance  
20 Division, Technical Preservation Services.  
21 3. No. 6 - Dangers of Abrasive Cleaning to Historic Buildings, Anne E. Grimmer, U.S.  
22 Department of the Interior, National Park Service, Preservation Assistance Division,  
23 Technical Preservation Services.

24 1.3 SUBMITTALS

- 25 A. Section 01 33 00 - Submittal Procedures: Submittal procedures.
- 26 B. Shop Drawings: Indicate special supports for the work. Detail shoring, bracing, scaffolding, and  
27 temporary or permanent support. Contractor to supply all scaffolding drawings for permit.
- 28 C. Submit the following items in time to prevent delay of work and to allow adequate time for review  
29 of submittals, if needed. Do not order materials or start the execution of the work before receiving  
30 the written approval:  
31 1. Written certificates from mortar manufacturer should be submitted stating that all  
32 installers of the repointing mortars have successfully completed the training workshop for  
33 the installation of the mortar, or have met alternative workmanship qualifications  
34 acceptable to the manufacture, or provide written certification from the manufacture that  
35 site training services have been contracted. In lieu of training, documented experience  
36 executing successful lime mortar installations may be acceptable. Two day Lime Mortar  
37 Workshops are offered by U.S. Heritage Group, Inc., at 3516 North Kostner Ave.,  
38 Chicago, IL 60641 Phone: 773-286-2100; Fax 773-286-1852. Course schedule is  
39 available at [www.usheritage.com](http://www.usheritage.com), advance registration is required.  
40 2. Samples of all specified materials and Material Safety Data Sheets (MSDS) as  
41 appropriate.

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3. Certificates, except where the material is labeled with such certification by the producers of the materials, that all materials supplied comply with all the requirements of these specifications and the appropriate standards.
4. Color-match repointing mortar samples to existing mortar or specified alternative.
5. Written verification that all specified items will be used. Provide purchase orders, shipping tickets, receipts, etc. to prove that the specified materials were ordered and received.
6. Restoration Program: Submit written program for each phase of restoration process including protection of surrounding material on building and site during operations. Describe in detail material, methods and equipment to be used for each phase of restoration work. (Contractors proposal/bid can serve this purpose.)

D. Product Data: Submit data on cleaning compounds, cleaning solutions, and manufacturer's printed literature for each product.

E. Samples: Submit four unit samples of masonry units to illustrate color, texture, and extremes of color range to match existing where replacements are necessary.

F. Manufacturer's Installation Instructions: Submit installation procedures for products selected for use, manufacturer's installation instructions, perimeter conditions requiring special attention, and test data indicating compliance with requirements, and installation instructions.

#### 1.4 SUBSTITUTIONS

A. If alternative methods and materials to those indicated are proposed for any phase of restoration work, provide written description, and program of testing to demonstrate effectiveness for use on this project. Provide documentation showing compliance with the requirements for substitutions and the following information: Coordination information, including a list of changes needed to other work that will be necessary to accommodate the substitution.

B. A comparison of the substitution with the specified products and methods, including performance, weight, size, durability, and visual effect.

C. Certification that the substitution conforms to the contract documents and is appropriate for the applications indicated. Material substitution requests must be accompanied by independent laboratory test reports from a lab designated by the architect to establish equivalent performance levels and specification compliance. The submitting party shall pay for testing.

#### 1.5 QUALITY ASSURANCE

A. Perform Work in accordance with ACI 530 and ACI 530.1 requirements.

B. All repointing must be performed by a craftsman that is familiar with historic lime mortar formulations, curing conditions and performance characteristics. Contractor shall provide proof of such knowledge to the Architect by submitting a certificate from a U.S. Heritage Group Lime Mortar Workshop, similar workshop course, or sufficient proven project experience. Work must be performed by a firm having not less than 5 years successful experience in comparable masonry restoration projects and employing personnel skilled in the restoration process and operations indicated.

C. Only skilled journeymen masons who are familiar and experienced with the materials and methods specified and are familiar with the design requirements shall be used for masonry restoration. One

1 skilled journeyman mason, trained and Certified by the specified manufacturer, shall be present at  
2 all times during masonry restoration and shall personally direct the work.

3 D. Source of Materials: Obtain materials for stone repair and mortar repointing from a single  
4 manufacturer source to ensure match quality, color, texture, and detailing.

5 E. Test Panels: Before full-scale application, test products to be used on panel mock-ups on the  
6 actual building to be approved by the Architect.

#### 7 1.6 QUALIFICATIONS

8 A. Manufacturer: Company specializing in manufacturing products specified in this section with  
9 minimum five years documented experience.

10 B. Installer: Company specializing in performing Work of this section with minimum five years  
11 documented experience.

#### 12 1.7 MOCKUP

13 A. Section 01 40 00 - Quality Requirements: Mockup requirements.

14 B. Field Construction Mock-ups: Prior to start of general masonry restoration, prepare the following  
15 sample panels and sample areas on building where directed by Architect. Obtain Architect's  
16 acceptance of visual qualities before proceeding with the work.

17 C. Mortar Repointing: Prepare 2 separate sample areas of approximately 3-feet high by 3-feet wide  
18 for each type of repointing required, one for demonstrating methods and quality of workmanship  
19 expected in removal of mortar from joints and the other for demonstrating quality of materials and  
20 workmanship expected in pointing mortar joints. Prepare, install, and finish each sample according  
21 to specifications. Sample must be applied to the actual masonry. Samples should cure a minimum  
22 of 14 days prior to Architect approval.

23 D. Stone Patching With Stone Repair Mortar: Prepare separate sample area of a masonry unit for  
24 each type of stone patch repair required (ornamental and face stone). Prepare, install and finish  
25 each sample according to specifications. Sample must be applied to the actual masonry. Samples  
26 should cure a minimum of 14 days prior to Architect approval.

27 E. Cleaning: Areas slated for cleaning are small. Prepare 3 separate spot cleaning sample areas for  
28 each type required to determine the extent of cleaning, cleaning methods, dwell time, and cleaning  
29 products. One test sample MUST consist of a hot water wash at low psi using a flat 25-50 degree  
30 wide spray stainless steel tip. Record and note all dwell times, surface and air temperatures at the  
31 time of testing each possible solution. Architect to be present during mockup execution. Note  
32 cleaning detergent or chemical mix, psi, nozzle orifice distance from wall face, dwell times, and  
33 any other specific cleaning procedures.

34 F. Repeat, using different cleaning methods up to three locations, until acceptable without causing  
35 surface damage.

36 G. Locate where directed by Architect.

37 H. Acceptable panel illustrating results of restoration and cleaning will become standard for work of  
38 this section. Retain acceptable panels in undisturbed condition, suitably marked, during restoration  
39 as a standard for judging completed work.

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1.8 PRE-INSTALLATION MEETINGS

A. Section 01 30 00 - Administrative Requirements: Pre-installation meeting.

B. Convene minimum one week prior to commencing work of this section.

1.9 DELIVERY, STORAGE, AND HANDLING

A. Section 01 60 00 - Product Requirements: Product storage and handling requirements.

B. Deliver masonry, stone, and all other materials neatly stacked and tied on pallets. Store clear of ground with adequate waterproof covering.

C. Store all mortar ingredients in manufacturer's packaging, or when delivered loose, with adequate weatherproof covering.

D. Deliver materials to site in manufacturer's original unopened containers and packaging, bearing labels as to type and names of products and manufacturers.

E. Deliver and store restoration material in manufacturer's original, unopened containers with the grade, batch and production data shown on the container or packaging.

F. Protect restoration materials during storage and construction from wetting by rain, snow or ground water, and from staining or intermixture with earth or other types of materials.

G. Protect mortar and other materials from deterioration by moisture and temperature. Store in a dry location or in waterproof containers. Keep containers tightly closed and away from open flames. Protect liquid components from freezing. Comply with manufacturer's recommendations for minimum and maximum temperature requirements for storage.

H. Comply with the manufacturers written specifications and recommendations for mixing, application, and curing of repointing mortars and patching materials.

I. Deliver products in time to avoid construction delays.

J. Deliver and store products in manufacturer's original packaging with identification labels intact.

K. Store products protected from weather and at temperature and humidity conditions recommended by manufacturer.

1.10 ENVIRONMENTAL REQUIREMENTS

A. Section 01 60 00 - Product Requirements.

B. Cold Weather Requirements: In accordance with ACI 530.1 when ambient temperature or temperature of masonry units is less than 40 degrees F (4 degrees C) will remain so for at least 48 hours after completion of work.

C. Do not use frozen materials or materials mixed or coated with ice or frost. Do not lower the freezing point of mortar by the use of admixtures or anti-freeze agents, and do not use chlorides in the mortar.

1 D. Hot Weather Requirements: In accordance with ACI 530.1 when ambient temperature is greater  
2 than 100 degrees F (38 degrees C) or surface and ambient air temperature is greater than 90  
3 degrees F (32 degrees C) with wind velocity greater than 8 mph (13 km/h). Phase repointing  
4 during hot weather by completing process on the shady side of the building or schedule  
5 installation of materials during cooler evening hours to prevent premature evaporation of the  
6 mortar.

7 E. Do not apply products under conditions outside manufacturer's requirements, which include:  
8 1. Surfaces that are frozen; allow complete thawing prior to installation.  
9 2. When surface or air temperature is not expected to remain above 40 degrees F for at least  
10 8 hours after application.  
11 3. Wind conditions that may blow materials onto surfaces not intended to be treated.  
12 4. Less than 24 hours after a rain.  
13 5. When rain is expected less than 6 hours after installation.

14 1.11 SEQUENCING

15 A. Section 01 10 00 - Summary: Work sequence.

16 B. Perform repointing after cleaning masonry surfaces.

17 1.12 OTHER PROJECT CONDITIONS

18 A. Protect persons, motor vehicles, building site and surrounding buildings from injury resulting from  
19 masonry restoration work. This includes surface areas on adjacent wall surfaces or roofs not  
20 included in this scope of work.

21 B. Prevent repointing mortar from staining the face of masonry or other surfaces to be left exposed.  
22 Immediately remove all repointing mortar that comes in contact with such surfaces.

23 C. Cover partially completed work when work is not in progress.

24 D. Protect sills, ledges and projections from droppings.

25 E. Damage occurring to the building as a result of work of this section of Contractor's failure to  
26 protect against such damage shall be the Contractor's responsibility. The contractor shall restore  
27 damaged areas to the complete satisfaction of the Architect at no expense to the Owner.

28 1.13 WARRANTY

29 A. See Section 01 78 00 - Closeout Submittals, for additional warranty requirements.

30 B. Provide manufacturer's standard warranty for not less than one year, commencing on Date of  
31 Substantial Completion.

32 1.14 SCHEDULING

33 A. Section 01 30 00 - Administrative Requirements: Coordination and project conditions.

34 B. Perform cleaning, washing, stripping, repointing, etc. to exterior masonry and stone between hours  
35 of 7 AM to 9 PM.

## PART 2 - PRODUCTS

### 2.1 REPOINTING MORTAR MATERIALS

- A. Repointing mortar shall be prepared and placed in accordance with the Department of the Interior National Park Service Cultural Resources Preservation Briefs 2, "Repointing Mortar Joints in Historic Masonry Buildings", Revised edition October 1998, and in compliance with the guidelines set forth by the Secretary of the Interior's Standards for Rehabilitation.
- B. The repointing mortar shall match the original in color, composition, aggregate (size/gradation/color), texture, and tooling profile. The compressive strength of the repointing mortar shall be equal or less than the compressive strength of the original mortar and surrounding brick or stone. The replacement mortar shall contain approximately the same ingredient proportions of the original mortar.
- C. All replacement mortar ingredients and mortar formulations will be established from test data gathered from the original materials sampled from site. Test sampling analysis to be completed by USHG. Lab report "Custom Mortar Matching Report" and "Sieve Analysis Report" provided by Architect.
- D. Mortar Testing Contact: U.S. Heritage Group, Inc., 3516 North Kostner Ave. Chicago, IL 60641 Phone: 773-286-2100 Fax: 773-286-1852. Email: [info@usheritage.com](mailto:info@usheritage.com); [www.usheritage.com](http://www.usheritage.com).
- E. The testing laboratory shall supply a ready mixed mortar sample sufficient in size for a mock up sample at the site.
- F. Mixing of individual mortar ingredients at the construction site will not be permitted.
- G. Repointing mortars shall be pre blended in single containers in a factory-controlled environment. All ingredients will be converted from volume measurements to weight measurements to ensure quality production of the mortar.
- H. All containers shall be marked including manufacturing date and batch number. Manufacture is required to maintain production-sampling procedures for each batch for quality control purposes. Manufacturer to provide samples of proposed materials for mock up panels at the site. All pre blended products are to meet applicable ASTM standards and project specification requirements.
- I. Mortar Materials Contact: U.S. Heritage Group, Inc., 3516 North Kostner Ave., Chicago, IL 60641 Phone: 773-286-2100 Fax: 773-286-1852. Email: [info@usheritage.com](mailto:info@usheritage.com); [www.usheritage.com](http://www.usheritage.com). Mortar supplied from other suppliers is acceptable provided that these sources meet the standards outlined in this document, match the historic mortar formulation and aesthetics, and meet or exceed the quality standards of USHG mortars.

### 2.2 MASONRY RESTORATION AND CLEANING

- A. Masonry Cleaners shall be in accordance with the Department of the Interior National Park Service Cultural Resources Preservation Brief 1, "The Cleaning and Waterproof Coating of Masonry Buildings", and Preservation Brief 6 "Dangers of Abrasive Cleaning to Historic Buildings", and in compliance with the guidelines set forth by the Secretary of the Interior's Standards for Rehabilitation.
- B. Cleaning baseline procedure: Hot water wash at low psi. If hot water wash proves to be insufficient, see item "J" for acceptable manufacturers of alternate cleaning products. Pressure to

be measured at the gun or as closely to it as possible. 200-300 psi may be satisfactory; 400-800 psi (field test psi ranges) are more typical. A bristle brush may be used to supplement the water wash as long as it does not remove or damage the limestone surface. Nozzle size and configuration: Stainless steel flat tip with 25-50 degree wide spray. Distance from nozzle orifice and the surface being cleaned shall be evaluated and tested during the mock-up phase.

C. Algae growth: Treat areas of algae/moss growth with an anti-fungal agent prior to masonry cleaning.

D. Sample cleaning area: An initial test-cleaning sample with hot water at low psi is requested to evaluate this methods effectiveness and establish a baseline for cleaning techniques. Work with architect to determine locations of cleaning test panels (1'x1').

E. All cleaning techniques should use the gentlest means possible to avoid etching, staining, bleaching, or masonry damage.

F. The goal of the masonry cleaning is not to remove 100% of surface soiling but to generally enhance the stone by removing sufficient particulate caused by pollution. Architect will establish parameters on-site for acceptable levels of cleaning.

G. Heavily soiled areas (likely carbon and sulfates): The undersides of limestone sills, ornament, belt courses, etc., may require alternate cleaning methods or additional applications of cleaner to achieve successful results.

1. Diedrich Chemicals Restoration Technology, Model 808 Black Incrustation Remover (for spot treatment of carbon encrusted black streaks).

2. Substitutions: Approved equal or better.

H. Dwell times: For all cleaning methods, testing and implementation, dwell times shall be closely watched and adhered to in an effort to avoid damaging the masonry (etching the surface).

I. Properly protect all adjacent wall surfaces, roofs, clock faces, windows, doors, glass, adjacent plant material, etc., from overspray.

J. Manufacturers:

1. Mortar Materials Contact: U.S. Heritage Group, Inc., 3516 North Kostner Ave., Chicago, IL 60641 Phone: 773-286-2100 Fax: 773-286-1852. Email: [info@usheritage.com](mailto:info@usheritage.com); [www.usheritage.com](http://www.usheritage.com)

2. Cleaning Materials:

a. PROSOCO, Inc., 3741 Greenway Circle, Lawrence, KS 66046. ASD. Tel: (800) 255-4255 or (785) 865-4200. Fax: (785) 830-9797. Email:

[marketing@prosoco.com](mailto:marketing@prosoco.com); [www.prosoco.com](http://www.prosoco.com)

b. Diedrich Technologies, Inc., 7373 South 6<sup>th</sup> Street, Oak Creek, WI 53154. Tel: (800) 323-3565 or (414) 764-0058. Fax: (414) 764-6993. Email:

[diedtech@execpc.com](mailto:diedtech@execpc.com); [www.diedrichtechnologies.com](http://www.diedrichtechnologies.com)

3. Substitutions: See Section 01600 - Product Requirements.

4. See Section 04 – Stone Repair Mortar for products including steel anchors.

## 2.3 COMPONENTS

A. Cleaning Agent: Premixed solvent cleaner type.

B. Blasting Sand: NOT permitted.

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1 C. Mortar Materials: Conform to requirements of Section 04 05 03.

2 D. Stone: Indiana limestone (carved and ornamental).

3 E. Brick: Solid red face brick (field).

4 F. Brick: Solid common brick (parapet back-up), proposed.

5 **PART 3 - EXECUTION**

6 **3.1 EXAMINATION**

7 A. Section 01 30 00 - Administrative Requirements: Coordination and project conditions.

8 B. Verify surfaces to be cleaned and restored are ready for work of this section.

9 C. Examine conditions, with installer present, for compliance with requirements for installation  
10 tolerances and other specific conditions, and other conditions affecting performance of unit  
11 masonry.

12 D. Do not proceed until unsatisfactory conditions have been corrected.

13 E. Verify that substrates are acceptable for product installation; do not begin until substrates meet  
14 manufacturer's requirements.

15 F. Do not begin until Architect and Owner have approved test panels.

16 G. Replacement of masonry units to be confirmed by Project Architect prior to execution.

17 **3.2 PREPARATION**

18 A. Protect elements surrounding work of this section from damage or disfiguration.

19 B. Immediately remove stains, efflorescence, or other excess resulting from work of this section.

20 C. Protect roof membrane and flashings from damage. Lay 1/2-inch (13 mm) plywood on roof  
21 surfaces over full extent of work area and traffic route.

22 D. Provide waterproof dams to divert flowing water to exterior drains and catch basins.

23 E. Carefully remove and store fixtures, fittings, finishing hardware, accessories.

24 F. Close off, seal, mask, and/or board up areas, materials, and surfaces not receiving work of this  
25 section to protect from damage.

26 G. Construct dust proof and weatherproof partitions to close off occupied areas, if any.

27 **3.3 INSTALLATION**

28 A. Rebuilding:  
29

1. Cut out damaged and deteriorated masonry with care in manner to prevent damage to adjacent remaining materials.
2. Shore or support structure in advance of cutting out units to maintain stability of remaining materials. Cut away loose or unsound adjoining masonry and mortar to provide firm and solid bearing for new work. Cut out full units from joint to joint and in a manner to permit the replacement of full size units.
3. Build in reclaimed masonry units following procedures for new work specified in Section 04 05 03.
4. Mortar Mix: As specified in Section 04 05 03.
5. Ensure anchors, ties, reinforcing, stone cramps and dowels, and flashings are correctly located and built in.
6. Install built in masonry work to match and align with existing, with joints and coursing true and level, faces plumb and in line. Build in openings, accessories and fittings.
7. Re-use masonry to the fullest extent possible. Integrate new replacement masonry in concealed areas or shielded from public view.
8. All brick units added to the building to match the existing in color, size, voids/no voids, surface texture, and shall consist of salvaged historic matching material. Architect to approve samples.
9. Build new masonry to the full thickness as shown on drawings. Key brick or stone into existing structure wherever possible providing mortar as required.

**B. Repointing:**

1. Leave one intact and serviceable example of original mortar on the building; location and size to be determined with Architect.
2. All joints (unless otherwise noted) shall be raked back to sound, solid, back up material. All raking out should leave a clean, square face at the back of the joint to provide for maximum contact of pointing mortar with the masonry back up mortar. Shallow or feather edging shall not be permitted.
3. Existing mortar joints shall be raked out a minimum depth of 2.5 times the height of the existing mortar joints, however, so as not to compromise the structural stability of the wall, the joint should not be raked out more than half the width of the masonry unit.  
*Note: In some areas the mortar is decomposed more than 2.5 times the height of the joint. In these cases, the mortar should be removed back to stable material, this may result in the need to reset loose brick.*  
**EXAMPLES:**
  - a. 1/16" Mortar joint needs to be cut out to a depth of 3/16" minimum
  - b. 1/8" Mortar joint needs to be cut out to a depth of 5/16" minimum
  - c. 1/4" Mortar joint needs to be cut out to a depth of 5/8" minimum
  - d. 1/2" Mortar joint needs to be cut out to a depth of 1-1/4" minimum
  - e. 3/4" Mortar joint needs to be cut out to a depth of 1-7/8" minimum
  - f. 1" Mortar joint needs to be cut out to a depth of 2-1/2" minimum
4. Utilize hand tools and power tools only after test cuts determine no damage to masonry unit results. Vertical joints (head joints) SHALL NOT be raked out using rotary power saws. All vertical head joints must be removed by hand in stonework unless a demonstration can be made that rotary use can be implemented without over cutting the joint, i.e. "over running." *Vertical joints exceeding 6" in height may be approved for cutting with rotary power saws pending a successful demonstration to the Project Architect.*
5. Do not damage masonry units.
6. Existing horizontal mortar joints (bed joints) that are filled with a hard Portland mortar may be raked out using a diamond blade that is narrower than the joint width. The middle

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- one-third of the mortar joint may be cut using a rotary power saw. The remaining mortar shall be removed from the masonry joints by hand using masonry chisels or pneumatic carving tools powered by air.
7. Existing historic mortar shall be removed using only small-headed chisels that are no wider than half the width of the existing masonry joints. Pneumatic air carving chisels are permitted.
8. Contractor shall not widen the existing masonry joints. The surrounding masonry edges shall not be spalled or chipped in the process of mortar removal. Damage to surrounding stone resulting from rotary blade over running shall not be permitted. Contractor shall replace all brick or stone damaged during mortar removal with replacement units that match the original exactly.
9. Brush, vacuum, blow out, or flush joints with water to remove dirt and loose debris, working from top to bottom of wall.
10. Exposed surface of masonry adjacent to joint shall be wet prior to repointing. Maintain a water sprayer on site at all times during the repointing process.
11. Walls should be pre-soaked with water 10 minutes prior to pointing.
12. Rinse masonry joint with water to remove dust and mortar particles. Time the rinsing application so that at the time of pointing excess water has evaporated or run off. Joint surfaces should be damp but free from standing water.
13. Mortar shall be mixed according to manufacturer recommendations. The mortar material shall resemble the consistency of brown sugar during installation. This drier consistency enables the material to be tightly packed into the joint and allows for cleaner work and prevents shrinkage cracks as the mortar cures.
14. Joints should be pointed in layers or "lifts" where the joints are deeper than one and one-quarter inch (1-1/4 inch or 9mm). Apply in layers not greater than 1/2 the depth but not more than 1-1/4 inch or until a uniform depth is formed. Compact each layer thoroughly and allow it to become thumbprint hard before applying the next layer.
15. LIFT EXAMPLES:
- a. 3/16" joint depth (1/16" joint existing) point in one lift
  - b. 5/16" joint depth (1/8" joint existing) point in one lift
  - c. 5/8" joint depth (1/4" joint existing) point in one lift
  - d. 5/16" joint depth (3/8" joint existing) point in one lift
  - e. 1-1/4" joint depth (1/2" joint existing) point in one lift
  - f. 1-7/8" joint depth (3/4" joint existing) point in two lifts approx.-1" (each)
  - g. 2-1/2" joint depth (1" joint existing) point in three lifts approx.+3/4" (ea.)
  - h. Over 2-3/4 joint depth- point in lifts of no more than 1-1/4" (each)
16. When mortar is thumbprint hard the joints shall be finished to match the original historic joint profile.
- a. Indiana Limestone: Raked joint
  - b. Face brick: Raked joint
  - c. Confirm with Architect once scaffold is erect and direct inspection of protected areas is possible.
17. Keep mortar from drying out to quickly. Protection from direct sun, high winds for the first 72 hours after installation. Thoroughly soak the wall after the mortar has set and the finish joint profile is complete. Water soaking the wall is to be carried out nine (9) separate times allowing the wall to dry out between applications. Protect freshly pointed areas with plastic sheeting for the first 24 hours after installation.
18. Nine (9) wet-and-dry cycles are required and can usually be completed immediately after installation by water soaking the repointing work three times per day for three days. Nine (9) wet-and-dry cycles may take two days or one week depending on the conditions of the wall and the environment.

- 1 19. Acceptable curing methods include covering the repointed wall with plastic sheeting,  
2 periodic hand misting, and periodic mist spraying using a system of pipes, mist heads,  
3 and timers.  
4 20. Adjust curing methods to ensure that the pointing mortar is damp without eroding the  
5 surface of the mortar.

6 C. Cleaning Existing Masonry:

- 7  
8 1. Clean only the areas specified in the exterior elevation drawings.  
9 2. Clean all exposed surfaces of masonry using materials specified, so that resulting  
10 surfaces have a uniform appearance.  
11 3. When cleaning stains and tough dirt, test masonry for composition and select appropriate  
12 cleaner in accordance with manufacturer's instructions and recommendations; use cleaner  
13 and cleaning methods selected to minimize damage to surfaces and deterioration of  
14 appearance.  
15 4. Mockup testing will determine the most appropriate cleaning solution, treatment, dwell  
16 time, psi, and nozzle orifice distance from wall surface.  
17 5. Install and clean up as per manufacturer's recommendations and standards.  
18 6. Capture, store, and dispose of all cleaning products, overspray, wash, and after wash as  
19 per EPA and local government standards.

20 D. Install Work in accordance with State and local Municipality standards.

21 3.4 CLEANING

- 22 A. Section 01 70 00 - Execution and Closeout Requirements: Final cleaning.  
23 B. As work proceeds and on completion, remove excess mortar, smears, droppings.  
24 C. Clean surrounding surfaces.

25 3.5 REPAIR OF MASONRY

- 26 A. Removing metal anchors and filling holes.  
27 B. Repair, patch and fill cracks, voids, defects, and damaged areas to satisfaction of the Architect;  
28 allow repair materials to cure completely.  
29 C. Seal joints with sealant and allow to cure completely.

30 END OF SECTION



1 SECTION 04 01 40

2 STONE REPAIR MORTAR – INDIANA LIMESTONE

3 PART 1 - GENERAL

4 1.1 SUMMARY OF WORK

- 5 A. Submit the following items in time to prevent delay of the work and to allow adequate  
6 time for review, do not order materials or start work before receiving the written  
7 approval:  
8  
9 1. Samples of all specified materials and Material Safety Data Sheets (MSDS) as  
10 appropriate.  
11  
12 2. Install mortar samples on building masonry. Execute one sample for Architect  
13 approval on ornamental and subsequently on flat work demonstrating stone repair  
14 techniques with the specified (or approved equal or better) stone repair mortar.

15 1.2 QUALITY ASSURANCE/TEST REQUIREMENTS

- 16 A. Stone Repair Mortar Samples: Prepare a sample of each type of repair listed below,  
17 using masonry removed from the building where designated by the Owner. Prepare,  
18 install, and finish each sample repair according to the specifications. All samples must be  
19 applied to masonry. Prepare samples in an area where they will be exposed to the same  
20 conditions as will be present on the building during curing. Allow samples to cure at  
21 least seven but preferably fourteen days before obtaining Owner's approval for color  
22 match. Mortar colors will continue to lighten as they cure and are exposed to the  
23 weather, so samples should be installed as far in advance as possible. Samples should be  
24 viewed from a minimum distance of 12 feet.  
25  
26 B. Project Architect to approval all replacement of stone units prior to execution.  
27  
28 C. Patching of Existing Stone Benchmarks  
29  
30 1. Spalls of less than 6" in diameter can be patched with stone repair mortar.  
31 2. Spalls larger than 6" and in locations nor readily visible can be repaired with a  
32 "Dutchman" patch. Depending on the location and size of the patch, complete  
replacement of the stone unit may be required.  
33 3. Smalls isolated cracks in the limestone can be filled with lime injection mortars.

34 1.3 DELIVERY, STORAGE, AND HANDLING

- 35 A. Materials are to be delivered, stored, and handled to protect them from damage, extreme  
temperature, and moisture in accordance with Manufacturer's written instructions.  
36  
37 B. Deliver and store material in Manufacturer's original, unopened containers with the  
production date shown on the container or packaging.

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Stone Repair Mortar  
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- C. Comply with the Manufacturer's written specifications and recommendations for mixing, application, and curing of mortars.

#### 1.4 PROTECTION/SITE CONDITIONS

- A. Cold Weather Requirements: Do not work in temperatures below 40° F, when the substrate is colder than 40° F, or when the temperature is expected to fall below 40° F for 48 hours after installation of repair mortars. Building an enclosure and heating areas to maintain this temperature may only be done with the written approval of the Specifier.
- B. *Hot Weather Requirements:* Protect repair mortar from direct sunlight and wind. Do not use or prepare mortar when ambient air temperature is above 90° F.

### PART 2 - PRODUCTS

#### 2.1 MASONRY REPAIR MORTARS, ANCHORS, AND EPOXY

- A. HL 15 Heritage Repair Mortars for Limestone are manufactured by U.S. Heritage Group, Inc., 3516 N. Kostner Street, Chicago, Illinois 60641 Phone: 773/ 286.2100 Fax: 773/ 286.1852. HL 15 Heritage Repair Mortars for Limestone are mineral-based, single component products that are mixed with water. The material is formulated using only natural binders; no synthetic polymers or additives are used. It is vapor permeable. Skilled masons can easily apply Heritage Restoration Mortars; no special certification is required. Designed to decrease significantly the time required to complete stone repairs, HL 15 Heritage Repair Mortars for Limestone can be ready for sculpting in 3 hours at room temperature.
- B. Stone Anchors: Type 302 Threaded Solid Stainless Steel, use of carbon steel is prohibited. Anchors to be set in moisture insensitive epoxy resin. Diameter and length of anchor determined by conditions but generally are as follows – 1/4" diameter anchors for reattachment of face bedding layers and small loose details as well as reinforcement of stone repair mortar; 1/2" diameter anchors for stone unit reattachment, sill repair, large cracks, and large spalls.
- C. Epoxy: Moisture insensitive epoxy resins to be used for setting stainless steel anchors and filling adjacent related cracks. Utilize clay dams to plug flow of epoxy from the stone face; remove clay dam once epoxy set.
- D. Setting Buttons: Plastic, steel washers are prohibited from use.
- E. Substitutions: Approved equal or better.

## PART 3 - EXECUTION

### 3.1 WORKMANSHIP

- A. Do not use any additives, such as bonding agents, accelerators, or retardants in the mortar.

### 3.2 PREPARATION FOR REPAIRS

- A. Remove all loose mortar and masonry prior to installation of the repair mortar. "Sound" masonry with a hammer to verify its integrity. If necessary, cut away an additional 1/2" of the substrate to ensure the surface to be repaired is solid and stable. Remove any sealant residue.
- B. Where cramp anchors, threaded rod anchors, or dowels have been cut and pieces remain embedded in the substrate: Anchors that are free of rust, solidly embedded, and do not project beyond the surface of the masonry unit may remain. All others should be removed.
- C. Cut the edges of the repair area to provide a minimum depth of 1/4". The edges of the repair should be square cut. Do not allow any feathered edges in the repair area.
- D. Install mechanical anchors in all repair areas if specified on the Contract Drawing or as otherwise directed by the Architect.
- E. Clean all dust from surface and pores of the substrate, using clean water and a scrub brush.
- F. For very dry or porous surfaces, pre-wet the substrate ahead of time to prevent the substrate from drawing moisture out of the repair too quickly. Re-wet the surface immediately before applying the repair material.

### 3.3 MIXING MORTAR FOR REPAIR

- A. It is recommended that a dust mask be worn during mixing. Do not mix more material than can be used within 30 minutes. Discard any mixed material that has been unused for 30 minutes or more.
- B. All repairs require a minimum two-coat application consisting of a skim coat and a build-out coat. Additional build-out coats may be applied to meet the required thickness.  
  
Skim coat: For the initial skim coat, mix approximately 5 parts dry powder to approximately 1 part potable water. The prepared mixture should be the consistency of peanut butter. Temperature and humidity will affect the amount of water required. Mixing may be done by hand or using a low-speed drill (300 to 450 rpm) for 2 to 4 minutes. Do not over mix.  
  
Build-Out Coat: The consistency of the mortar for the build-out coat should be similar to wet sand. For any additional build-out coats use slightly less water in the mix. Working

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time is approximately 60 minutes depending on temperature, humidity and wind conditions.

### 3.4 APPLICATION OF REPAIR MATERIAL

A. Cut away all loose and deteriorated stone. Clean the area to be repaired with clean water and a bristle brush to remove any loose stone particles. Neutralize any salt deposits (efflorescence) with distilled water. Sound off and chisel out delaminated stone. Dampen with clean water until glistening with no standing water. Square cut edges of repair area using hand tools or pneumatic carving tools. Repair area should not be less than 1/4" in depth.

B. Skim coat: Pre-wet the stone surface, so that it is glistening wet, with no standing water. Remove loose material from the stone and wash down the stone a second time. The installation of non-corrosive screws and wires when the stone repair exceeds 4" in thickness is recommended. Use trowels and plaster detailing tools to apply the skim coat to small areas. IMPORTANT: Make sure the skim coat adheres to all surfaces of the repair area of the stone. Check the skim coat after 5 minutes. Do not allow the surface of the skim coat to dry completely. If it does dry out, moisten the surface with clean water. The drying time will be affected by weather conditions, careful monitoring is critical. Additional Coats: Scoop wet mix from the mixing container by hand (wear latex gloves) or with a small trowel and apply it by pressing and rubbing it into the skim coat. Make sure to fill all pores and voids of the stone. The repair mortar may be built up to a thickness of 3" in one lift. Finger test each coat before applying the next. If the mortar moves under your finger, wait until it sets before applying the next coat. If additional coats are applied the next day or later, you must wet and scratch the previous coat before adding additional coats.

### 3.5 FINISHING TECHNIQUES

A. The surface of the repair may be either tooled or scraped to the required finish. You may finish the same day or wait until the following day. For soft edges, carve the mortar when it is wet. For sharp edges, carve with sharp carving tools when it is partially cured. It may be desirable to wait longer for particular finishes. Always test finishing techniques before applying to large areas. Craftsmen should understand the timing of the finishing techniques, and make adjustments for weather conditions. Air chisels may be used to create the desired finishes.

### 3.6 CURING PROCEDURE

A. Keep the repair area, plus an additional 2" (2 inches) surrounding the repair area damp for a minimum of 36 hours. Spray mist the repair area with clean water, covering with plastic sheeting to keep the repair area damp. Adjust curing methods to prevent the repair from drying out too quickly.

B. Curing methods will vary in different parts of the country and at different times of the year, calling for different amounts of water to be used in the first 36 hours after application. Adjustments also have to take into account how much time is remaining before freezing weather arrives.

### 1 3.7 CLEAN UP

2       A.     Remove mortar from tools and mixing equipment with water immediately after use.  
3       Repair mortar is difficult to remove after it has set.

4

5

6 **END OF SECTION**



1 SECTION 04 05 03

2 MASONRY MORTARING AND GROUTING

3 PART 1 GENERAL

4 1.1 SUMMARY

- 5 A. Section includes mortar for masonry.
- 6 B. Related Sections – 04 01 00 Maintenance of Masonry.

7 1.2 SUBMITTALS

- 8 A. Samples: Submit two samples of mortar (in addition to the required mock-up),  
9 comparable in size to the mortar joint, illustrating mortar color and color range.

10 1.3 QUALITY ASSURANCE

- 11 A. Perform Work in accordance with ACI 530 Building Code Requirements for Masonry  
12 Structures and ACI 530.1 Specification for Masonry Structures.
- 13 B. Perform Work in accordance with National Park Service, Secretary of the Interior, State  
14 Historical Society, and Municipal standards.
- 15 C. Reference: 04 01 00 Maintenance of Masonry, Part I General, Section 105 Quality  
16 Assurance for further information.
- 17 D. Maintain one copy of each document on site.

18 1.4 ENVIRONMENTAL REQUIREMENTS

- 19 A. Cold Weather Requirements: In accordance with ACI 530.1 when ambient temperature or  
20 temperature of masonry units is less than 40 degrees F (4 degrees C).
- 21 B. Hot Weather Requirements: In accordance with ACI 530.1 when ambient temperature is  
22 greater than 100 degrees F (38 degrees C) or ambient temperature is greater than 90  
23 degrees F (32 degrees C) with wind velocity greater than 8 mph (13 km/h).

24 PART 2 PRODUCTS

25 2.1 MORTAR

- 26 A. Manufacturers:
- 27 1. US Heritage Group, Inc. Model – Heritage Custom-Blended Type O Mortar.
- 28 2. Substitutions: Permitted – Approved equal or better.

## 2.2 COMPONENTS

- A. Mortar Aggregate: ASTM C144, to match existing historic mortar in color, size, shape, and gradation as per lab analysis results.
- B. Non-hydraulic hydrated lime, Type S, ASTM C207.
- C. Cement: ASTM C150, White
- D. Mortar Color: Color to match existing mortar color as per lab analysis results.
- E. Water: Clean and potable.
- F. Calcium chloride is not permitted.

## 2.3 MIXES

### A. Mortar Mixes:

- 1. Mortar for Face Brick Masonry: US Heritage Group, Inc., Heritage Custom-Blended Type O Mortar, 1 part Portland cement, 2 parts non-hydraulic hydrated lime, and 8 parts sand (to match historic mortar (as per lab analysis) in color, aggregate, appearance, and composition).
- 2. Mortar for Indiana Limestone Masonry: US Heritage Group, Inc., Heritage Custom-Blended Type O Mortar, 1 part Portland cement, 2 parts non-hydraulic hydrated lime, and 8 parts sand (to match historic mortar (as per lab analysis) in color, aggregate, appearance, and composition).
- 3. Substitutions: No substitutions for the mortar mixes are allowed; manufacturer substitutions of equal or better are allowed.

### B. Mortar Mixing:

- 1. Thoroughly mix mortar ingredients in accordance with ASTM C270 in quantities needed for immediate use... or Pre-blended US Heritage Group mortar will arrive on site in sealed pre-mixed containers.
- 2. Water component to be added as per manufacturer's recommendations and instructions.
- 3. Re-temper as per manufacturer's recommendations only.
- 4. Mixing of individual mortar ingredients on site will not be permitted.

## PART 3 EXECUTION

### 3.1 INSTALLATION

- A. Install mortar in accordance with Section 04 01 00.

## 1 3.2 FIELD QUALITY CONTROL

- 2           A.       Testing Frequency: One set of specified tests for every 5,000sf (465 sq m) of completed  
3           wall area.
- 4           B.       Testing of Mortar Mix: In accordance with ASTM C780.

5 END OF SECTION





*Preserving America's Historic Masonry*

## INSTALLATION GUIDELINES AND PROCEDURES FOR LIME PUTTY AND HYDRAULIC LIME MORTARS FOR REPOINTING APPLICATIONS

### Wall Preparation for Repointing

#### A. Tools & Approach

1. **Power Tools**— When used in a controlled way, power tools with diamond-impregnated metal blades — with a maximum 1/8-inch-thickness and 4-inch diameter — can be very helpful in the mortar-removal process. It is when power tools are used to “clean out the entire joint,” often in two passes and edging the top and bottom sides of the masonry units, that irreversible damage can and often does occur.
2. **Center-Cut Method (CCM)** – The CCM is a combination of power-tool and hand-chiseling techniques for successfully removing existing mortar from a wall without damaging the masonry units. The CCM allows the use of power tools to remove existing mortar joints — if the width of the existing bed joint is at least 3/8 inch. The CCM was developed to protect existing masonry units and joint profiles by eliminating contact between cutting blades and masonry units. It is for horizontal joints only. Center cutting of the vertical head joints should not be allowed. Once the center is cut from the joint, the top and bottom of the mortar between the masonry units can be easily removed by carefully using a five-in-one, a chisel and hammer, or pneumatic carving tools.  
  
Strictly adhere to a written quality-control program to prevent damage due to worker fatigue. The quality-control program should include provisions for demonstrating the ability of operators to use power tools without damaging masonry, for supervising performance, and for preventing damage due to worker fatigue.
3. **Hand Chiseling** – It is wrong to assume that removing existing mortar by hand causes less damage to masonry units than does using angle grinders. The use of five-in-ones, tile scrapers, and chisels and hammers can also cause irreversible damage.
4. **Raking Out Lime Mortar** – Soak the joint with water to soften the lime mortar before removal. Rake out or scrape the mortar by hand with a five-in-one or a chisel and hammer. Lime mortar removal does not usually require the use of power tools.

#### B. Mortar Removal

1. **Depth of Removal** – Rake out joints to a minimum depth of 2.5 times the width of the existing mortar joint but not less than that required to reach sound existing mortar. However, so as not to compromise the structural stability of the wall, the joint should not be raked out more than half the width of the masonry unit.

Examples: 1/16" Mortar joint needs to be cut out to a depth of 3/16" minimum  
1/8" Mortar joint needs to be cut out to a depth of 5/16" minimum  
1/4" Mortar joint needs to be cut out to a depth of 5/8" minimum  
3/8" Mortar joint needs to be cut out to a depth of 15/16" minimum  
1/2" Mortar joint needs to be cut out to a depth of 1-1/4" minimum  
3/4" Mortar joint needs to be cut out to a depth of 1-7/8" minimum  
1" Mortar joint needs to be cut out to a depth of 2-1/2" minimum

2. **Square Back Reveals** – Remove existing mortar from masonry surfaces within the raked-out joints to provide reveals with square backs and to expose masonry for contact with the repointing mortar. Brush, vacuum, or flush the joints with water to remove dirt and loose mortar. Do not spall or chip masonry units in the process of mortar removal.
3. **Featheredging** – For the long-term performance and appearance of the replacement mortar, do not feather the edge of the existing mortar. Featheredging happens when a joint has not been raked out deep enough, when square-back corners have not been cut, or when the grinding wheel is removed from the joint. To promote bonding between the existing and the replacement mortars, the meeting point should be clean-cut at a 90-degree angle.
4. **Changing the Visual Appearance of the Wall** – Do not widen the existing masonry joints by cutting into the surrounding edges of the masonry units.

## C. Mixing & Application

### 1. Mixing

- a. **Mixing** – Mortar should be mixed according to the manufacturer's recommendations. The mortar material should resemble the consistency of brown sugar during installation. This drier consistency allows the material to be tightly packed into the joint, provides for cleaner work, and prevents shrinkage cracks as the mortar cures.

### 2. Application

- a. **Presoak Masonry Wall** – Rinse masonry-joint surfaces with water to remove dust and mortar particles. Time the rinsing applications so that the joint surfaces are damp but free of standing water when it is time to point. If the rinse water dries, dampen the masonry-joint surfaces before pointing.
- b. **Back Pointing** – The replacement mortar should be applied to the deepest cut/deteriorated areas in the existing mortar first.
- c. **Layers** – Mortars for repointing can be applied in single lifts up to a maximum one and one-quarter inch (1-1/4 inch or 9 mm). When the depth of the mortar application exceeds 1-1/4 inch, then divide the application depth by two – for example a joint depth of 1-1/2 inch can be pointed in two 3/4-inch layers. Fully compact each layer and allow it to become thumbprint hard before applying the next layer. Thumbprint hard is when the applied mortar has dried enough that it is tight when you touch it with your thumb or finger.
- d. **Placing Mortar** – After the deepest areas have been filled to the same depth as the remaining joints, point all joints by placing mortar in layers not greater than one and one-quarter inch (1-1/4 inch or 9 mm). Fully compact the mortar into the joint. Overfill the mortar past the face of the masonry units but do not allow it to spread over the edges onto the masonry surfaces. Do not featheredge the mortar. Where existing bricks or stones have worn edges, slightly recess the finished mortar surface below the face to avoid widened joint faces.
- e. **Finishing Mortar** – When the mortar is thumbprint hard, remove excess mortar from the edge of the joint by cutting with a trowel or raking tool. Match the original joint profile and finish. The point at which the mortar becomes thumbprint hard will depend on several factors: the mortar formulation, weather conditions, the rate at which the masonry units absorb water, the application depth, and the width of the joint. Lime mortar can often be finished within hours of installation or the following day. Follow the mortar manufacturer's recommendation regarding the timing for finishing the joints. The joints should be finished to match the original historic joint profile. The use of a churn brush to stipple the joints is recommended. Finishing the joints with a steel concave striking tool is not recommended.



## D. Carbonation & Curing

### 1. Carbonation

- a. **Setting Time** – Lime mortar sets by carbonation rather than by hydration and requires more time to set than does Portland cement mortar. During carbonation, the mortar hardens as the lime putty slowly converts back to limestone by absorbing carbon dioxide from the atmosphere. It is necessary to initiate the carbonation process by water misting the material after the tooling of the joint profile has been completed. Nine (9) complete wet-and-dry cycles are required usually within the first three days after application.
- b. **Speed of Carbonation** – The speed at which the carbonation process initially starts depends on the ability of a masonry wall to dry out as it releases moisture by evaporation. Carbon dioxide is pulled into the mortar as the moisture evaporates from the surface of the joint. Air temperature, wall surface temperature, direct sunlight, air circulation, application width and depth, and the tooling style will dictate the frequency of misting and the length of time required to complete the nine wet and dry cycles. Water misting is still necessary in wetter climates, but the amount of water used will vary as will the timing between water misting applications.

### 2. Curing Methods

- a. **Methods** – Acceptable curing methods include covering the repointed wall with plastic sheeting, periodic hand misting, and periodic mist spraying using a system of pipes, mist heads, and timers. Adjust curing methods to ensure that the pointing mortar is damp without eroding the surface of the mortar. Curing methods will vary in different parts of the country and at different times of the year, calling for different amounts of water to be used in the wet-and-dry cycles. Adjustments also have to take into account how much time is remaining before freezing weather arrives.

It is important to note that keeping the wall in a damp condition for 72 hours, which is a common instruction in specifications for cement-based mortar, provides no benefit at all and will slow the carbonation process. The wall must be allowed to dry out and then be misted with water again to initiate the carbonation process.

- b. **Wet & Dry Cycles** – The carbonation of lime mortar initially requires these cycles, which can be created by water misting the joints after the mortar application. The joint profile should be finished before these cycles are started. Water misting should be carried out until a full nine (9) alternating wet-and-dry cycles are completed. If weather conditions permit the work to dry between mistings, the nine (9) wet-and-dry cycles can usually be completed immediately after installation by water misting the repointing work three times per day for three days. It is more practical; however, to specify the number of cycles required because weather conditions vary. Nine wet-and-dry cycles may take only two days or several weeks depending on the conditions of the wall and the environment.
- c. **Protection** – Keep the mortar from drying out too quickly or from becoming too wet. Protect it from direct sun and high winds for the first 72 hours after installation or from driving rain for the first 24 hours, using plastic sheeting if necessary. Be careful not to create a greenhouse effect by sealing off air movement in an attempt to protect the wall with plastic. Air circulation is important in the carbonation process.



## E. Cleaning

### 1. Timing

- a. **Tools & Method** – When possible, it is better to clean existing masonry before repointing. When repointing work precedes the cleaning of existing masonry, allow the mortar to harden to the point that cleaning can be accomplished without eroding the surface of the mortar. This can be carried out as early as three days after repointing is finished and as long as one month later depending on the curing conditions. After the replacement mortar has fully hardened, thoroughly clean the exposed masonry surfaces of excess mortar and foreign matter. Use wood scrapers, stiff-nylon or fiber brushes and clean water that is spray-applied at garden-hose pressure.

Do not use metal scrapers or brushes.

Do not use acidic or alkaline cleaners.

## F. Common Problems

### 1. Cleaning Chemicals

- a. **Muratic Acid** – The use of Muratic or other acid-based cleaners can cause discoloration in lime mortars to a greater degree than they do to Portland cement mortars. Because lime mortars are more porous, they grab the cleaners and pull them into the body of the material faster than do cement mortars. The cleaners cause early deterioration of the lime and discolor the mortar. Recent trends in masonry restoration techniques to “tone down” or to “expose the aggregate” of newly installed restoration mortars using Muratic acid in field-mixed solutions or brand-name cleaners containing acidic materials **are not** recommended. While these trends create the visual effect of an aged mortar joint, the life cycle performance of the joint may have lost 15 to 20 years. Other techniques are now available to create an aged visual appearance of the new joint without the use of acidic solutions.



## Legislation Details (With Text)

**File #:** 111657 **Version:** 0

**Type:** Resolution **Status:** In Committee

**File created:** 3/26/2012 **In control:** HISTORIC PRESERVATION COMMISSION

**On agenda:** **Final action:**

**Effective date:**

**Title:** Resolution relating to a Certificate of Appropriateness to build an amphitheater at Kilbourn/Reservoir Park (Kadish Park).

**Sponsors:** THE CHAIR

**Indexes:** HISTORIC PRESERVATION, HISTORIC PRESERVATION COMMISSION, PARKS, THEATERS

**Attachments:** HPC Staff Report, Application and Drawings

Date	Ver.	Action By	Action	Result	Tally
3/26/2012	0	COMMON COUNCIL	ASSIGNED TO		

Number  
111657  
Version  
ORIGINAL  
Reference

Sponsor  
THE CHAIR  
Title

Resolution relating to a Certificate of Appropriateness to build an amphitheater at Kilbourn/Reservoir Park (Kadish Park).

Requestor

Drafter  
CC-CC  
dkf  
3/26/12



## Milwaukee Historic Preservation Commission Staff Report

LIVING WITH HISTORY

**HPC meeting date: 4/10/2012**  
**Ald. Milele Coggs District: 6**  
**Staff reviewer: Paul Jakubovich**  
**PTS #76230**

<b>Property</b>	701 E. GARFIELD AV. <b>Kilbourn Reservoir Park Historic District</b>	
<b>Owner/Applicant</b>	CITY OF MILWAUKEE C/O CITY REAL ESTATE 809 N BROADWAY MILWAUKEE WI 53202	Tom Schneider 909 E. North Avenue Milwaukee, WI 53212 Phone: (414) 263-8383
<b>Proposal</b>	Construct new amphitheater south of North Avenue in the Kilbourn/Reservoir Park district in an area of the park presently called Kadish Park.	
<b>Staff comments</b>	<p>The project is composed of three site alterations/additions: A new six foot wide asphalt path to connect the lower and upper portions of the site; a pavilion of approximately 300 square feet featuring a shell-shaped roof made of curving steel beams that are covered with a stretched fabric roof; and three new, tiered concrete benches that curve around the performance stage.</p> <p>The curving design of the performance shelter and benches around it blends well with the rolling hills of Kilbourn/Reservoir Park. The tiered concrete seating is seamlessly nestled into the hillside. The proposed asphalt path will prove a means to connect the pavilion with existing paths closer to E. North Avenue. The proposed work meets the preservation guidelines for the site and is a fine addition to the park.</p>	
<b>Recommendation</b>	Recommend HPC Approval	
<b>Conditions</b>		
<b>Previous HPC action</b>		
<b>Previous Council action</b>		



# APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

## Kadish Park Amphitheater

March 21, 2012





# CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.  
Please print legibly.

Leid e HP  
3/21/2012

1. **HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT:** (if known)  
Alice Bertschy Kadish Park adjacent to Byron Kilbourn Park

**ADDRESS OF PROPERTY:**  
South of the 700 and 800 blocks of East North Avenue and north of Commerce Street

2. **NAME AND ADDRESS OF OWNER:**

Name(s): The owner is the City of Milwaukee. The property is leased to COA Youth & Family Centers at

Address: 909 E North Avenue

City: Milwaukee State: WI ZIP 53212

Email: TomSchneider@coa-yfc.org

Telephone number (area code & number) Daytime: 414-263-8383 ext 100 Evening: cell: 414-788-8608

3. **APPLICANT, AGENT OR CONTRACTOR:** (if different from owner)

Name(s): COA Youth & Family Centers

Address: 909 E North Avenue

City: Milwaukee State: WI ZIP Code: 53212

Email: TomSchneider@coa-yfc.org

Telephone number (area code & number) Daytime: 414-263-8383 ext 100 Evening: cell: 414-788-8608

4. **ATTACHMENTS**

A. **REQUIRED FOR ALL PROJECTS:**

Pg. 2-6 Photographs of affected areas & all sides of the building (annotated photos recommended)

Pg. 7-11 Sketches and Elevation Drawings (1 full size and 2 reduced to 11" x 17" or 8 1/2" x 11")

Pg. 10, 20 Material and Design Specifications (see next page)

B. **NEW CONSTRUCTION/DEMOLITION ALSO REQUIRES:**

Pg. 12 Floor Plans (1 full size and 1 reduced to 11" x 17")

Pg. 13 Site Plan showing location of project and adjoining structures and fences

Pg. 14-18 Other (explain):

**PLEASE NOTE: YOUR APPLICATION CANNOT BE PROCESSED UNLESS BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED.**

## 5. DESCRIPTION OF PROJECT:

Describe all existing features that will be affected by proposed work. Please specify the condition of materials, design, and dimensions of each feature (additional pages may be attached)

See additional pages attached (pg. 19).

Photo No. Drawing No.

B. Describe all proposed work, materials, design, dimensions and construction technique to be employed (additional pages may be attached)

See additional pages attached (pg. 20).

Photo No. Drawing No.

## 6. SIGNATURE OF APPLICANT:

Signature

Thomas P. Schneider 11-30-11  
Print or type name Date

This form and all supporting documentation **MUST** arrive by 12:00 noon on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Hand Deliver or Mail Form to:  
Historic Preservation Commission  
City Clerk's Office  
200 E. Wells St. Room B-4  
Milwaukee, WI

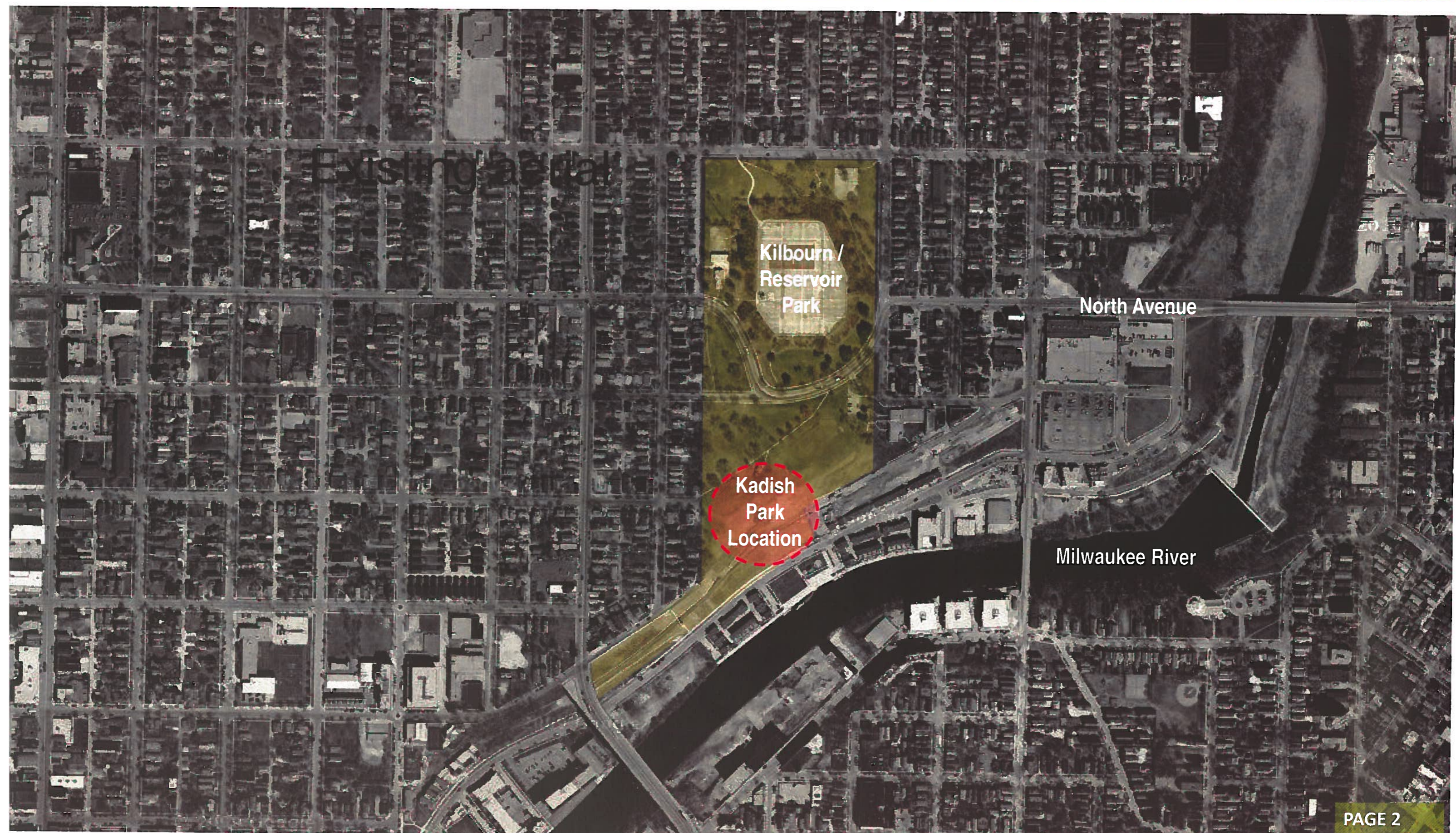
PHONE: (414) 286-5722

FAX: (414) 286-3004

www.milwaukee.gov/hpc

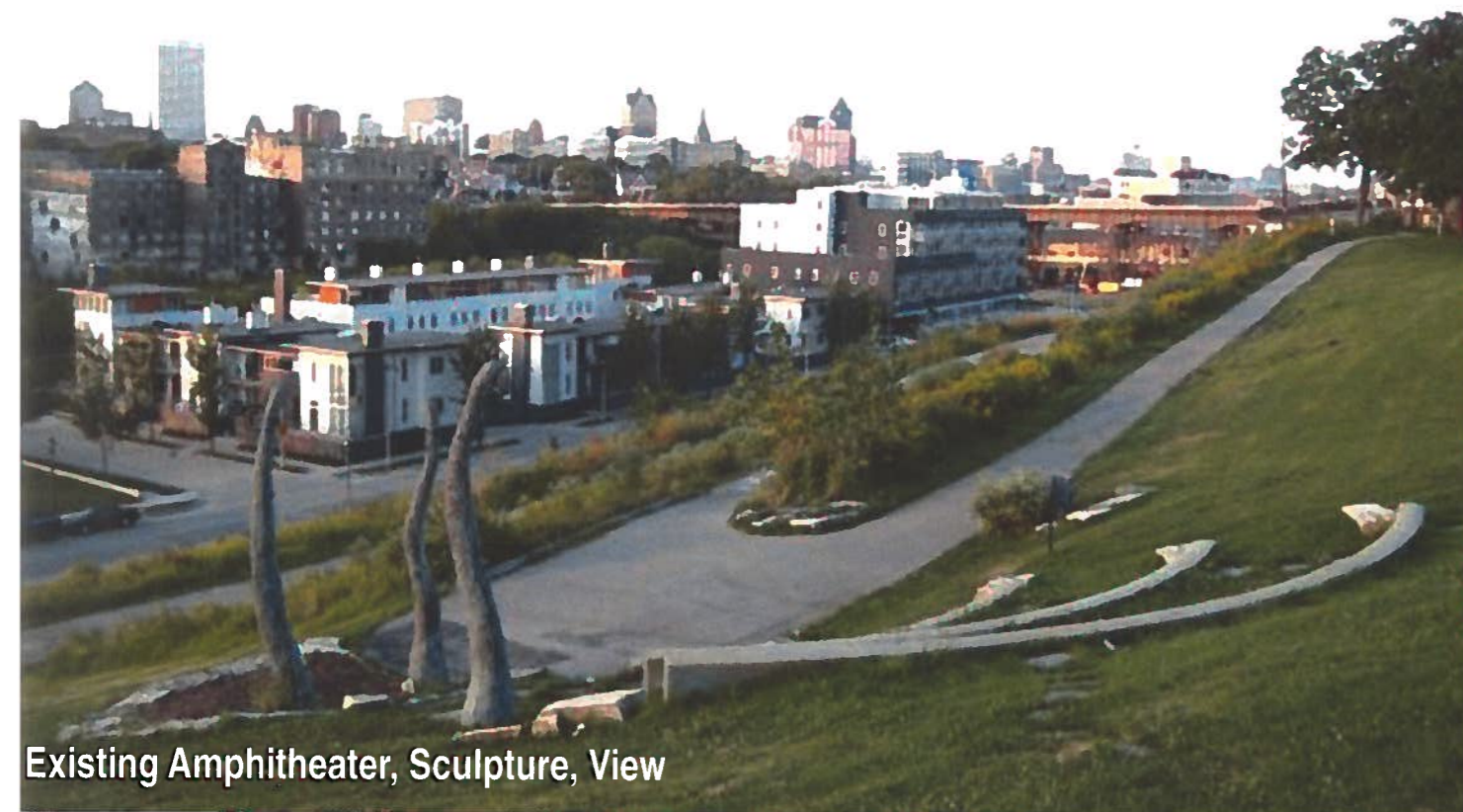
# ATTACHMENT 4A: Aerial View of Location

Photographs of affected areas & all sides of the building (annotated photos recommended)



# ATTACHMENT 4A: Site Photographs

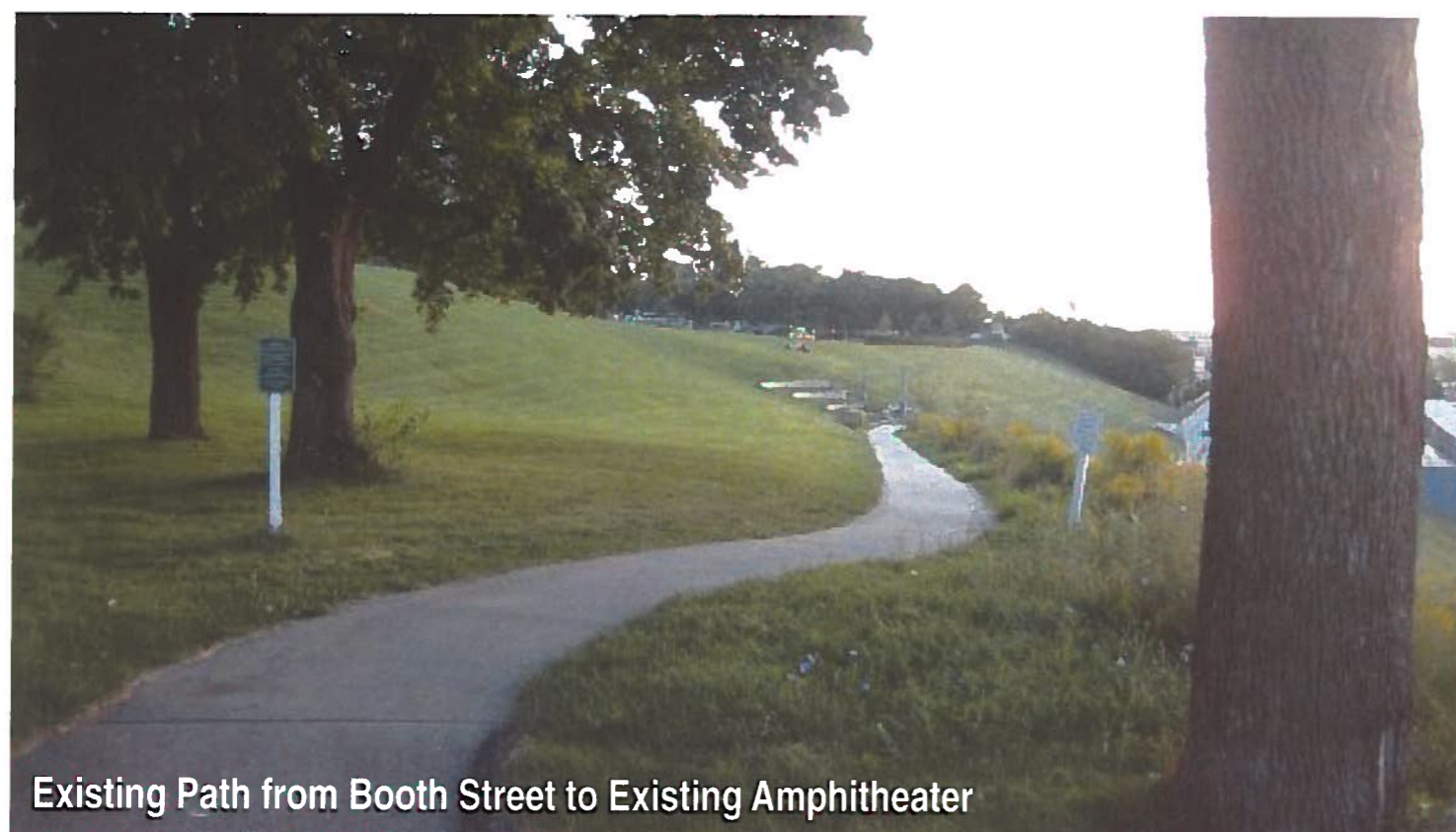
Photographs of affected areas & all sides of the building (annotated photos recommended)



Existing Amphitheater, Sculpture, View



Existing Switchback Path



Existing Path from Booth Street to Existing Amphitheater



Existing Seatwalls

# ATTACHMENT 4A: Skyline Music Event Photographs

Photographs of affected areas & all sides of the building (annotated photos recommended)



Existing Stage Setup

COA YOUTH & FAMILY CENTERS PRESENTS

## SKYLINE MUSIC

ENJOY THE MUSIC • BRING A PICNIC • EMBRACE DIVERSITY

TUESDAYS • 5:30-8:30 PM • KADISH PARK  
BETWEEN THE RESERVOIR AND COMMERCE ST.

July 6 — The Urbanites  
July 13 — King Solomon  
July 20 — Alex Wilson Band  
July 27 — De La Buena  
August 3 — Midnight Groove  
August 10 — Paul Cebar  
Tomorrow Sound<sup>®</sup>  
\*Sponsored by Allen Silverstein Law Offices



On-Site Design Meeting



Seating on Hill



Seating on Hill



Conceptual Model

# ATTACHMENT 4A: Skyline Music Event Photographs

Photographs of affected areas & all sides of the building (annotated photos recommended)



# ATTACHMENT 4A: Aerial View of Existing Site

Photographs of affected areas & all sides of the building (annotated photos recommended)



# ATTACHMENT 4A: Aerial View of Proposed Sitework

Sketches and Elevation Drawings (1 full size and 2 reduced to 11"x17" or 8 1/2" x 11")



*New Accessible Path  
(Slope = 1:20)*

*New Accessible  
Upper Level  
Seatwalls (3)*

*New Accessible Stage*

# ATTACHMENT 4A: Photograph of Existing Amphitheater

Photographs of affected areas & all sides of the building (annotated photos recommended)



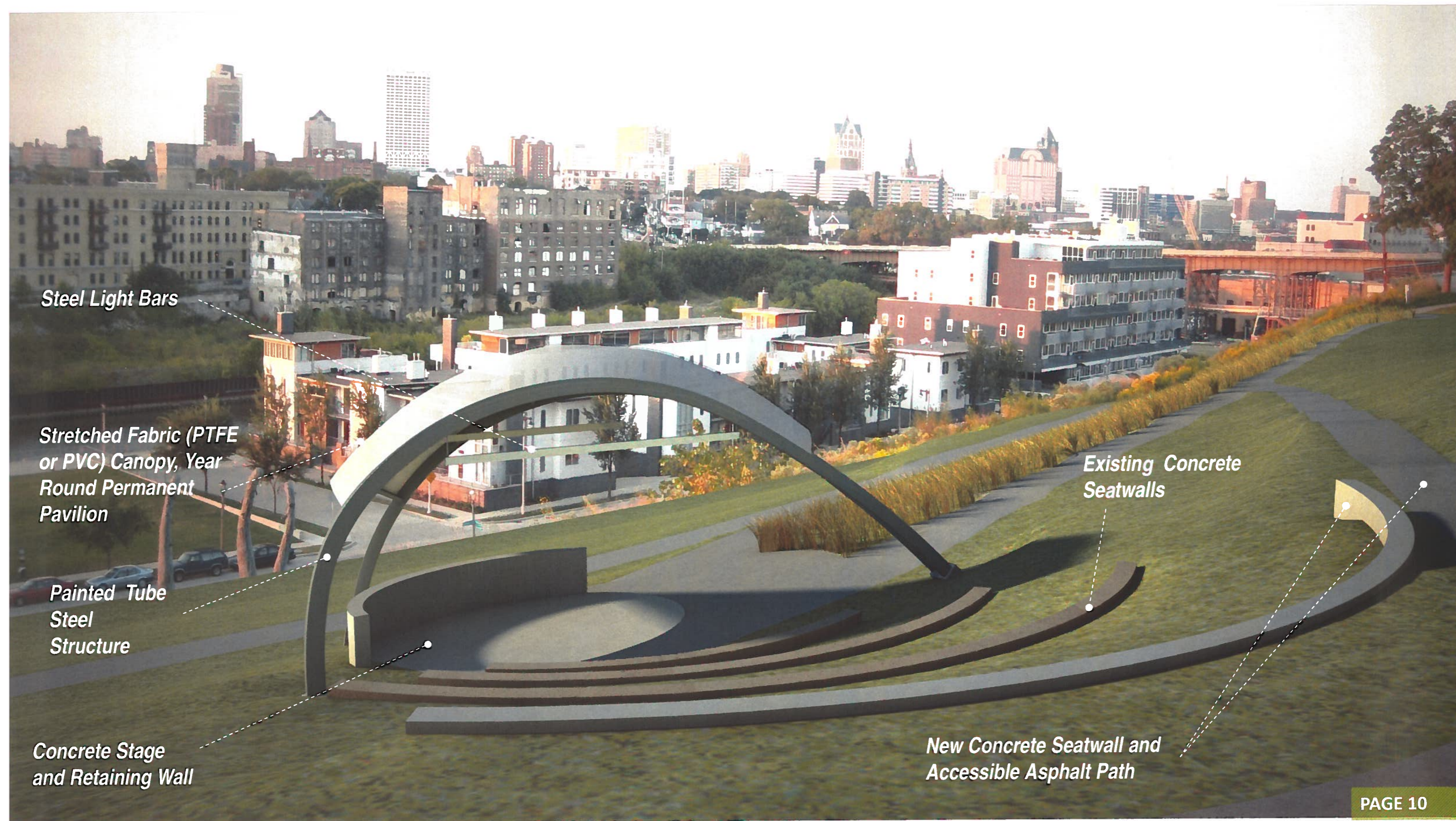
# ATTACHMENT 4A: Sketch of Proposed Amphitheater

Sketches and Elevation Drawings (1 full size and 2 reduced to 11"x17" or 8 1/2" x 11")



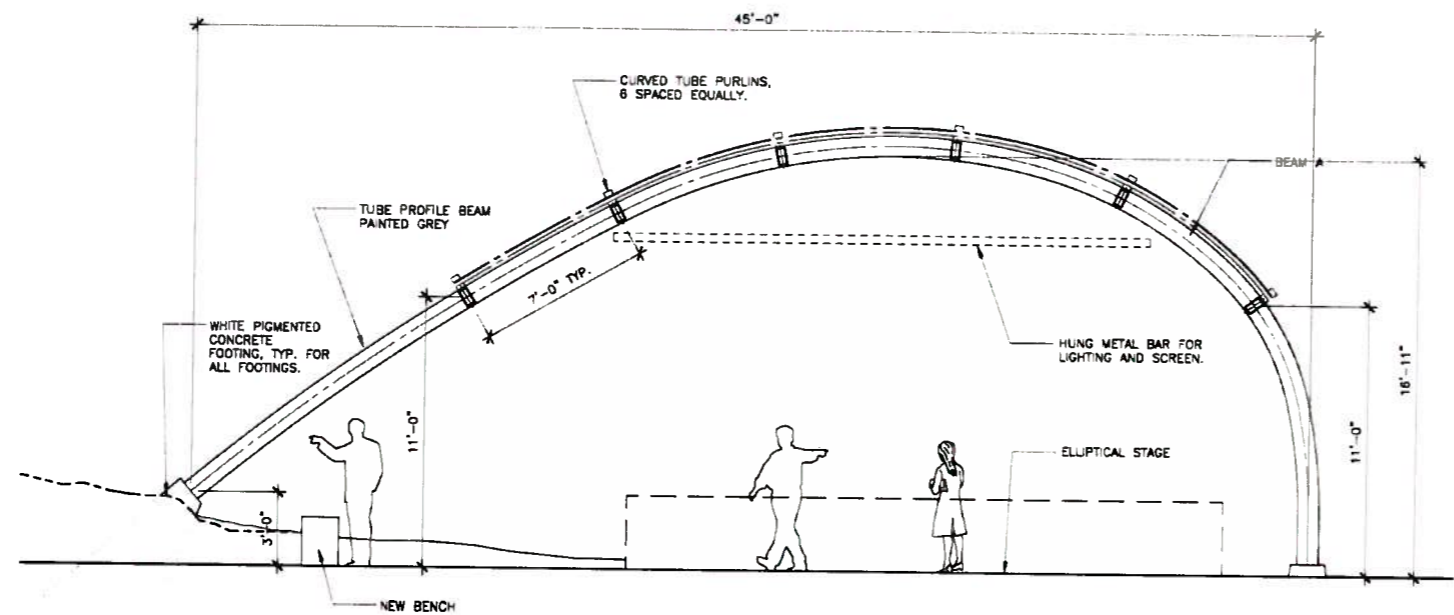
# ATTACHMENT 4A: Sketch of Proposed Amphitheater

Sketches and Elevation Drawings (1 full size and 2 reduced to 11"x17" or 8 1/2" x 11")

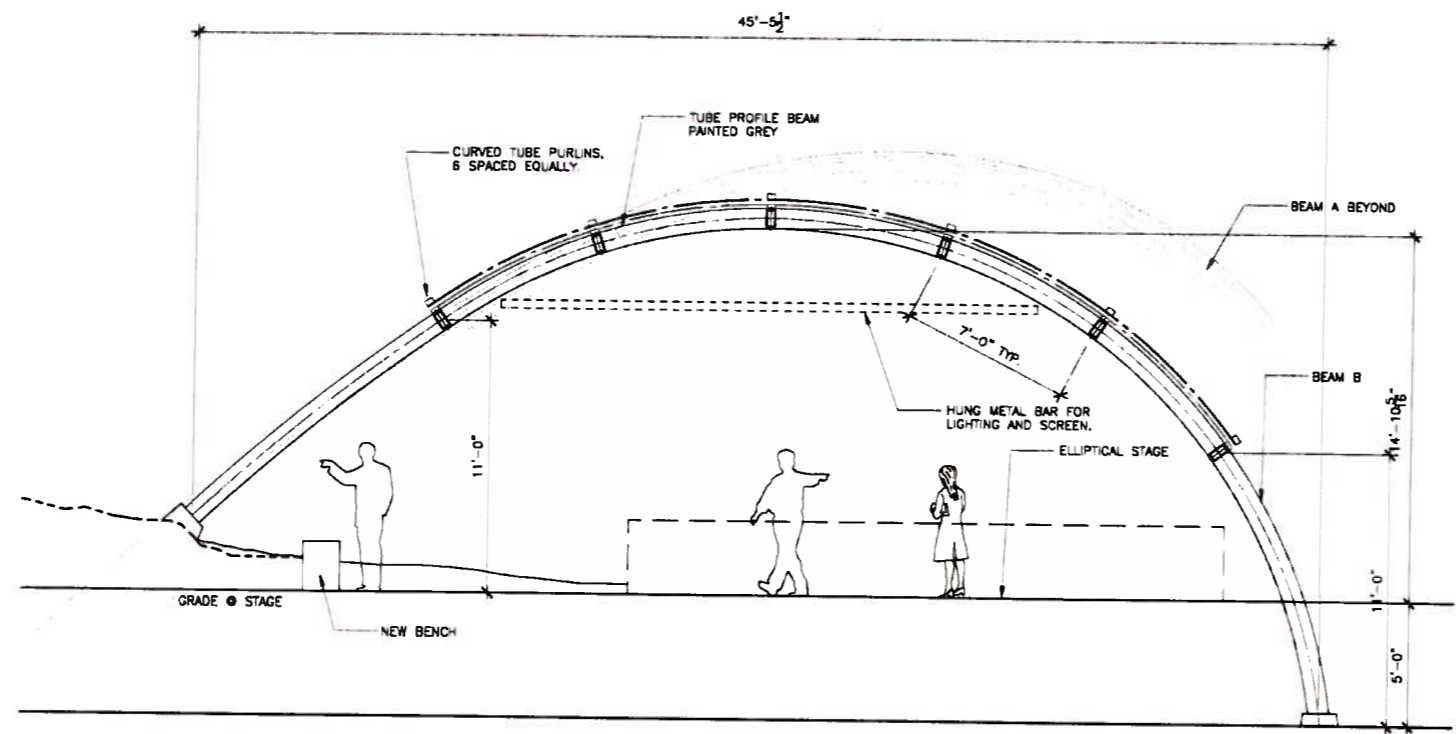


# ATTACHMENT 4A: Elevation Drawings

Sketches and Elevation Drawings (1 full size and 2 reduced to 11"x17" or 8 1/2" x 11")



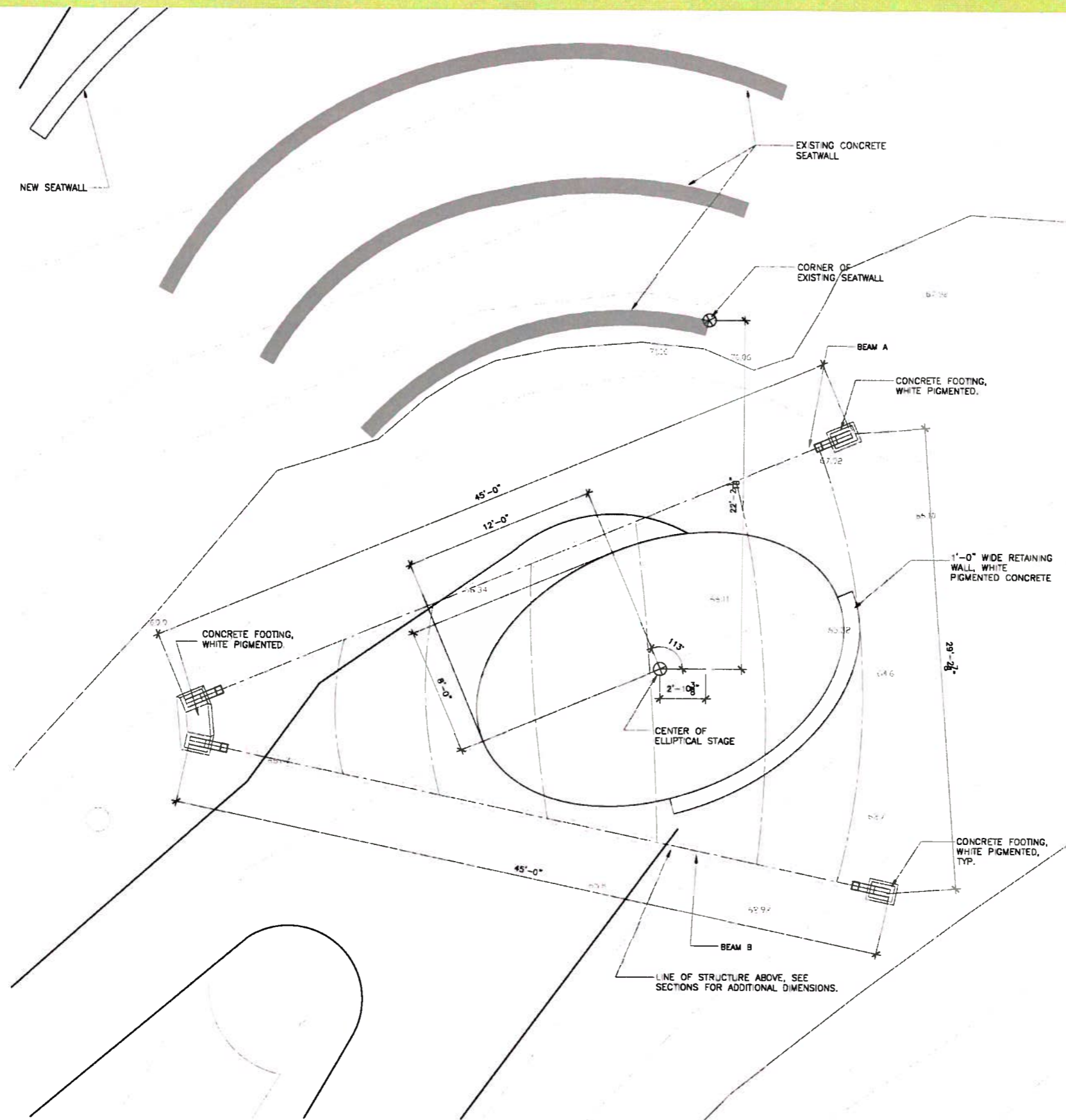
2 BEAM A  
1/4" = 1'-0"



3 BEAM B  
1/4" = 1'-0"

# ATTACHMENT 4B: Floor and Structure Plan

Floor Plans (1 full size and 1 reduced to 11"x17")



# ATTACHMENT 4B: Site Plan

Site Plan showing location of project and adjoining structures and fences



Architecture | Engineering | Planning  
Hammel, Green and Abrahamson, Inc.  
333 East Erie Street  
Milwaukee, Wisconsin 53202-6003  
Telephone 414.278.8200 Facsimile 414.278.7734

## KADISH PARK PAVILION



REVISION HISTORY-THIS SHEET

### CONSTRUCTION DOCUMENTS



CDMM. NO. G14-0406  
SCALE 1/20" = 1'-0"  
DATE DECEMBER 3, 2011  
DRAWN HGA

### SITE PLAN

A100

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FINAL HISTORIC DESIGNATION STUDY REPORT

KILBOURN/RESERVOIR PARK  
(Written Spring, 1999)

City of Milwaukee  
Department of Public Works  
James C. Kaminski, Commissioner  
841 N. Broadway  
Milwaukee, WI 53202

I. NAME

Historic: Kilbourn/Reservoir Park  
  
Common Name: Kilbourn/Reservoir Park

II. LOCATION

Street Address: 626 E. North Avenue  
701 E. Garfield Avenue

6<sup>th</sup> Aldermanic District  
Aldерwoman Marlene Johnson-Odom

Tax Key No. 321-1166-000

Legal description: J. L. PEIRCE'S SUBD OF LOTS 47-55 INCL IN SW ¼ 16-7-22 v2  
p125 BLOCKS 19- 20-37 BLKS 19 & 20 & LOTS 1 TO 12 INCL BLK 37  
& THAT PART OF LOTS 84-85 & 86 N OF E GARFIELD AVE OF PART  
OF LOTS 2 & 3IN NW 21-7-22 ADJ

Tax Key No. 354-0433-1111

Legal description: PLAT OF LOTS 2 & 3 OF SECTION 21 TOWN 7 R RANGE 22 (PART  
LOTS 85 & 86 SD SUBD & BLKS 1 & 2 & PART RESERVED LOT &  
VAC STS & ALLEYS IN KILBOURN'S ADD'N ADJ) BOUNDED BY (E  
NORTH AV ON N-N BREMEN ST & E 18.4' VAC E BREMEN ST ON E-  
S 25' VAC E RESERVOIR AV IN KILBOURN'S ADD'N & N LI FORMER  
RR ROW ON S & E LI E RESERVOIR AV & E LI PARK ADD'N SUBD  
ON E) EXC E GARFIELD AV TID # 22

III. CLASSIFICATION

District

IV. OWNER

City of Milwaukee  
c/o City Real Estate  
Gregory Shelko  
809 N. Broadway  
Milwaukee, WI 53202

V. YEAR BUILT: Reservoir (1872-1873)  
Comfort Station (801 E. Meinecke) (1931)  
Comfort Station (701 E. Garfield) (c.1931)  
Pumping Station (618 E. North Ave.) (1956)  
Service Building (618 E. North Ave.) (1965)  
Radio Transmitting Tower (618 E. North Ave.) (1971)

ARCHITECT: Comfort Station (1931) City Department of Bridges &  
Buildings  
Pumping Station (1956) Alvord, Burdick & Howson, Chicago  
Service Building (1965) William Hammann, engineer

VI. PHYSICAL DESCRIPTION

Kilbourn/Reservoir Park is located on the city's near north side approximately one and a half miles from the Central Business District. The park is roughly rectangular in shape and is bisected from east to west by East North Avenue. It is bounded to the east by North Bremen Street and to the north by E. Meinecke Avenue. To the west the boundary is formed by the alley between N. Booth and N. Pierce Streets and the east property lines of properties fronting on North Booth Street. To the south the park is bounded by the extension of East Glover Street (formerly E. Reservoir Avenue). The park is approximately 29.28 acres including the roadways, or 26.96 acres excluding those portions of East North Avenue and East Garfield Avenue which extend across the grounds.

The two portions of the park have distinctive physical characteristics. The north portion of the park consists of a large, mostly man-made hill of irregular shape in which is located the reservoir. The dimensions of the reservoir are approximately 515 feet (north-south) by 310 feet (east-west). When filled with water to a depth of 21 feet, the water surface is 150 feet above city datum. Between the reservoir and Meinecke Street, the hill tapers off to relatively flat land. The grounds are planted with trees and a pathway skirts the base of the hill. The south portion of the park features rolling terrain, open meadows and trees and terminates at a bluff overlooking the Milwaukee River.

In addition to the reservoir itself, other man-made structures are located within the park. A softball diamond is located at the northwest corner of the grounds along Meinecke Street. A playground and playground equipment are located at the northeast corner. A Tudor Revival style comfort station opposite N. Fratney Street was built in 1931 by the city's department of Bridges and Buildings. The cross-gabled structure features widows on each wall and an entrance on its east elevation. Stucco and half timbering adorn the gable ends. Other structures, which specifically service the reservoir, include the 1956 Pumping Station, a flat roofed yellow brick building to the west of the reservoir, and a concrete block service building constructed in 1965. These two post- World War II buildings and the radio transmitting tower are considered non-contributing buildings to the district. The long-familiar planting bed on the east slope of the reservoir, consisting of a star within a circle, was first planted in honor of the American Legion in 1941 when the group held its national convention here in

that year. A granite monument is located at the southeast slope of the reservoir near E. North Avenue. It was installed in 1920 by the residents of the 6<sup>th</sup> and 13<sup>th</sup> wards and commemorates those who died in World War I. The south portion of the park features a surface parking lot near the N. Bremen corner of the grounds as well as a comfort station and a concrete wall that skirts the top of the bluff overlooking the Milwaukee River. There is also a grassy area set aside for soccer games. The brick comfort station is of Chateausque design, with a towered entry trimmed in stone and half timbering adorning the flanking sidewalls. The reinforced concrete wall along the bluff top features upright paneled piers between which are paneled spandrels that sport a diamond design.

Alterations to the grounds have consisted in the construction and removal of various structures within the park, the addition and removal of various walkways and fencing throughout the park. The reservoir itself was once open and visitors were able to stroll along the circumference beginning in the 1870's. To keep people from swimming in the structure, decorative iron fencing was later installed in 1907. To address concerns of security and water contamination, a concrete cover was installed over the top of the reservoir in 1978-1979. Tennis courts and a jogging track were built atop the cover and in use until the early 1990's when vandalism became a problem. The entire reservoir is now enclosed by a chain link fence and not accessible to the public.

Around 1905, a wood pavilion and chalet style comfort station were constructed in the park. Somewhat later a small octagonal bandstand was also built and once stood near the pavilion. The last of these structures was removed by 1980. Reservoir Avenue, now E. Glover Avenue, once extended into the park and connected up with E. North Avenue but the roadway was removed sometime after the mid-1970s.

## VII. SIGNIFICANCE

Kilbourn/Reservoir Park is significant as one of the city's earliest and most important public works projects. The Reservoir has been in continual use since its completion in 1873. It still serves to equalize pressure in the water system. Located at what was then the highest point in the city, the reservoir remains a visual landmark, particularly along E. North Avenue where the roadway jogs to accommodate the large earthworks. At the time it was completed, the Kilbourn Reservoir was the largest storage reservoir on the Great Lakes. Kilbourn/Reservoir Park is also significant as one of the earlier public green spaces in the city. Byron Kilbourn donated to the city land he owned at this high point in the city for use as a public park with the provision it be called Kilbourn Park. This donation preceded the creation of the Park Board and the city park system. Due to its location and the panoramic vista afforded from its grounds Kilbourn Park quickly became one of the most popular of the smaller parks in the city from the 1870's through the early part of the twentieth century.

## VIII. HISTORY

One of Milwaukee's most distinctive green spaces is also now one of the city's lesser-known gems. Like Water Tower Park, Kilbourn Park was created as part of the city's first water system. It is located on the high ground just west of the Milwaukee River along North Avenue. This spot was the highest point in the city at that time, some 150 feet above city datum, and was an ideal site for the location of the reservoir that was needed for the city's first gravity-fed public water system.

Milwaukee's need for a municipal water works system was discussed as early as the 1850's. The city's growing population necessitated a reliable water source for adequate fire

protection and to protect public health. Land was acquired for a water works at today's northwest corner of Lake Drive and East North Avenue but the large municipal debt prevented the project from moving forward. When the economy recovered after the Civil War Milwaukee officials turned once again to the issue of a municipal water works, a matter made urgent by the continued expansion of the city and the more frequent outbreaks of water borne diseases. Chicago's city engineer, E. S. Chesborough was hired as a consultant to work on the project in 1868. Among Chesborough's several recommendations, that of obtaining water from Lake Michigan was deemed best and ultimately adopted. State legislation on March 24, 1871 allowed Milwaukee to adjust its debt, construct a water works system and establish a Board of Water Commissioners to oversee its operations. Components of the system included an intake pipe set out in Lake Michigan, a pumping station at the foot of East North Avenue below the bluff along the lakeshore, a standpipe or water tower, a reservoir and various mains and hydrants throughout the city.

About 1868 a little over 4 ½ acres were set-aside on the highest point in the city by founding father Byron Kilbourn for public purposes. It is said that the land was originally intended by Kilbourn to be used as a site for a new college to be named Kilbourn College. The school never materialized, but between 1872 and 1875 as the water works system was under construction, the city acquired additional acreage to provide for pleasure grounds around the reservoir.

The contract for work on the reservoir was awarded on April 9, 1872 and construction started shortly thereafter on April 19, 1872. The stone-lined reservoir was completed in 1873 at a cost of \$117, 920 and was the first facility of the Milwaukee Water Works to be finished. Water was temporarily pumped from the Milwaukee River beginning on October 24<sup>th</sup> that year and by November 3, 1873 water was flowing from the reservoir into the large feeder mains and later into the small distribution mains throughout the City. When the North Point Pumping Station became operational on September 14, 1874, the temporary pump at the Milwaukee River was discontinued and lake water was pumped into the reservoir as had been originally intended. The earth-embanked reservoir is of irregular shape, roughly 310 feet wide (east-west) by 515 feet long (north-south) and holds 20 million gallons of water with a surface area of 3 ½ acres. The original contractors were Messrs. Gilbert and Charles Peterson.

The reservoir was an instant hit among city residents and the Sentinel reported that hundreds of persons visited the site on weekends. A watchman was on duty to keep people from swimming in the facility but an ornamental iron fence was installed in 1907 to prevent persons and animals from falling into the water. This fence, or its successor, is visible in a Milwaukee Journal photo from 1941.

Over the decades the reservoir has been periodically drained to address problems with sedimentation, leaking, to address complaints of bad tasting water and complaints of small fish making their way into the faucets of city residents. In 1929 the original stone-lined interior, which had experienced chronic joint and mortar failure, was given a new concrete Gunite lining and concrete lines the interior of the reservoir today. The most significant change to the reservoir has been the installation of a concrete cap necessitated by Federal regulations against bird droppings in an open-air reservoir. Work on the cap took place in 1978 and 1979 by the Becker Construction Co. The cap is supported by concrete pillars which have reduced the capacity of the reservoir from about 22 million gallons to its current

20 million-gallon capacity. A jogging track and tennis courts were installed on the top of the reservoir cap and were well used by local residents until vandalism forced their closing in the early 1990's. Today, the public is no longer allowed to stroll up to the top of the reservoir and the area is cordoned off by a chain link fence.

As of 1896, the reservoir no longer served as a distribution reservoir as it had since its construction. Rather it was used to equalized pressure in the low-service district, a function it still serves today.

As the city acquired additional acres adjacent to the reservoir in the 1870's, efforts were made to beautify the grounds and local landscape architect William Brotherhood was retained to lay out the grounds. Newspaper accounts also mention that City Engineer Hilbert's artists were working on the design of the grounds. By the 1890's the park could boast pretty walks, fountains, an artificial waterfall, iron benches and "romantic corners". A park watchman was heard to complain that the "young German folks like to make love in such poetic places" and that the park "swarms with people every warm night." At that time a park patron suggested removing the shanties between the park and the St. Paul Railway tracks below which ran alongside the Milwaukee River. He also suggested extending "the park by means of viaducts over these tracks [St. Paul Railway] to the river, and you will have as fine and nice a park as Milwaukee may wish for."

Additional work was done on the park after the turn of the century. The original main drive through the park, built of cedar blocks, was replaced with macadam in 1904. Aerial views show the location of these roadways, which have now for the most part been removed. Additional trees and shrubs were planted in 1905 and a chalet style comfort station was built in the north end of the park that same year. A pavilion was constructed in the south half of the park at the same time. A separate bandstand was built in 1914 and there were tennis courts and playground equipment as well. A horse stable and wagon barn were located in the northwesterly part of the park for use by Water Department employees. A wading pool was later added at the northeast corner of the grounds.

The chalet style comfort station was replaced by new brick structures in 1931. These two structures feature half-timbering and are still in good condition. Other early buildings in the park have been removed over time. The early I-shaped pavilion was razed in 1942 and the band stand taken down in the late 1970's. The last concerts were held in 1968 and discontinued due to violence. Structures connected with the operation of the reservoir include the plain yellow brick pumping station built in 1956 and designed by Alvord, Burdick and Howson of Chicago, and a simple service building constructed in 1965. These structures are non-contributing to the historic district. There is also a small structure located atop the reservoir itself. A radio-transmitting tower was constructed west of the reservoir in 1971, for use by the police department.

The distinctive star-in-a-circle floral design on the east face of the reservoir, which can be seen from E. North Avenue, has long been a visual landmark. The flowerbed was first planted in 1941 to honor the American Legion, which held one of its largest conventions in Milwaukee that year, and has been replanted most years since.

Despite the removal of many of the old-time turn of the century structures on the grounds of Kilbourn/Reservoir Park, the park is still favored by children making use of the playground

equipment in the north part of the grounds. The lower portion of the park is used for soccer games and still provides a dramatic overlook of the Milwaukee River Valley and one of the best panoramic views of downtown Milwaukee, which is especially dramatic at night. The landscaping of the grounds and old park buildings, however, are not the basis for the nomination. The significant features of the park which are the basis for the nomination and which have not changed significantly over time, are the massive earthworks of the reservoir itself which represent a major 19<sup>th</sup> century public works accomplishment and the rolling grassy terrain of the south portion of the park.

## IX. STAFF RECOMMENDATION

Staff recommends that the Kilbourn/Reservoir Park at 626 E. North Avenue and 701 E. Garfield Avenue be given historic designation as a City of Milwaukee Historic Structure as a result of its fulfillment of criteria e- 1, and e-9 of the Historic Preservation Ordinance, Section 308-81(2)(e) of the Milwaukee Code of Ordinances.

- e-1. Its exemplification of the development of the cultural, economic, social or historic heritage of the City of Milwaukee, State of Wisconsin or of the United States.
- e-9. Its unique location as a singular physical characteristic which represents an established and familiar visual feature of a neighborhood, community or the city of Milwaukee.

## X. PRESERVATION GUIDELINES

The following preservation guidelines represent the principal concerns of the Historic Preservation Commission regarding this historic designation. However, the Commission reserves the right to make final decisions based upon particular design submissions. Nothing in these guidelines shall be construed to prevent ordinary maintenance or the restoration and/or replacement of documented original elements.

### Guidelines for Historically Significant Structures Within Kilbourn/Reservoir Park

#### A. Roofs

Retain the roof shape. Skylights or dormers are discouraged but may be added to roof surfaces if they are not visible from the street or public right of way. Avoid making changes to the roof shape that would alter the building height, roofline or pitch. If replacement is necessary, duplicate the appearance of the original roofing as closely as possible.

#### B. Materials

##### 1. Masonry

- a. Unpainted brick, terra cotta, or stone should not be painted or covered. Avoid painting or covering natural terra cotta or stone. This is historically incorrect and could cause irreversible damage if it was decided to remove the paint at a later date.

- b. Repoint defective mortar by duplicating the original in color, style, texture and strength. Avoid using mortar colors and pointing styles that were unavailable or were not used when the building was constructed.
  - c. Clean masonry only when necessary to halt deterioration and with the gentlest method possible. Sandblasting limestone, terra cotta, or brick surfaces is prohibited. This method of cleaning erodes the surface of the material and accelerates deterioration. Avoid the indiscriminate use of chemical products that could have an adverse reaction with the masonry materials, such as the use of acid on limestone.
  - d. Repair or replace deteriorated material with new material that duplicates the old as closely as possible. Avoid using new material that is inappropriate or was unavailable when the building was constructed.
2. Wood/Metal
- a. Retain original material, whenever possible. Avoid removing architectural features that are essential to maintaining the building's character and appearance.
  - b. Retain or replace deteriorated material with new material that duplicates the appearance of the old as closely as possible. Avoid covering architectural features with new materials that do not duplicate the appearance of the original materials. Covering wood trim with aluminum or vinyl is not permitted.
- C. Windows and Doors
- 1. Retain existing window and door openings. Retain the existing configuration of panes, sash, surrounds and sills, except as necessary to restore to the original condition. Avoid making additional openings or changes in existing fenestration by enlarging or reducing window or door openings to fit new stock window sash or new stock door sizes. Avoid changing the size or configuration of windowpanes or sash. Use storm windows or protective glazing which have glazing configurations similar to the prime windows and which obscure the prime windows as little as possible.
  - 2. Respect the building's stylistic period. If the replacement of doors or window sash is necessary, the replacement should duplicate the appearance and design and material of the original window sash or door. Avoid using inappropriate sash and door replacements. Avoid the filling-in or covering of openings with inappropriate materials such as glass block, concrete block or wood. Avoid using modern style window units, such as horizontal sliding sash or casements, in place of double-hung sash or the substitution of units with glazing configurations not appropriate to the style of the building. Vinyl or metal clad prime window units are not permitted. Glass block or wood infill windows are not permitted, except on elevations where they will not be visible from the street.

- 3. Steel bar security doors and window guards are generally not allowed. If permitted, the doors or grates shall be of the simplest design and installed so as to be as unobtrusive as possible.
- D. Trim and Ornamentation
- There should be no changes to the existing trim or ornamentation except as necessary to restore the building to its original condition. Replacement features shall match the original member in scale, design, color and appearance.
- E. Additions
- Any additions to the two comfort stations/pavilions or other structures within the park require the approval of the Commission. Approval shall be based upon the addition's design compatibility with the building in terms of height, roof configuration, fenestration, scale, design, color, and materials, and the degree to which it visually intrudes upon the principal elevations or is visible from the public right of way.
- F. Signs/Exterior Lighting
- The installation of any permanent exterior sign or light fixture shall require the approval of the Commission. Approval will be based on the compatibility of the proposed sign or light with the historic and architectural character of the buildings and grounds. Plastic internally illuminated box signs are not permitted.
- G. Site Features
- New plant materials, paving, fencing, or accessory structures shall be compatible with the historic architectural character of the site visible from the public right of way.
- H. Guidelines for New Construction
- It is important that new construction be designed to be as sympathetic as possible with the character of the existing structures and the major landscape features of the park.
- 1. Siting
 

New construction must respect the historic siting of the existing buildings. It should be accomplished so as to maintain the appearance of the existing buildings from the street as freestanding structures.
  - 2. Scale
 

Overall building height and bulk, the expression of major building divisions including foundation, body and roof, and individual building components, such as overhangs and fenestration that are in close proximity to a historic building must be compatible to and sympathetic with the design of the existing buildings.

# ATTACHMENT 4B (Other): Kilbourn / Reservoir Park Historic Designation Study Report

## 3. Form

The massing of the new construction must be compatible with the goal of maintaining the integrity of the buildings as freestanding structures. The profiles of roofs and building elements that project and receded from the main block should express the same continuity established by the historic building if they are in close proximity to it.

## 4. Materials

The building materials that are visible from the public right-of-way and in close proximity to the historic buildings should be consistent with the colors, textures, proportions, and combinations of cladding materials used on the building. The physical composition of the materials may be different from that of the historic materials, but the same appearance should be maintained.

## I. Guidelines for Demolition

Although demolition is not encouraged and is generally not permissible, there may be instances when demolition may be acceptable if approved by the Historic Preservation Commission. The following guidelines, with those found in subsection 9(h) of the ordinance, shall be taken into consideration by the Commission when reviewing demolition requests.

### 1. Condition

Demolition requests may be granted when it can be clearly demonstrated that the condition of a building or a portion thereof is such that it constitutes an immediate threat to health and safety and is beyond hope of repair.

### 2. Importance

Consideration will be given to whether or not the building is of historical or architectural significance or displays a quality of material and craftsmanship that does not exist in other structures in the area.

### 3. Location

Consideration will be given to whether or not the building contributes to the neighborhood and the general street appearance and has a positive effect on other buildings in the area.

### 4. Potential for Restoration

Consideration will be given to whether or not the building is beyond economically feasible repair.

### 5. Additions

Consideration will be given to whether or not the proposed demolition is a later addition that is not in keeping with the original design of the structure or does not contribute to its character.

## Guidelines for Natural and Man-Made Features Within Kilbourn/Reservoir Park

In addition to its current stock of 20<sup>th</sup> century buildings Kilbourn/Reservoir Park contains the monumental earth works of the reservoir itself and the rolling terrain of the lower park which provides unparalleled panoramic views of the downtown Milwaukee skyline. While the structures, roadways, pedestrian walkways, play areas and planting areas have all been modified over the course of the last 126 years, the reservoir itself and the open green space of the lower park have remained constant features and constitute the significant features of the district. The reservoir is a visible reminder and symbol of Milwaukee's first great public works project, the public water system, and is a highly visible landmark to the scores of residents on the near north side and to the motorists driving along East North Avenue. It is one instance where the road is made to accommodate a built feature instead of the usual practice of making the landscape and structure conform to the dictates of a straight roadway. All efforts should be made to retain the current configuration of the reservoir and East North Avenue as it rounds the earthworks hill. Likewise, all efforts should be made to retain the open rolling character of the lower park. Intended as passive green space when purchased for park use in the 1870's, the park would be an inappropriate location for development of housing or commercial recreational facilities or other such construction. Structures built for the use of park patrons such as benches or band stands or pavilions would be considered appropriate depending on their design and scale. Likewise, structures required by the Water Works in the operation of the reservoir would be considered appropriate as long as they did not negatively impact upon the form or appearance of the reservoir itself and were designed to complement the grounds.

# ATTACHMENT 5A:

Describe all existing features that will be affected by the proposed work.

Please specify the condition of materials, design, and dimensions of each feature (additional pages may be attached)

A thorough description of Kilbourn Reservoir Park is provided in Attachment 4B, pages 14 -18. The proposed project is sited in Kadish Park located in the southern portion of the designated area. Kadish Park is leased to the Children's Outing Association from the City of Milwaukee. That lease arrangement was renewed this past fall, 2011, as part of the process for this project.

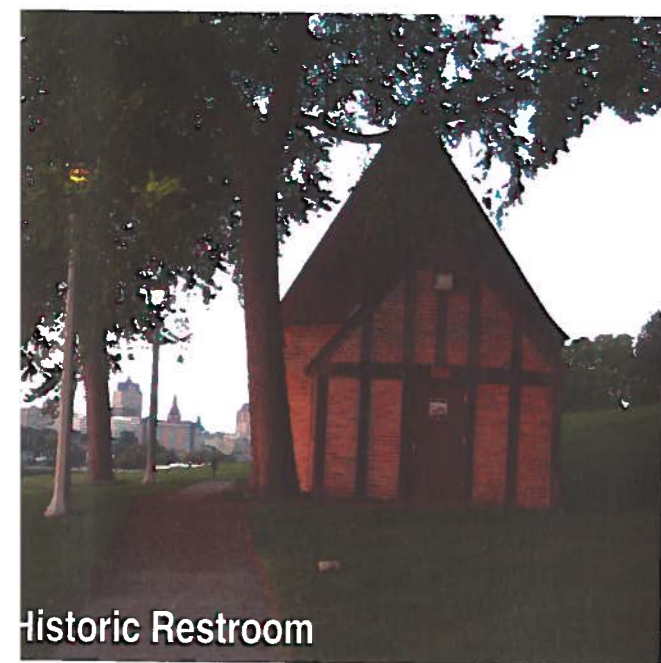
Quotes from the attached report best describe existing features of the area:

*The southern portion of the park features rolling terrain, open meadows and trees and terminates at a bluff overlooking the Milwaukee River." p.14*

*The lower portion of the park is used for soccer games and still provides a dramatic overlook of the Milwaukee River Valley and one of the best panoramic views of downtown Milwaukee, which is especially dramatic at night. The landscaping of the grounds and old park buildings are not the basis for the nomination. The significant portions of the park which are the basis for the nomination and which have not changed significantly over time, are the massive earthworks of the reservoir itself...and the rolling grassy terrain of the south portion of the park." p. 16*

*Like wise all efforts should be made to retain the open rolling character of the lower park. Intended as a passive green space when purchased for park use in the 1870's, the park would be an inappropriate location for development of housing or commercial recreational facilities or other such construction. Structures built for the use of park patrons such as benches or and stands or pavilions would be considered appropriate depending on their design and scale." p. 18*

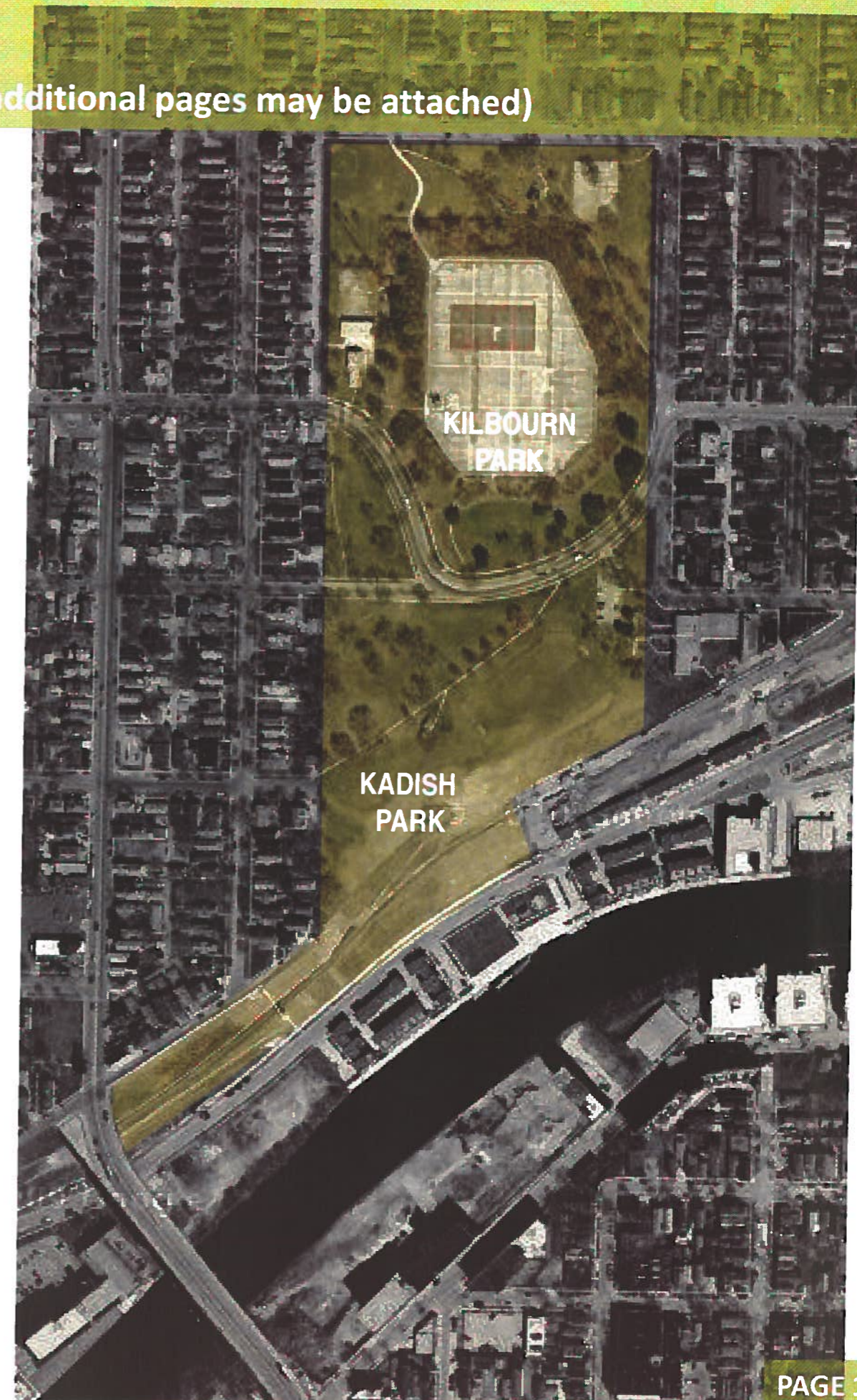
The rolling character of southern portion of the park will not be affected but accentuated with the addition of an accessible path, benches and band stand / pavilion, all deemed appropriate



Historic Restroom



Rolling Terrain, Panoramic Views



# ATTACHMENT 5B:

Describe all proposed work , materials, design, dimensions, and construction technique to be employed (additional pages may be attached)

## PATH

A new six foot wide asphalt path, will provide accessibility and connect the lower and upper portion of the site. It will also provide access to the historic restroom facility in the upper park.

## SEATING

Three new concrete benches will provide park patrons with accessible seating with direct views to the new pavilion. These benches, or seatwalls, compliment the exist seatwalls and retain earth uphill providing grassy terraces for recreation and improved sightlines to events in the pavilion.

## PAVILION

A new concrete elliptical performance area (300 SF, 16' deep x 24' wide) is proposed at the location of the existing stage for the Skyline Music series. A concrete retaining wall, with painted steel handrail, is provided on the downslope (south) portion of the stage area. A pair of painted steel arches (45') with painted steel cross members support a stretched fabric (PVC or PTFE) canopy. The pavilion is a year round structure, designed to provide cover for performers with durability and longevity. Underneath the concave canopy, a convex deflector composed of stretched fabric (PVC or PFTE) on a painted steel substructure prevents acoustic focusing on stage and provides an armature for lighting rigs, speakers, theatrical backdrops and projection screens to be mounted (optional).

The design of both the site and structure are intentionally curvilinear, organically responding to the rolling terrain and promoting views to the Milwaukee River basin and skyline beyond.

## CONSTRUCTION TECHNIQUES

Materials to be utilized are cast-in-place concrete, rolled structural steel shapes, and a custom tensile fabric roof. The amphitheater foundations, seatwalls and stage will be constructed utilizing standard concrete construction techniques. The steel will be fabricated at a steel shop, sent to the jobsite and set on-site by use of a crane. The tensile fabric membrane roof will be installed using a perimeter attachment method such as a compression bar. All exposed steel will be painted.



Proposed Path and Seating



Proposed Pavilion



## Legislation Details (With Text)

**File #:** 111677 **Version:** 0

**Type:** Resolution **Status:** In Committee

**File created:** 4/2/2012 **In control:** HISTORIC PRESERVATION COMMISSION

**On agenda:** **Final action:**

**Effective date:**

**Title:** Resolution relating to a Certificate of Appropriateness for installation of a new deck on the second story at 728 E. Brady Street for Alaa Musa.

**Sponsors:** THE CHAIR

**Indexes:** HISTORIC PRESERVATION, HISTORIC PRESERVATION COMMISSION

**Attachments:** HPC Staff Report, Application, Drawings

Date	Ver.	Action By	Action	Result	Tally
4/2/2012	0	COMMON COUNCIL	ASSIGNED TO		

Number  
111677  
Version  
ORIGINAL  
Reference

Sponsor  
THE CHAIR  
Title

Resolution relating to a Certificate of Appropriateness for installation of a new deck on the second story at 728 E. Brady Street for Alaa Musa.

Requestor

Drafter  
CC-CC  
dkf  
4/2/12



## Milwaukee Historic Preservation Commission Staff Report

LIVING WITH HISTORY

**HPC meeting date: 4/10/2012**  
**Ald. Nik Kovac District: 3**  
**Staff reviewer: Paul Jakubovich**  
**PTS #77621**

<b>Property</b>	728 E. BRADY ST. <b>Brady Street Historic District</b>	
<b>Owner/Applicant</b>	AIM INVESTMENTS, LLC Alaa Musa 728 E BRADY ST MILWAUKEE WI 53202	J French & Associates 5028 N Lake Dr. Milwaukee, WI 53217 Phone: (414) 234-0299
<b>Proposal</b>	Construct elevated steel deck, approximately 33 feet by 34 feet, over the parking lot on the west elevation of the existing building.	
<b>Staff comments</b>	<p>The commission at its February meeting approved plans for a new second story addition to this contemporary style 1956 building. As that building project is moving forward, the owner is now proposing an elevated deck to be built off the west side of the building along E. Brady Street and over the existing parking lot. The deck will be made of steel and fitted with composite guardrails and balusters and it will provide additional outdoor seating for the restaurant.</p> <p>The design is straightforward in character with the most prominent detail being the guardrails which will match those that will be installed on the front of the new second story addition. The posts that support the deck are slightly inset from the perimeter of the deck due to engineering necessities. The perimeter of the deck features a simple steel banding.</p> <p>A large, elevated deck over a parking lot has never been proposed to HPC in the past. While this type of addition/alteration would probably not be a good fit for most existing commercial buildings in Milwaukee's local historic districts, in this case it is acceptable given the contemporary design of the building and its somewhat isolated location on a large lot.</p>	
<b>Recommendation</b>	Recommend HPC Approval	
<b>Conditions</b>		
<b>Previous HPC action</b>	Approved second story addition at February 2012 meeting	
<b>Previous Council action</b>		



## CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.

Please print legibly.

**1. HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT: (if known)**

Brady Street Historic District

**ADDRESS OF PROPERTY:**

728 E. Brady Street

**2. NAME AND ADDRESS OF OWNER:**

Name(s): Alaa Musa

Address: 728 E. Brady

City: Milwaukee

State: WI

ZIP 53202

Email:

Telephone number (area code & number) Daytime:

Evening:

**3. APPLICANT, AGENT OR CONTRACTOR: (if different from owner)**

Name(s): James French

Address: 5028 N. Lake Drive

City: Whitefish Bay

State: WI

ZIP Code: 53217

Email:

Telephone number (area code & number) Daytime: 414-234-0299

Evening:

**4. ATTACHMENTS**

**A. REQUIRED FOR ALL PROJECTS:**

xxxx Photographs of affected areas & all sides of the building (annotated photos recommended)

xxxxx Sketches and Elevation Drawings (1 full size and 2 reduced to 11" x 17" or 8 1/2" x 11")

Material and Design Specifications (see next page)

**B. NEW CONSTRUCTION/DEMOLITION ALSO REQUIRES:**

xxxxx Floor Plans (1 full size and 1 reduced to 11" x 17")

xxxxx Site Plan showing location of project and adjoining structures and fences

Other (explain):

**PLEASE NOTE: YOUR APPLICATION CANNOT BE PROCESSED UNLESS BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED.**

5. DESCRIPTION OF PROJECT:

Describe all existing features that will be affected by proposed work. Please specify the condition of materials, design, and dimensions of each feature (additional pages may be attached)

Photo No. \_\_\_\_\_

Drawing No. \_\_\_\_\_

- B. Describe all proposed work, materials, design, dimensions and construction technique to be employed (additional pages may be attached)

We propose to add a new deck at the second level of the restaurant. Approx size is 34' x 34'. The detailing of the railing is the same as the approved railing for the adjacent deck. The columns will complement the new columns and the cornice will be slightly simpler; but will complement the approved detail. The deck will cover the parking lot to the west and complete the grade of the building.

6. SIGNATURE OF APPLICANT.

Signature \_\_\_\_\_

James French 3-30-2012

Print or type name

Date

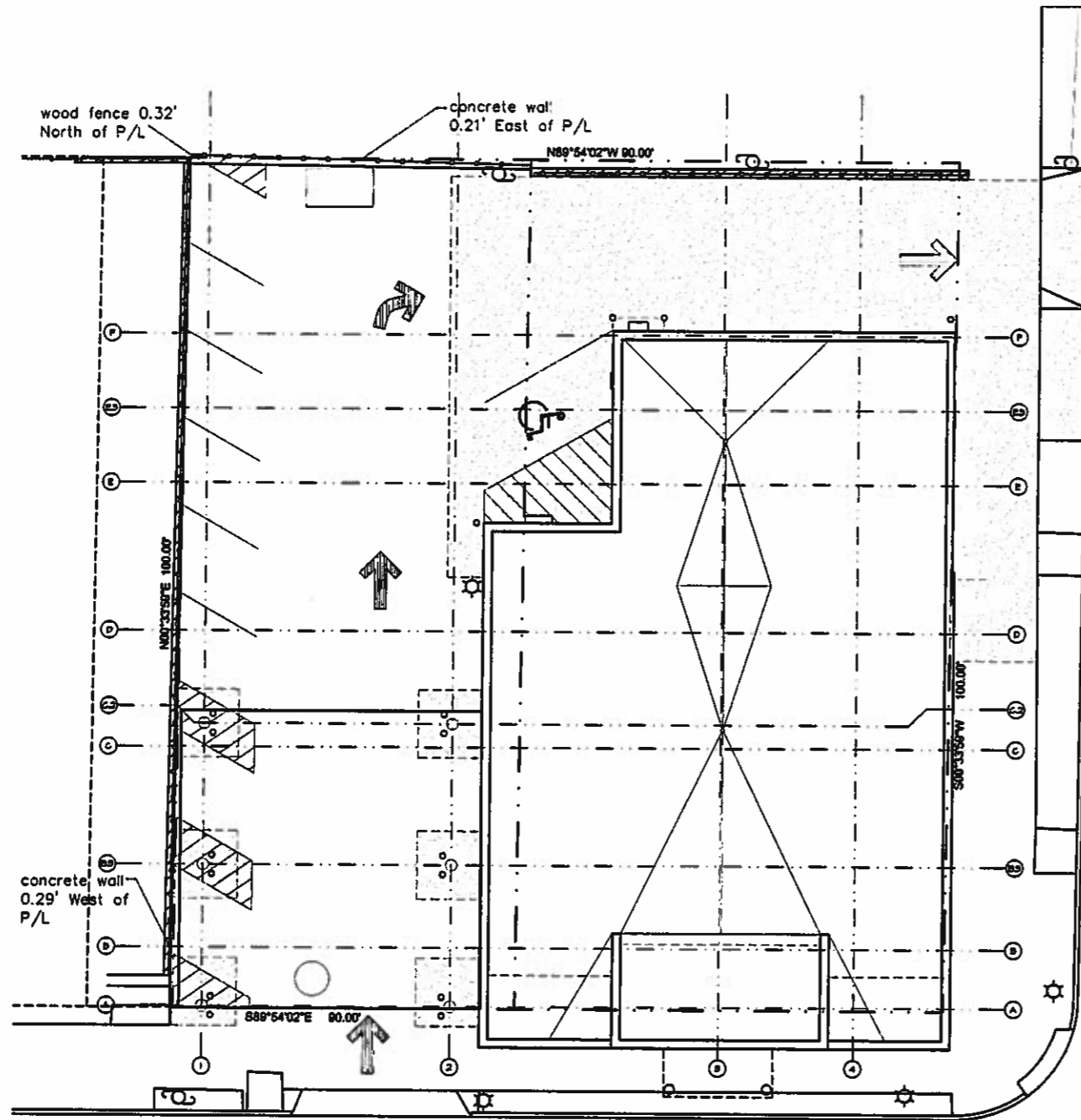
This form and all supporting documentation **MUST** arrive by 12:00 noon on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Hand Deliver or Mail Form to:  
Historic Preservation Commission  
City Clerk's Office  
200 E. Wells St. Room B-4  
Milwaukee, WI

PHONE: (414) 286-5722

FAX: (414) 286-3004

[www.milwaukee.gov/hpc](http://www.milwaukee.gov/hpc)



N. CASS ST.  
66' PUBLIC RIGHT OF WAY

E. BRADY ST.  
66' PUBLIC RIGHT OF WAY



JFrench and Associates, Inc.

Architecture

5028 North Lake Drive  
Milwaukee, WI 53217  
ph. 414-234-0299

Proposed Building Expansion For  
**Casablanca On Brady**  
728 East Brady Street  
Milwaukee, WI

AUTHORIZATION SIGNATURE

\_\_\_\_\_  
DATE: 02-21-2012

**OWNERSHIP AND USE OF DOCUMENTS**

This drawing, specification and other documents are the property of JFrench and Associates, Inc. and shall not be used for any other project without the written consent of JFrench and Associates, Inc. The drawings, specifications and other documents shall not be used for any other project without the written consent of JFrench and Associates, Inc. The drawings, specifications and other documents shall not be used for any other project without the written consent of JFrench and Associates, Inc.

SHEET TITLE

Proposed Site Plan

REVISIONS

1-2-2012

PROJECT DATA

Date: February 2, 2012

Job No.: 1194

Drawn By: French

SHEET NO.

SP1.02

Final Review Set






JFrench and Associates, Inc.

Architecture

3028 North Lake Drive  
Milwaukee, WI 53217  
ph. 414-234-0299

Proposed Building Expansion For  
**Casablanca On Brady**  
728 East Brady Street  
Milwaukee, WI

AUTHORIZATION SIGNATURE

 J. French  
J. French and Associates, Inc.

**DISCLAIMER AND USE OF DOCUMENTS**

This drawing is a preliminary design and shall not be used for construction or for any other purpose without the written consent of the Architect. The Architect shall not be responsible for any errors or omissions in this drawing or for any consequences arising therefrom. The Architect shall not be responsible for any construction or for any other work done in reliance on this drawing. The Architect shall not be responsible for any construction or for any other work done in reliance on this drawing.

SHEET T.T.L.  
Building Elevations

REVISIONS

**PROJECT DATA**

Date: February 2, 2012

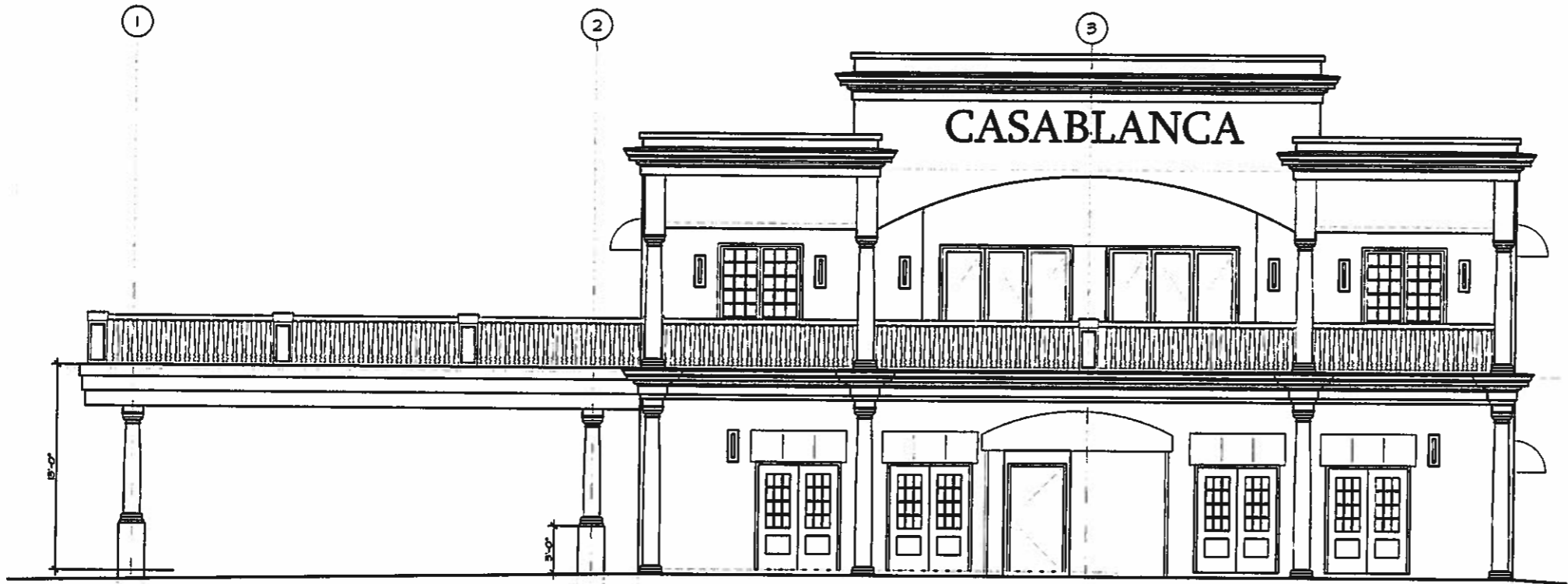
Job No.: 11134

Drawn By: French

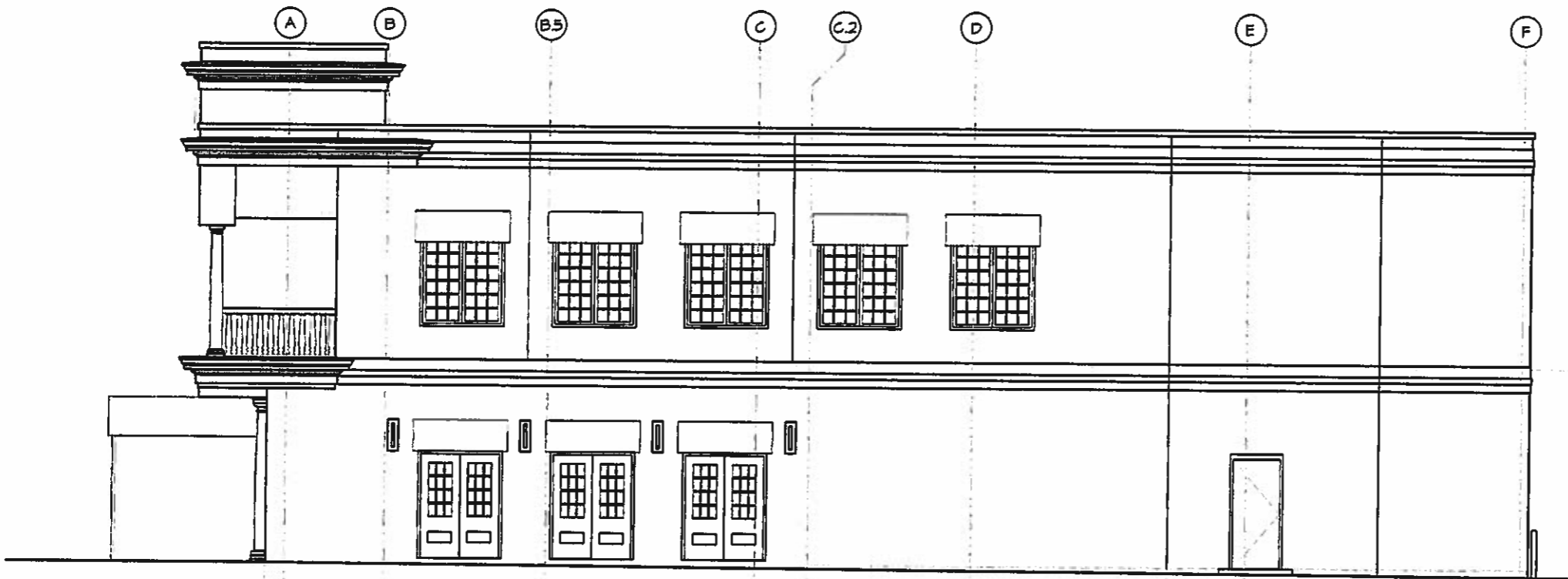
SHEET NO.

**A4.01**

Final Review Set



6 South Elevation  
SCALE: 1/4" = 1'-0"



16 East Elevation  
SCALE: 1/4" = 1'-0"



JFrench and Associates, Inc.  
Architects  
3028 North Lake Drive  
Milwaukee, WI 53217  
ph. 414-234-0299

Proposed Building Expansion For  
**Casablanca On Brady**  
728 East Brady Street  
Milwaukee, WI

AUTHORIZATION SIGNATURE  
  
J. FRENCH, ARCHITECT

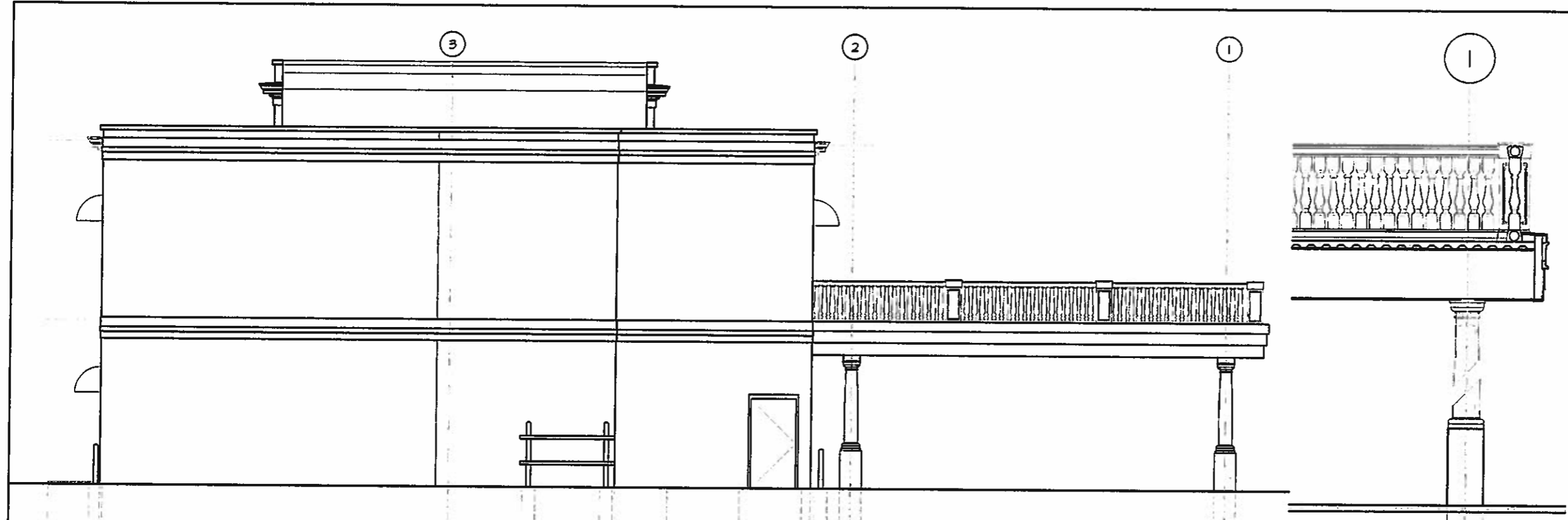
**DISCLAIMER AND USE OF DOCUMENTS**  
The drawings, specifications and other documents furnished by the architect are prepared on a computer and shall not be used for any other project without the written consent of the architect. The architect shall not be responsible for any errors or omissions in the drawings or specifications or for any consequences arising from the use of the drawings or specifications for any purpose other than that for which they were prepared. The architect shall not be responsible for any construction methods or for any construction details not shown in the drawings or specifications. The architect shall not be responsible for any construction methods or for any construction details not shown in the drawings or specifications.

SHEET TITLE  
Building Elevations

REVISIONS

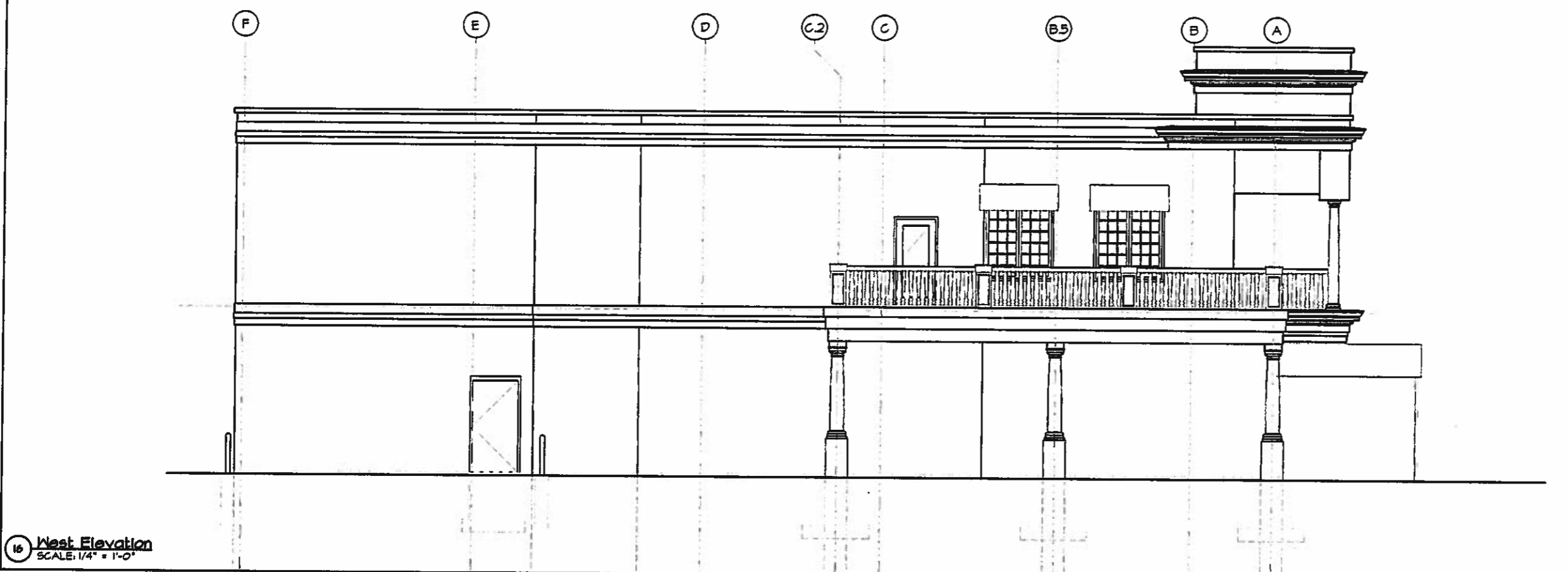
PROJECT DATA  
Date: February 2, 2012  
Job No.: 11134  
Drawn By: French  
SHEET NO.

**A4.02**



9 North Elevation  
SCALE: 1/4" = 1'-0"

10 Deck/Railing Section  
SCALE: 1/2" = 1'-0"



16 West Elevation  
SCALE: 1/4" = 1'-0"

Final Review Set



## Legislation Details (With Text)

**File #:** 111574 **Version:** 0  
**Type:** Resolution **Status:** In Committee  
**File created:** 3/13/2012 **In control:** HISTORIC PRESERVATION COMMISSION  
**On agenda:** **Final action:**  
**Effective date:**

**Title:** Resolution relating to a Certificate of Appropriateness for porch repairs at 926 N. 29th Street for Dale Dolence.  
**Sponsors:** THE CHAIR  
**Indexes:** HISTORIC PRESERVATION, HISTORIC PRESERVATION COMMISSION  
**Attachments:** Application and Pictures, Certificate of Appropriateness

Date	Ver.	Action By	Action	Result	Tally
3/13/2012	0	COMMON COUNCIL	ASSIGNED TO		

Number  
111574  
Version  
ORIGINAL  
Reference

Sponsor  
THE CHAIR  
Title

Resolution relating to a Certificate of Appropriateness for porch repairs at 926 N. 29th Street for Dale Dolence.

Requestor

Drafter  
CC-CC  
dkf  
3/13/12



## CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.

Please print legibly.

*Filed  
3/9/2012*

1. HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT: (if known)

*Concordia*

ADDRESS OF PROPERTY:

*926 N. 29 ST*

2. NAME AND ADDRESS OF OWNER:

Name(s):

*Dale Dolence*

Address:

*926 N 29 ST*

City:

*Milw*

State:

*WI*

ZIP

*53208*

Email:

*dale@dmlwp.com*

Telephone number (area code & number)

*cell*

Daytime: *414 331-0007*

Evening:

*414 344-1718*

3. APPLICANT, AGENT OR CONTRACTOR: (if different from owner)

Name(s):

*Owner*

Address:

City:

State:

ZIP Code:

Email:

Telephone number (area code & number) Daytime:

Evening:

4. ATTACHMENTS

A. REQUIRED FOR ALL PROJECTS:

\_\_\_\_ Photographs of affected areas & all sides of the building (annotated photos recommended)

\_\_\_\_ Sketches and Elevation Drawings (1 full size and 2 reduced to 11" x 17" or 8 1/2" x 11")

\_\_\_\_ Material and Design Specifications (see next page)

B. NEW CONSTRUCTION/DEMOLITION ALSO REQUIRES:

\_\_\_\_ Floor Plans (1 full size and 1 reduced to 11" x 17")

\_\_\_\_ Site Plan showing location of project and adjoining structures and fences

\_\_\_\_ Other (explain):

**PLEASE NOTE: YOUR APPLICATION CANNOT BE PROCESSED UNLESS  
BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED.**

5. DESCRIPTION OF PROJECT:

Describe all existing features that will be affected by proposed work. Please specify the condition of materials, design, and dimensions of each feature (additional pages may be attached)

Front porch deck - boards missing  
Sister floor joists - ends rotted  
Install 2 new columns - missing  
replace front steps - tree movement  
Replace skirting - rotting

Photo No. 101-111

Drawing No.

- B. Describe all proposed work, materials, design, dimensions and construction technique to be employed (additional pages may be attached)

Sister floor joists as needed  
Replace skirting with Azek  
Install 2 new matching columns  
Repair existing 2 columns  
Install new wood balustrade  
Install new wood steps

Photo No.

Drawing No. 001-005

6. SIGNATURE OF APPLICANT:

Dale M Dolence

Signature

DALE DOLENCE 3/9/12

Print or type name

Date

This form and all supporting documentation **MUST** arrive by 12:00 noon on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

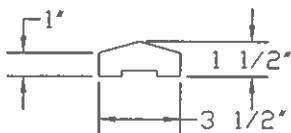
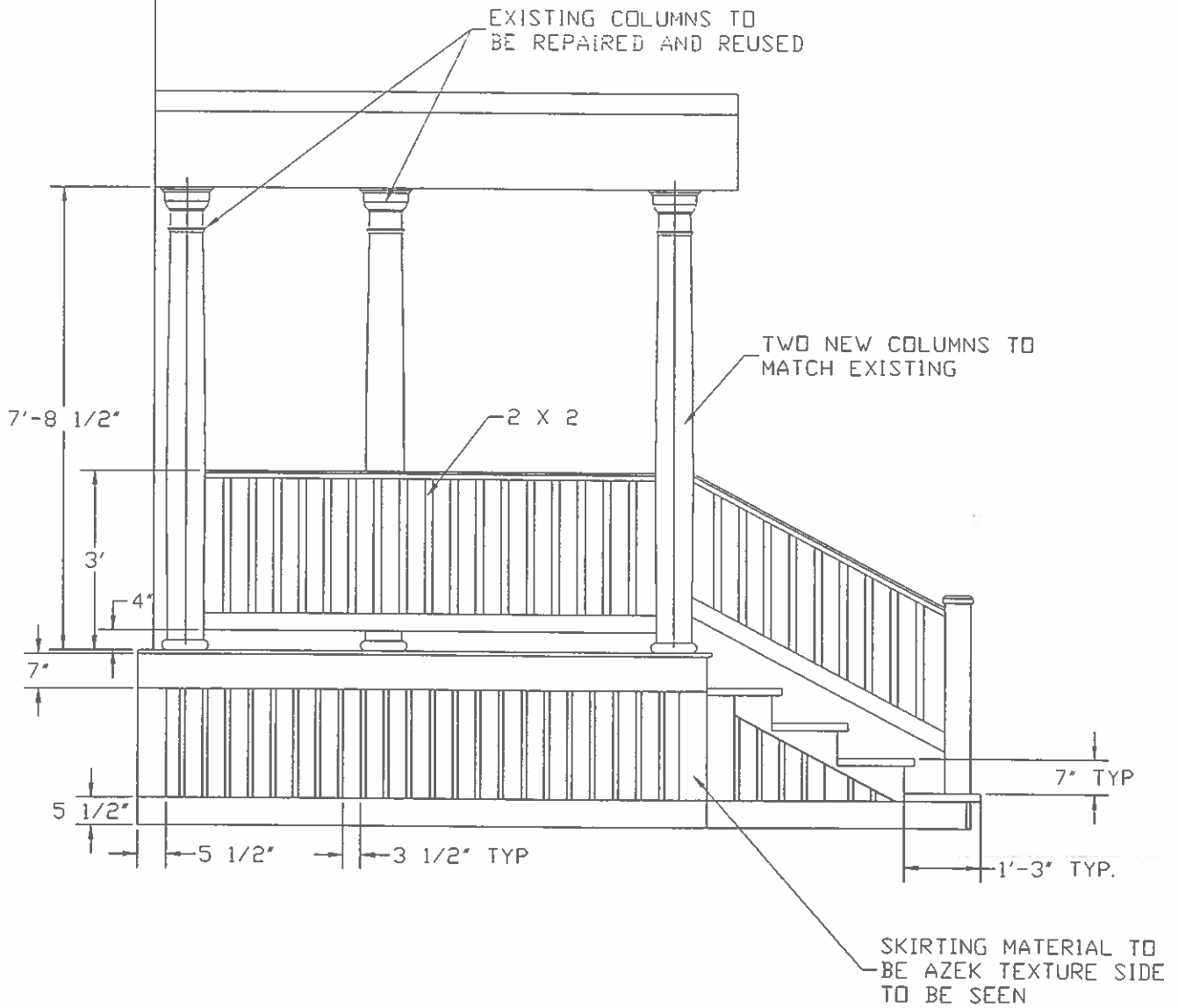
Hand Deliver or Mail Form to:  
Historic Preservation Commission  
City Clerk's Office  
200 E. Wells St. Room B-4  
Milwaukee, WI

PHONE: (414) 286-5722

FAX: (414) 286-3004

[www.milwaukee.gov/hpc](http://www.milwaukee.gov/hpc)

DALE DOLENCE  
926 N. 29TH ST.

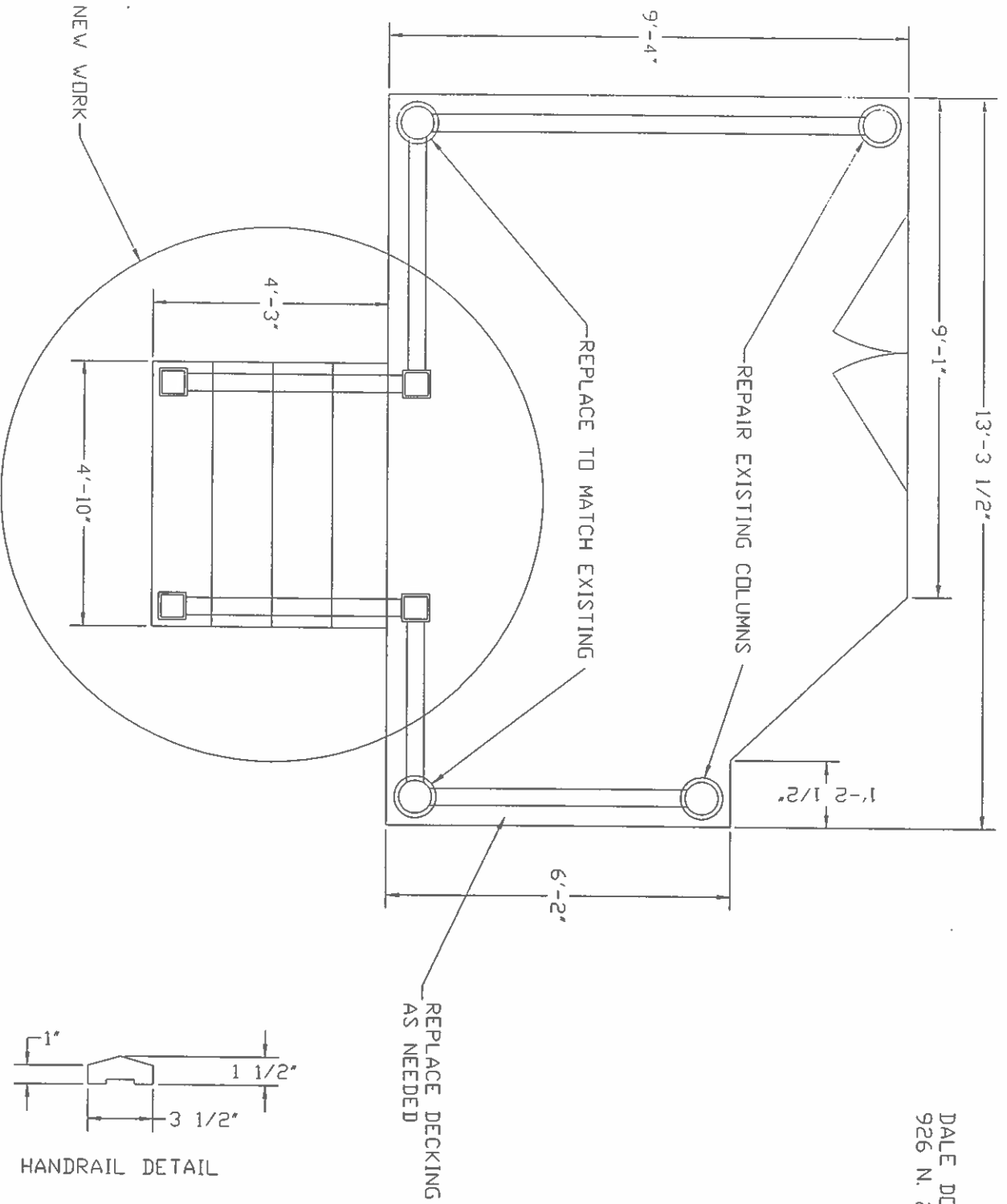


HANDRAIL DETAIL

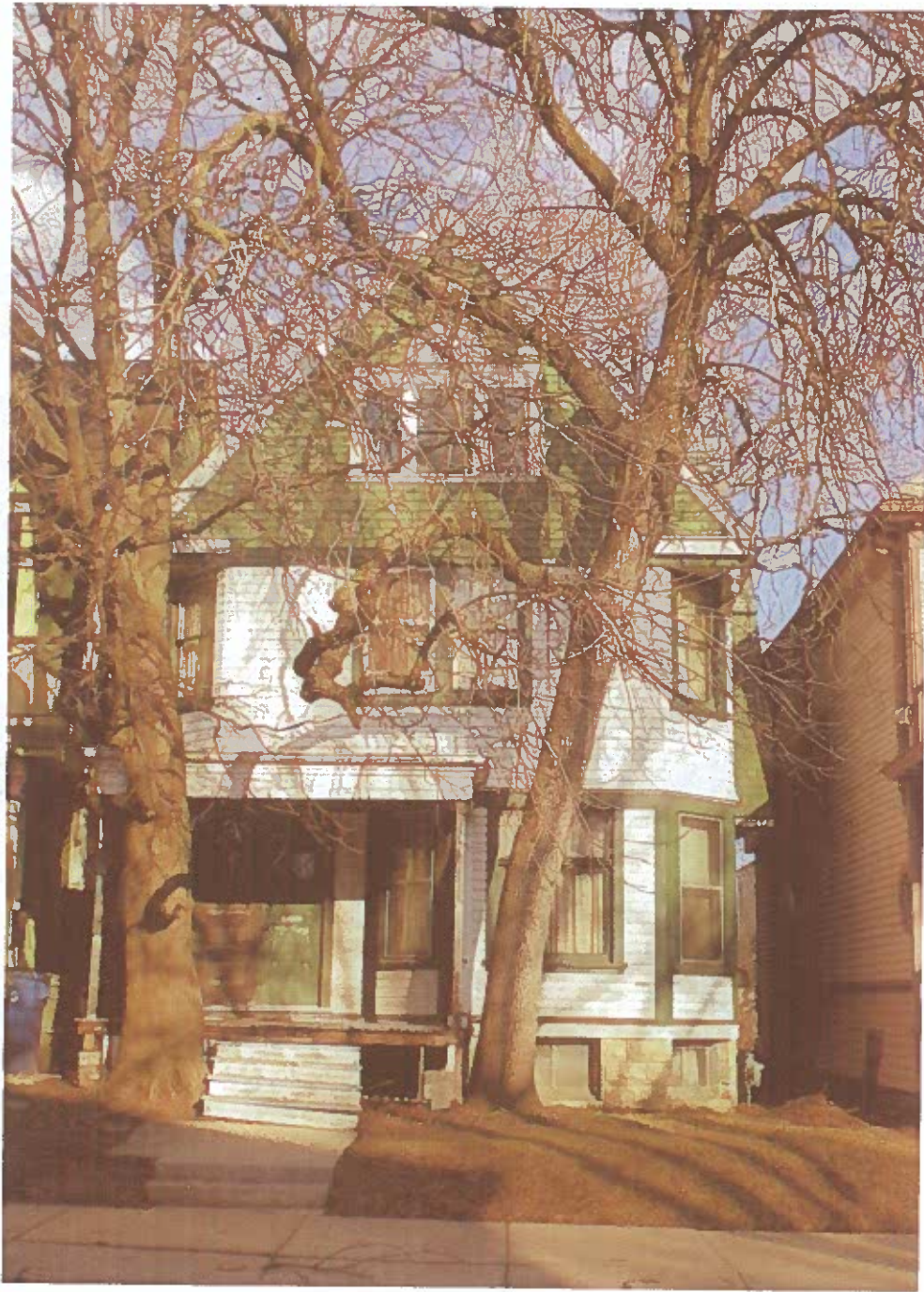
NORTH ELEVATION

DWG. NO. 001

DALE DOLENCE  
926 N. 29TH ST.



PORCH PLAN



※101



※103



※102



※107



※105





※110



※109



※111





LIVING WITH HISTORY

# Certificate of Appropriateness

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

**Property** 926 N. 29TH ST. **Concordia Historic District**  
**Description of work** Replace two missing porch columns to match existing. Repair/replace porch deck as needed to match existing footprint. Install new guardrails, handrails, steps and skirting.  
**Date issued** 3/9/2012 **PTS ID 78567 COA, porch repairs**

In accordance with the provisions of Section 320-21 (11) and (12) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

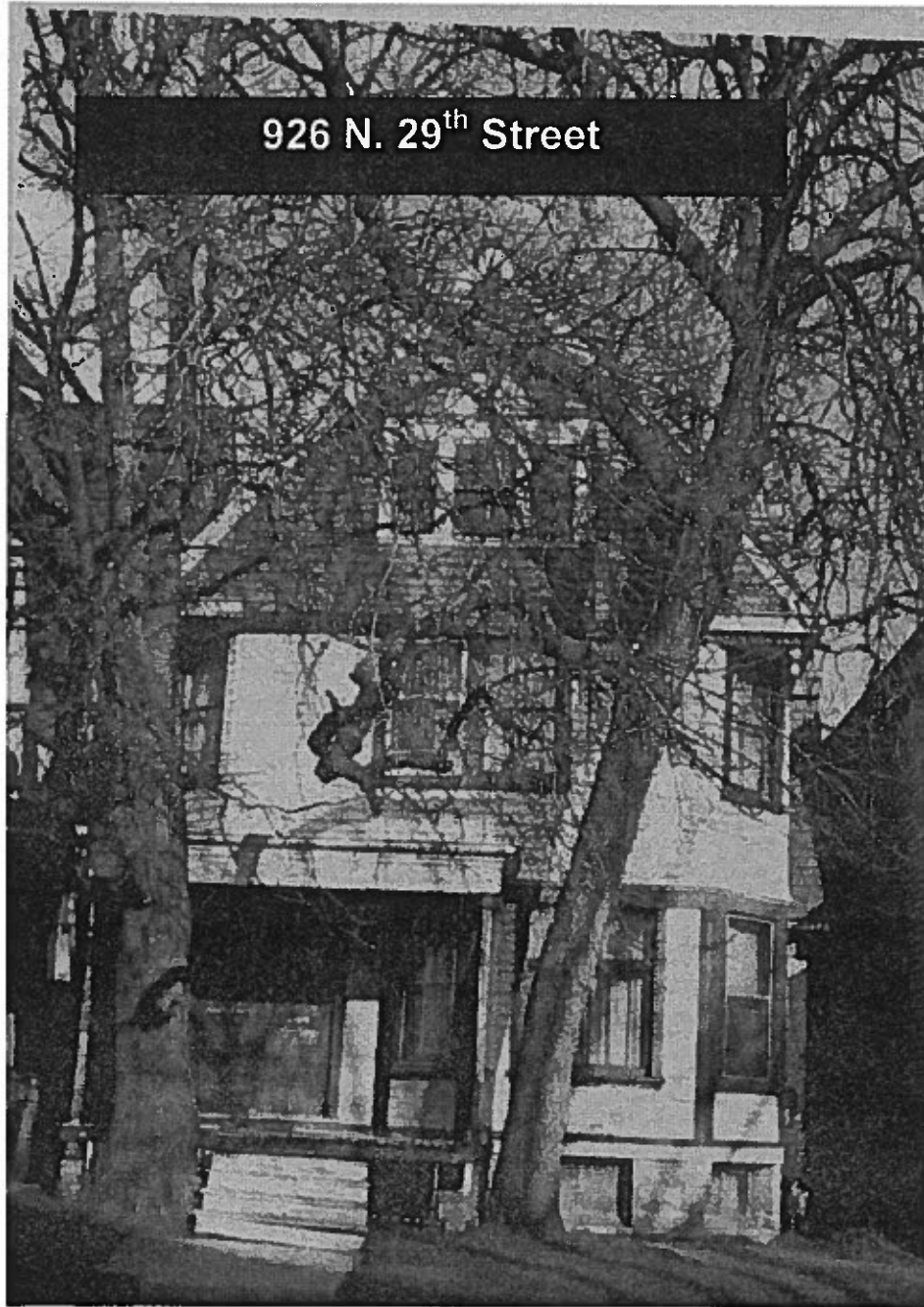
All work will be done according to attached drawings, photos and specifications. All wood must be painted upon completion. Please note that research has shown that when new, bare wood is exposed to the elements for a period of only a week or two, the life the paint job subsequently applied to the surface will be reduced. Azek material can be used to construct the skirting, which is next to the ground, but must be smooth to simulate a dressed wood surface. Two-by-two wood spindles for railings will be spaced no more than 1-3/4" apart and no less than 1-1/4" apart. Handrails must be graspable and an acceptable, standard profile is attached. Other designs are possible with the approval of HPC staff.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation department as follows: Phone: (414) 286-5712 Fax: (414) 286-3004 E-mail: [pjakub@milwaukee.gov](mailto:pjakub@milwaukee.gov). If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, [www.mkedcd.org/build](http://www.mkedcd.org/build), or call (414) 286-8210.

Paul Jakubovich  
City of Milwaukee Historic Preservation Staff

Copies to: Development Center, Ald. Robert Bauman, Inspector Joel Walloch (286-8160)

926 N. 29<sup>th</sup> Street

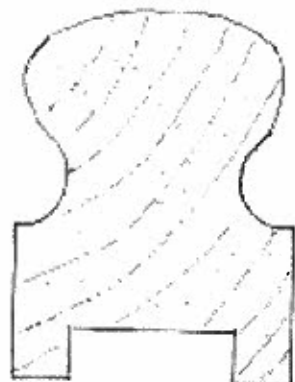


Repairs and replacements  
confined to front porch posts,  
deck, skirting, handrails,  
guardrails, newel posts and  
steps



Porch steps to be replaced; new skirting around the porch deck; repairs tongue and grooved porch floor as needed with new tongue and groove material; install two new porch posts at the front corners of the porch to match the existing Doric style columns with entasis next to the house. Install new handrails/guardrails and newel posts.

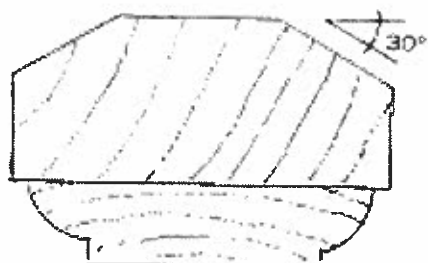
2-1/2"



3-1/4"

Graspable Top  
Rail to accept 2x2  
balusters

1-1/2"



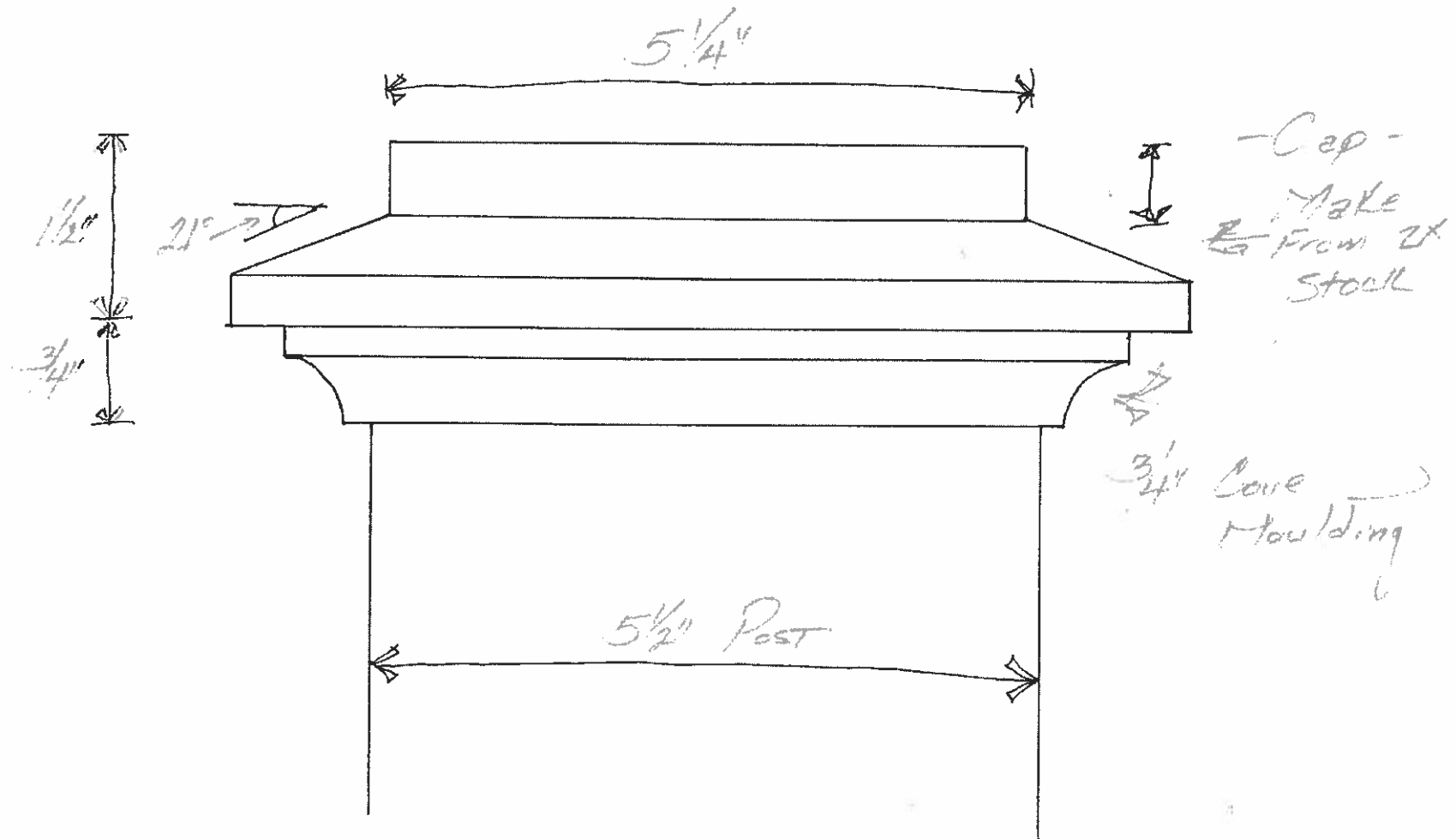
2-1/4"

Built-up bottom rail for  
porch balustrade to  
accept 2 x 2 square  
balusters

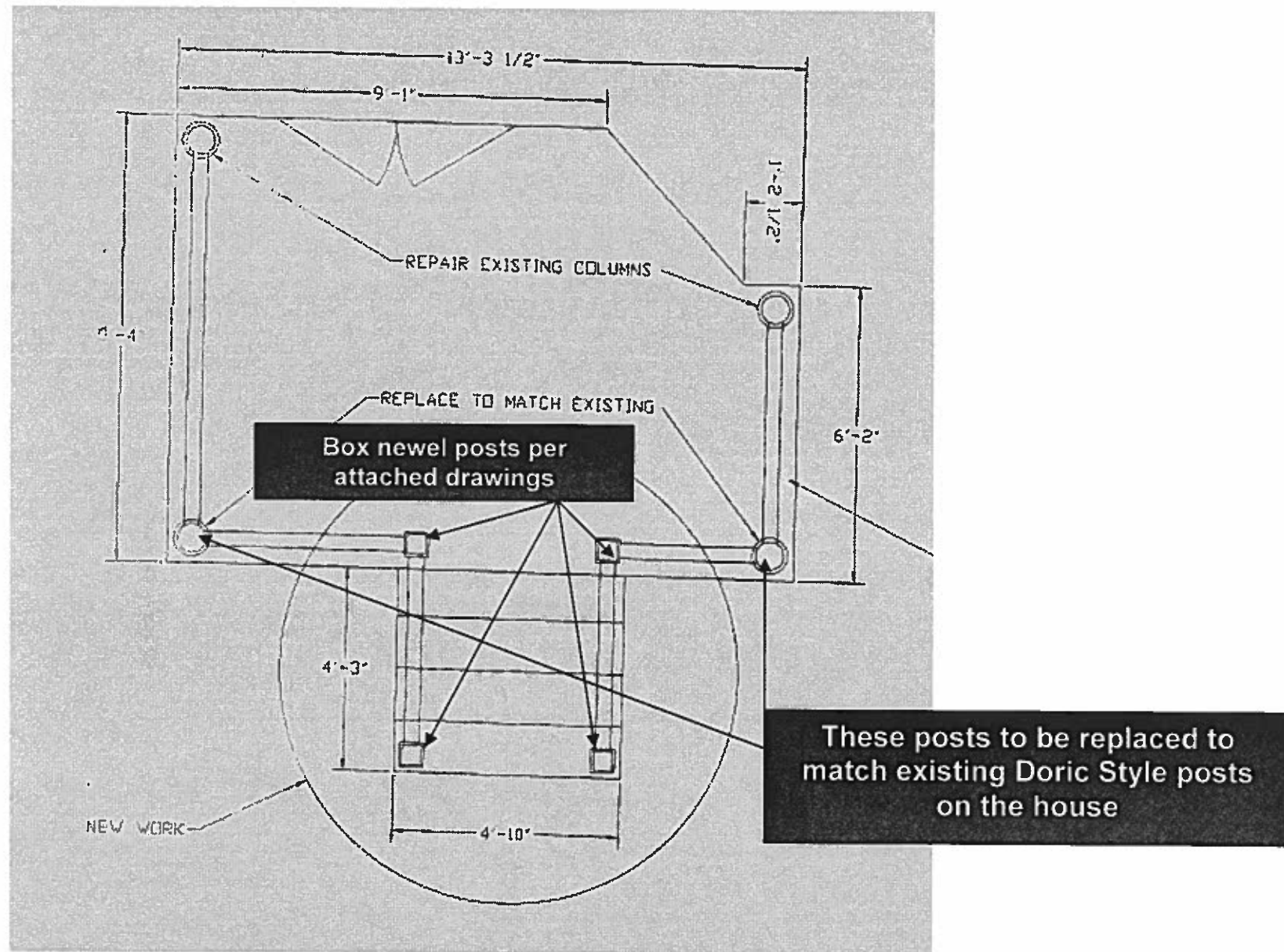
3-1/2"



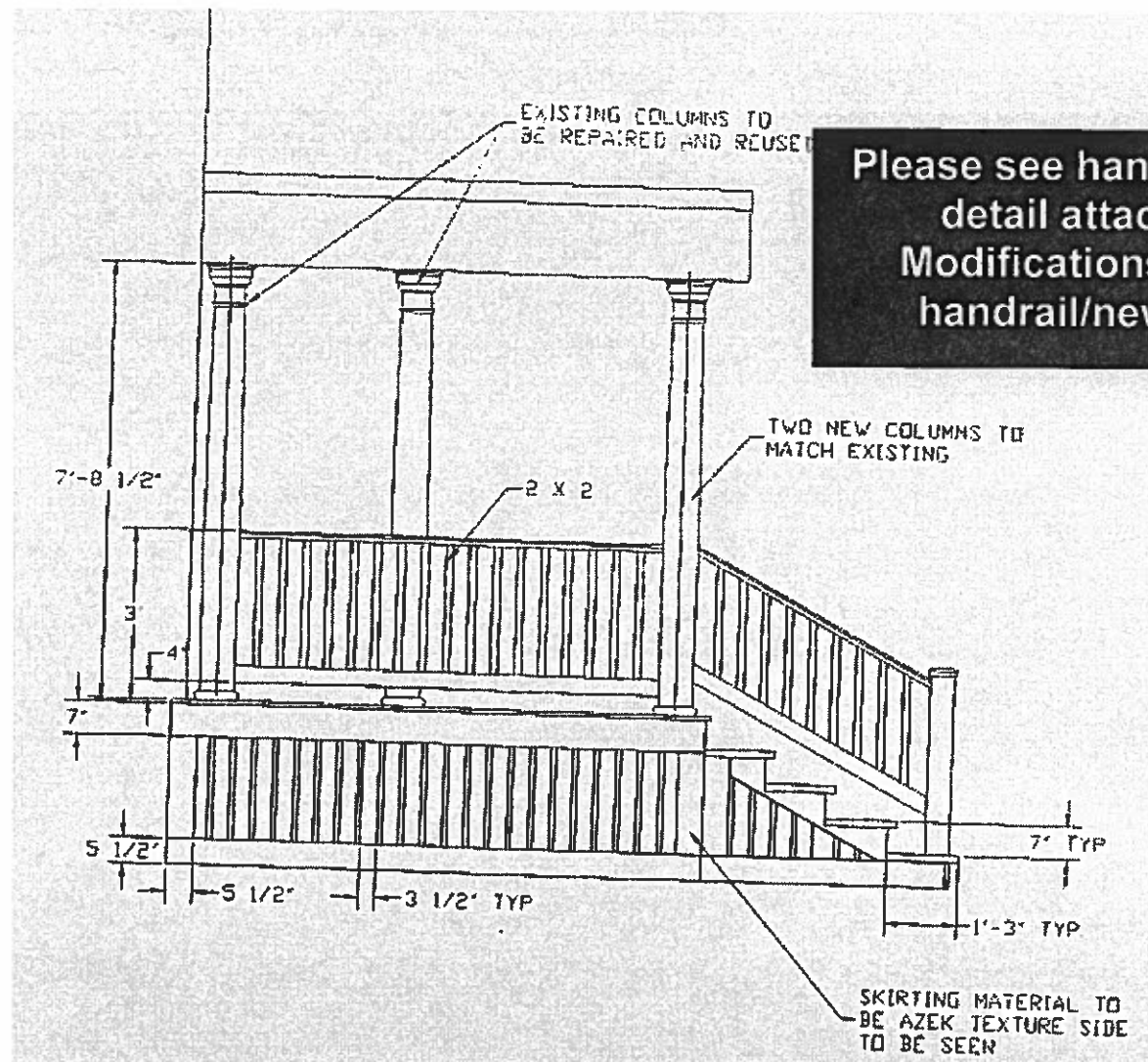
Section detail of top rail and bottom for porch



Design for newel post tops at the foot of the steps.



Plan of front porch showing columns and newel posts



Please see handrail and newel posts detail attached to this COA. Modifications are needed to the handrail/newel system shown

Elevation of porch. Skirting to be vertical slats 3/12" wide and space 3/4" apart. Note: Frame around skirting must cover all structural members behind it.



## Legislation Details (With Text)

---

**File #:** 111656      **Version:** 0

**Type:** Resolution      **Status:** In Committee

**File created:** 3/26/2012      **In control:** HISTORIC PRESERVATION COMMISSION

**On agenda:**      **Final action:**

**Effective date:**

**Title:** Resolution relating to a Certificate of Appropriateness to install a garage slab and driveway at 2812 W. State Street for Tiffany Greer.

**Sponsors:** THE CHAIR

**Indexes:** HISTORIC PRESERVATION, HISTORIC PRESERVATION COMMISSION

**Attachments:** Application, Certificate of Appropriateness

Date	Ver.	Action By	Action	Result	Tally
3/26/2012	0	COMMON COUNCIL	ASSIGNED TO		

Number  
111656  
Version  
ORIGINAL  
Reference

Sponsor  
THE CHAIR  
Title

Resolution relating to a Certificate of Appropriateness to install a garage slab and driveway at 2812 W. State Street for Tiffany Greer.

Requestor

Drafter  
CC-CC  
dkf  
3/26/12



## CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.

Please print legibly.

1. **HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT:** (if known)

Concordia Historic District

**ADDRESS OF PROPERTY:**

2810 W. State Street

2. **NAME AND ADDRESS OF OWNER:**

Name(s): Tiffany Greer

Address: 2810 W. State St.

City: Milwaukee

State: WI

ZIP 53207

Email: tiffany.greer@att.net

Telephone number (area code & number) Daytime: (44) 975-8350

Evening:

3. **APPLICANT, AGENT OR CONTRACTOR:** (if different from owner)

Name(s): FFE Building Renovation LLC

Address: 4353 S 5th St

City: Milwaukee

State: WI

ZIP Code: 53207

Email:

Telephone number (area code & number) Daytime:

Evening:

4. **ATTACHMENTS**

A. **REQUIRED FOR ALL PROJECTS:**

✓ Photographs of affected areas & all sides of the building (annotated photos recommended)

✓ Sketches and Elevation Drawings (1 full size and 2 reduced to 11" x 17" or 8 1/2" x 11")

Material and Design Specifications (see next page)

B. **NEW CONSTRUCTION/DEMOLITION ALSO REQUIRES:**

Floor Plans (1 full size and 1 reduced to 11" x 17")

Site Plan showing location of project and adjoining structures and fences

Other (explain):

**PLEASE NOTE: YOUR APPLICATION CANNOT BE PROCESSED UNLESS BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED.**

**5. DESCRIPTION OF PROJECT:**

Describe all existing features that will be affected by proposed work. Please specify the condition of materials, design, and dimensions of each feature (additional pages may be attached)

Photo No. \_\_\_\_\_

Drawing No. \_\_\_\_\_

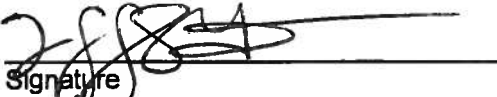
**B. Describe all proposed work, materials, design, dimensions and construction technique to be employed (additional pages may be attached)**

Install 22' x 30' concrete pad and curbing for new garage in northwest corner of lot. Install concrete paving in front of pad to alley. (garage will require separate COA granted from Historic Preservation Commission).

Photo No. \_\_\_\_\_

Drawing No. \_\_\_\_\_

**6. SIGNATURE OF APPLICANT:**

  
Signature

Tiffany Greer 3-21-12  
Print or type name Date

This form and all supporting documentation **MUST** arrive by 12:00 noon on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Hand Deliver or Mail Form to:  
Historic Preservation Commission  
City Clerk's Office  
200 E. Wells St. Room B-4  
Milwaukee, WI

PHONE: (414) 286-5722

FAX: (414) 286-3004

[www.milwaukee.gov/hpc](http://www.milwaukee.gov/hpc)

Map Milwaukee - Windows Internet Explorer

http://gis.milwaukee.gov/website/mml/viewer.htm

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Map Milwaukee

# Map Milwaukee

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Legend/Layers

Overview Map

Zoom In

Zoom Out

Full Extent

Last Extent

Pan

**Identify**

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City of Milwaukee, Wisconsin - (TM) DIGRS, 2011

0 0.014mi

**LAYERS**

- All Layers
- Points of Interest
- Liquor Licenses
- Bikeways
- Transportation/Infrastru...
- Street Paving Prog...
- Freeways
- Major Streets
- Streets
- Railroads
- Airports
- Non-Assessable Sic...
- City-Owned Vacan...
- General Reference
- Land Use Symbols
- Parcels (Outline)
- Waterways
- Parks and Parkway
- Education
- Spring, 2012 Voter Info
- 2012 Polling Places
- 2012 Voting Ward
- 2012 Aldermanic C...
- Existing Voter Info
- Aldermanic District

Rec	Taxkey	Parcel Address	Parcel Zip Code	Owner Occupied?	Owner's Name	Owner's Mailing Address	Owners Cit and State
1	3981241000	2824 W STATE ST	532080000	O	DEREK J SEYMOUR & HERMANN C	2824 WEST STATE STREET	MILWAUKEE

Identify

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10:33 AM  
Friday  
3/16/2012



LIVING WITH HISTORY

# Certificate of Appropriateness

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

**Property** 2812 W. STATE ST. **Concordia Historic District**  
**Description of work** Install concrete slab and curb for new garage, 22 feet by 30 feet in rear, northwest corner of property. Install driveway from alley to garage, 16 feet by 30 feet in size.  
**Date issued** 3/21/2012 PTS ID 78797 COA. garage slab and driveway

In accordance with the provisions of Section 320-21 (11) and (12) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All work will be done according to attached sketch. This COA is for the garage slab and drive to it only. **A separate COA will be required for the garage structure.** All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation department as follows: Phone: (414) 286-5712 Fax: (414) 286-3004 E-mail: [pjakub@milwaukee.gov](mailto:pjakub@milwaukee.gov).

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, [www.mkedcd.org/build](http://www.mkedcd.org/build), or call (414) 286-8210.

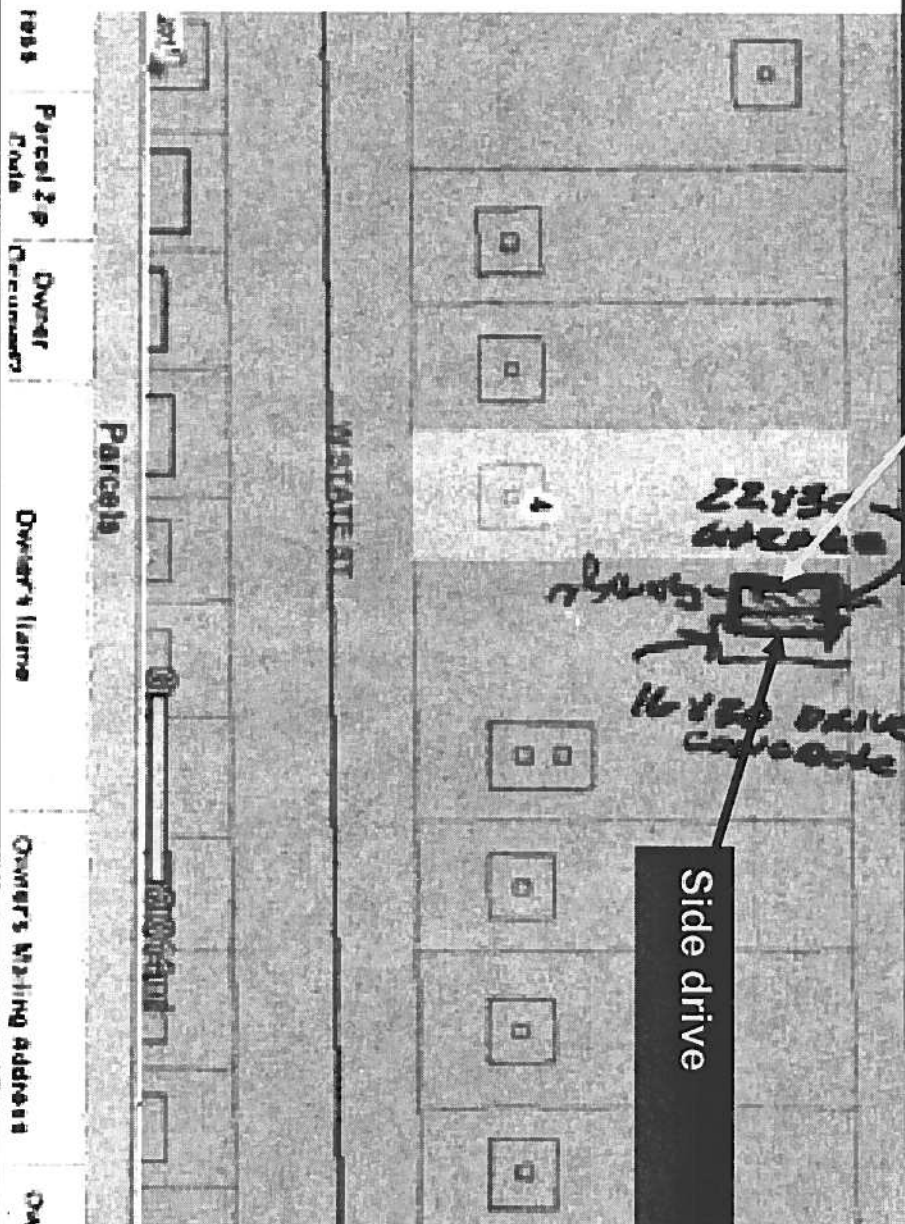
Paul Jakubovich  
City of Milwaukee Historic Preservation Staff

Copies to: Development Center, Ald. Robert Bauman, Contractor Jose Varela, Inspector Joel Walloch (286-8160)

New garage,

GIS Home | COMPASS | Metadata | Help

Side drive





## Legislation Details (With Text)

**File #:** 111676 **Version:** 0  
**Type:** Resolution **Status:** In Committee  
**File created:** 4/2/2012 **In control:** HISTORIC PRESERVATION COMMISSION  
**On agenda:** **Final action:**  
**Effective date:**

**Title:** Resolution relating to a Certificate of Appropriateness for porch repairs at 3248 W. McKinley Blvd. for Sharon and David Burr.  
**Sponsors:** THE CHAIR  
**Indexes:** HISTORIC PRESERVATION, HISTORIC PRESERVATION COMMISSION  
**Attachments:** Application, Certificate of Appropriateness

Date	Ver.	Action By	Action	Result	Tally
4/2/2012	0	COMMON COUNCIL	ASSIGNED TO		

Number  
111676  
Version  
ORIGINAL  
Reference

Sponsor  
THE CHAIR  
Title

Resolution relating to a Certificate of Appropriateness for porch repairs at 3248 W. McKinley Blvd. for Sharon and David Burr.

Requestor

Drafter  
CC-CC  
dkf  
4/2/12



## CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.

Please print legibly.

1. HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT: (if known)

ADDRESS OF PROPERTY:

2. NAME AND ADDRESS OF OWNER:

Name(s): SHaron & David Bork

Address: 3248 W. McKinley Blvd

City: MILW

State: WI

ZIP 53208

Email: SHang3@ATT.net

Telephone number (area code & number) Daytime:

Evening:

3. APPLICANT, AGENT OR CONTRACTOR: (if different from owner)

Name(s): BTE General Contractors

Address: 6001 N. GREEN Bay

City: Glendale

State: WI

ZIP Code: 53209

Email: DON@BTEGENERALCONTRACTORS.COM

Telephone number (area code & number) Daytime: 414-351-5558

Evening:

4. ATTACHMENTS

A. REQUIRED FOR ALL PROJECTS:



Photographs of affected areas & all sides of the building (annotated photos recommended)

Sketches and Elevation Drawings (1 full size and 2 reduced to 11" x 17" or 8 1/2" x 11")

Material and Design Specifications (see next page)

B. NEW CONSTRUCTION/DEMOLITION ALSO REQUIRES:

Floor Plans (1 full size and 1 reduced to 11" x 17")

Site Plan showing location of project and adjoining structures and fences

Other (explain):

Cell 397-8555

**PLEASE NOTE: YOUR APPLICATION CANNOT BE PROCESSED UNLESS  
BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED.**

5. DESCRIPTION OF PROJECT:

Describe all existing features that will be affected by proposed work. Please specify the condition of materials, design, and dimensions of each feature (additional pages may be attached)

FRONT PORCH APPROX 10'x18' EXISTING DECK SHOWS  
SIGN OF ROTTING RAILING SECTION ALSO SHOW SIGNS  
OF ROT DECK IS 5/4 x 4" FIR DECK FLOORING  
RAILING IS 2x6 CAP w/ 2x2 SPINDLES AND 2x4 BOTTOM  
RAIL DECK HAS A 4 TREADED STAIR CASE THAT  
SHOWS SIGN OF ROT

Photo No.

Drawing No.

- B. Describe all proposed work, materials, design, dimensions and construction technique to be employed (additional pages may be attached)

REPLACE ALL PORCH FLOORING WITH 5/4 x 4" FIR  
DECK FLOORING REPLACE ALL RAIL SECTION WITH 2x6 CAP  
AND 2x4 BOTTOM RAIL 2x2 SPINDLES 2" O.C. RAIL  
GOING DOWN NEW STAIRCASE WILL HAVE A BLUFFED  
R-6 CAP (PHOTO ATTACH) WITH 2x4 BOTTOM RAIL

Photo No.

Drawing No.

6. SIGNATURE OF APPLICANT:

  
Signature

Don Mitchen  
Print or type name

3/23/12  
Date

This form and all supporting documentation **MUST** arrive by 12:00 noon on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Hand Deliver or Mail Form to:  
Historic Preservation Commission  
City Clerk's Office  
200 E. Wells St. Room B-4  
Milwaukee, WI

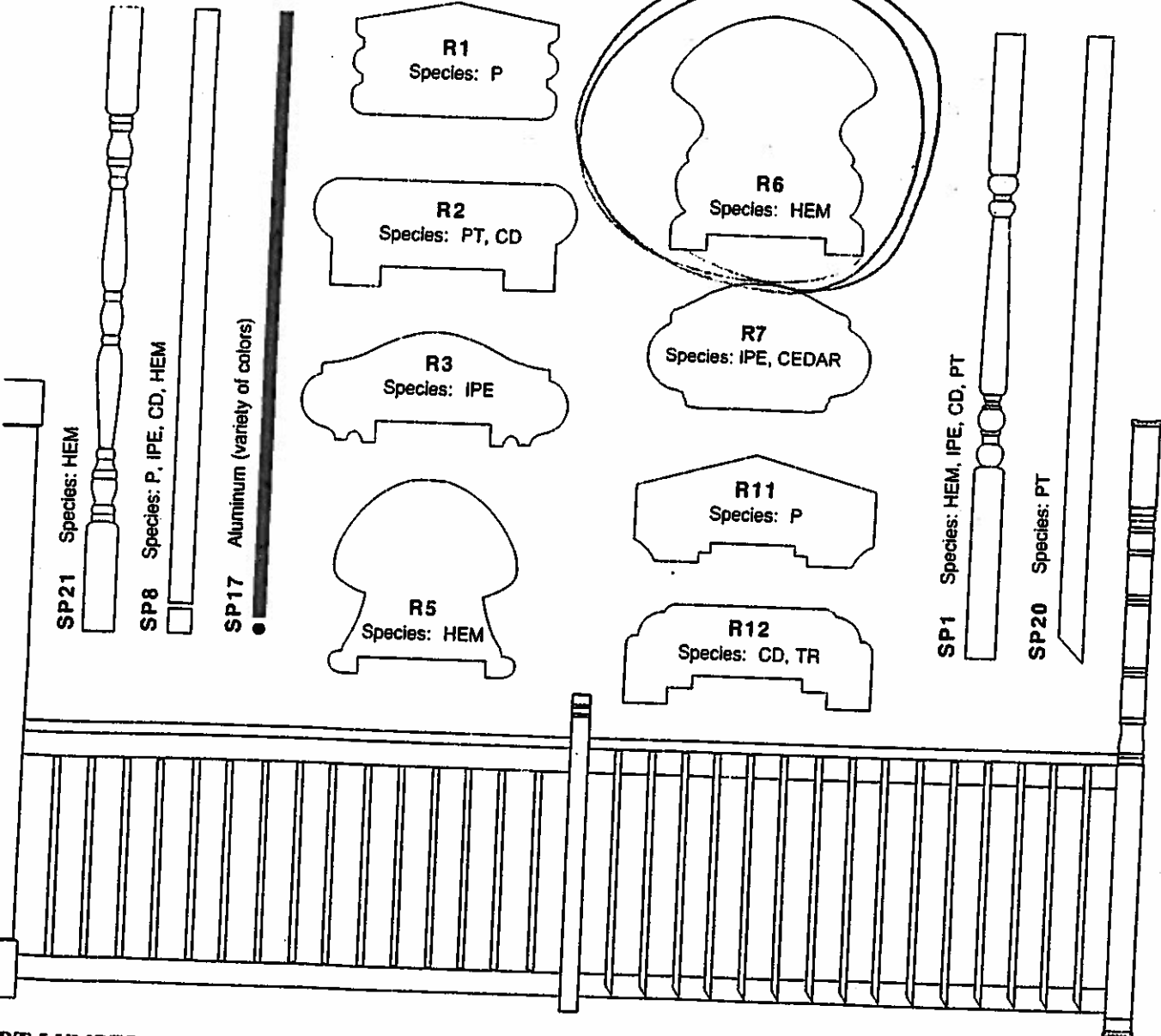
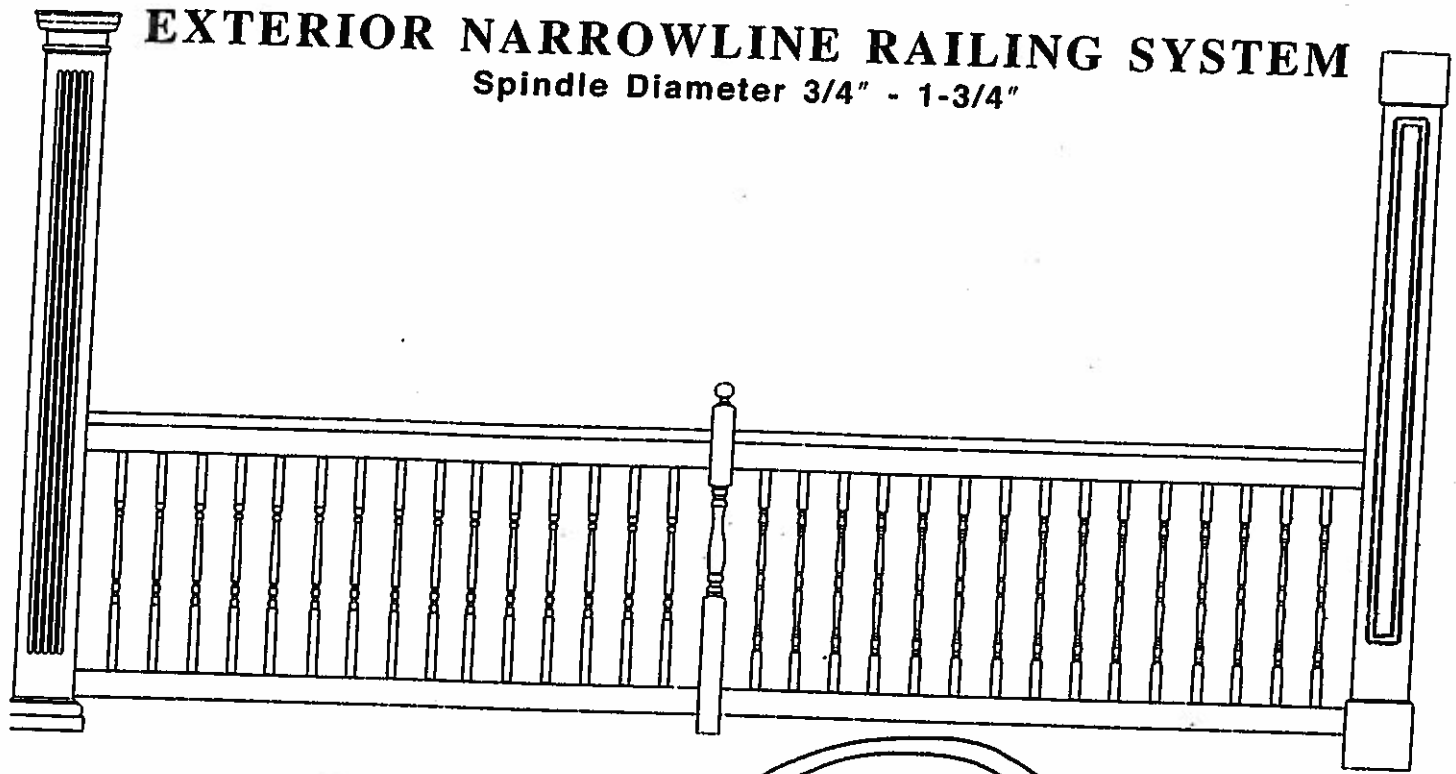
PHONE: (414) 286-5722

FAX: (414) 286-3004

[www.milwaukee.gov/hpc](http://www.milwaukee.gov/hpc)

# EXTERIOR NARROWLINE RAILING SYSTEM

Spindle Diameter 3/4" - 1-3/4"











# Certificate of Appropriateness

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

**Property** 3248 W. MC KINLEY BL. **Coldspring Park Historic District**  
**Description of work** Rebuild front porch steps to match existing. Install new graspable handrails. Replace square balusters as needed to match existing. Replace skirting and newel posts to match existing as needed. Replace all porch flooring with new tongue and groove (also called center match) wood flooring. Spindles will be 2 x 2 square and spaced no more than 2 inches apart.  
**Date issued** 3/30/2012 PTS ID 46570 COA, porch repairs

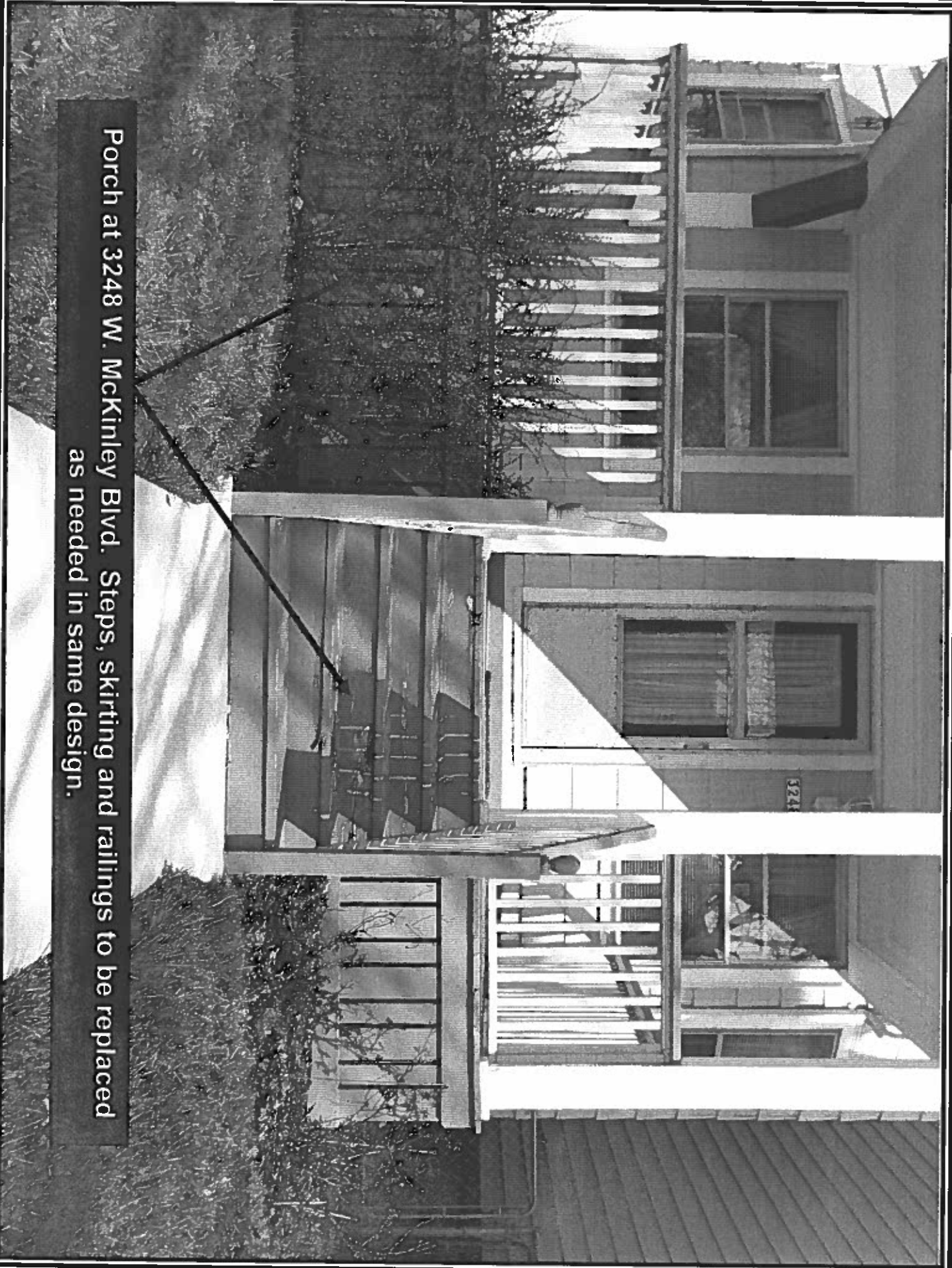
In accordance with the provisions of Section 320-21 (11) and (12) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

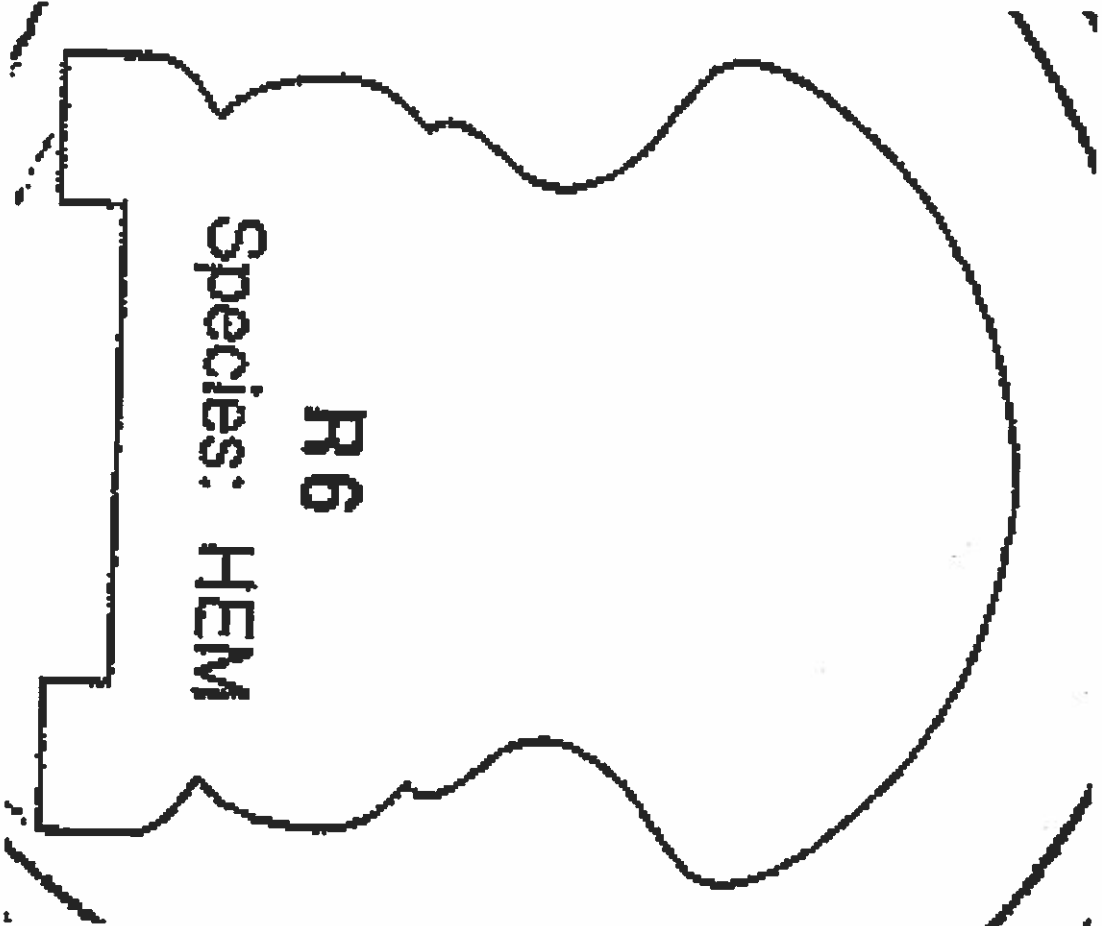
All work will be done according to attached photos, drawings, and specifications. All wood must be painted upon completion. Please note that research has shown that when new, bare wood is exposed to the elements for a period of only a week or two, the life of the paint subsequently applied to it will be decreased. All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation department as follows: Phone: (414) 286-5712 Fax: (414) 286-3004 E-mail: [pjakub@milwaukee.gov](mailto:pjakub@milwaukee.gov). If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, [www.mkedcd.org/build](http://www.mkedcd.org/build), or call (414) 286-8210.

Paul Jakubovich  
City of Milwaukee Historic Preservation

Copies to: Development Center, Ald. Robert Bauman, Contractor B and E General, Inspector Joel Walloch (286-8160) Inspector Heidi Weed

Porch at 3248 W. McKinley Blvd. Steps, skirting and railings to be replaced as needed in same design.





**R6**  
**Species: HEM**

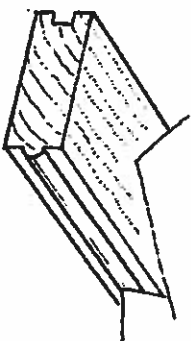
Profile of graspable  
handrail// top rail to  
be used on front  
porch

# Porches

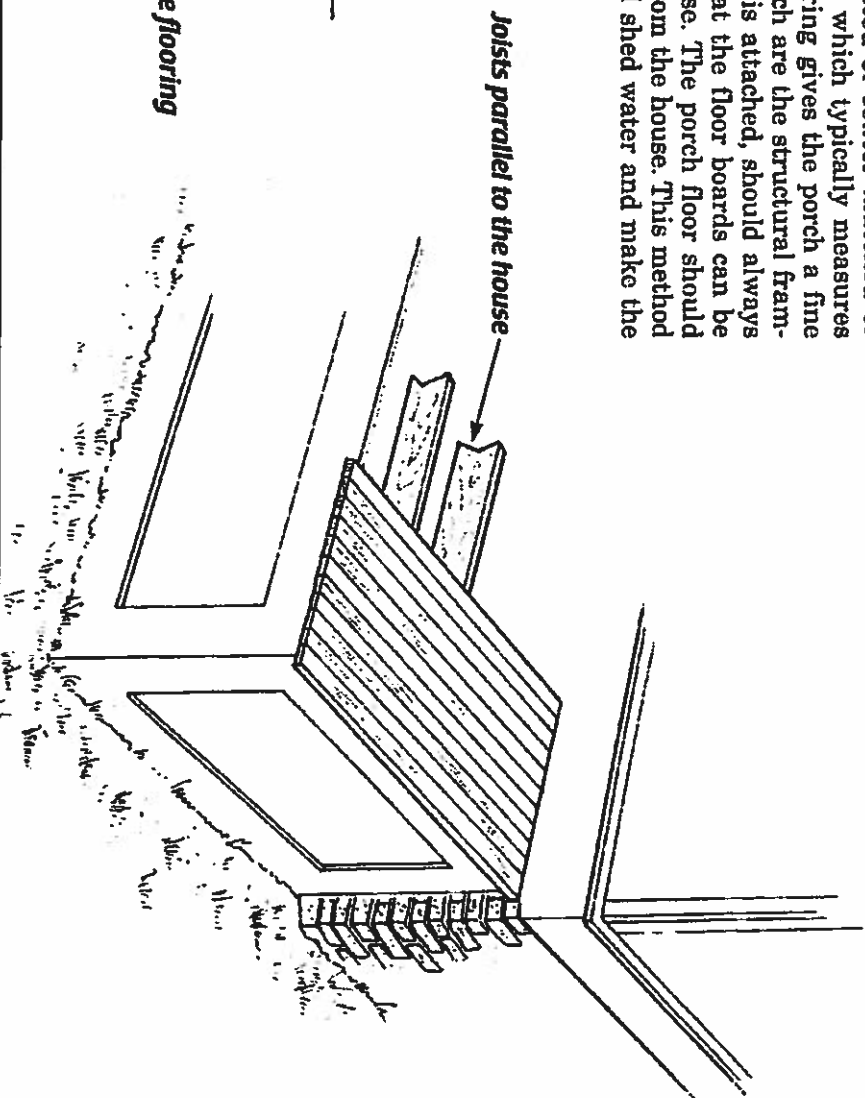


## Traditional Porch Floors

**P**orch floors should be constructed of center matched or tongue-and-groove wooden flooring, which typically measures 2-1/4" wide by 3/4" thick. This flooring gives the porch a fine finished appearance. The joists, which are the structural framing members to which the flooring is attached, should always be run parallel to the house so that the floor boards can be installed perpendicular to the house. The porch floor should also be very slightly pitched away from the house. This method of construction for a porch floor will shed water and make the porch last longer.



*Center match or tongue-and-groove flooring*

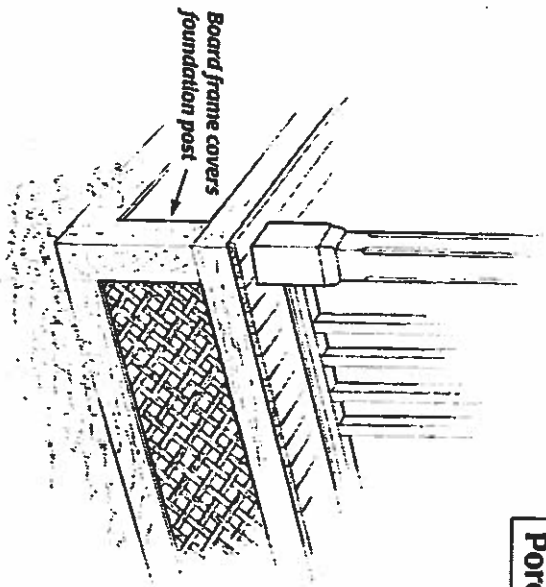


New porch floor to be center match material installed as illustrated

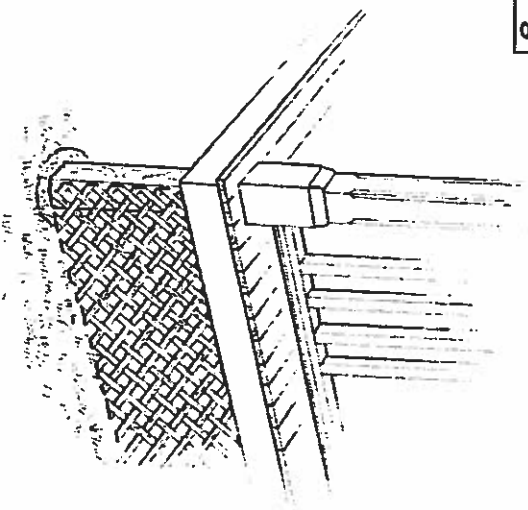
# Porches



Porch Skirting



Skirting, such as this lattice panel, enclosed the area beneath the porch floor. It should always be installed with a continuous board frame around it that is wide enough to cover the rough framing lumber that supports the porch deck.



Do not install a lattice skirting without a frame around it. The rough framing lumber that supports the porch will show through and the row edges of the lattice look unfinished.

Porch skirting beneath the deck must be done with a full frame as illustrated in the left drawing. The frame can be filled with lattice as shown or vertical boards typically spaced no more than 1" apart.



## Legislation Details (With Text)

**File #:** 111703 **Version:** 0  
**Type:** Resolution **Status:** In Committee  
**File created:** 4/4/2012 **In control:** HISTORIC PRESERVATION COMMISSION  
**On agenda:** **Final action:**  
**Effective date:**

**Title:** Resolution relating to a Certificate of Appropriateness to install a new sign at 1036 N. Van Buren Street for Brew City Church.

**Sponsors:** THE CHAIR

**Indexes:** HISTORIC PRESERVATION, HISTORIC PRESERVATION COMMISSION, SIGNS

**Attachments:** Application, Certificate of Appropriateness

Date	Ver.	Action By	Action	Result	Tally
4/4/2012	0	COMMON COUNCIL	ASSIGNED TO		

Number  
111703  
Version  
ORIGINAL  
Reference

Sponsor  
THE CHAIR  
Title

Resolution relating to a Certificate of Appropriateness to install a new sign at 1036 N. Van Buren Street for Brew City Church.

Requestor

Drafter  
CC-CC  
dkf  
4/4/12



## CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Incomplete applications will not be processed for Commission review.

Please print legibly.

**1. HISTORIC NAME OF PROPERTY OR HISTORIC DISTRICT: (if known)**

**ADDRESS OF PROPERTY:**

1036 N. Van Buren St. Milwaukee, WI 53212

**2. NAME AND ADDRESS OF OWNER:**

Name(s): Metrobrook Church

Address: 1036 N. Van Buren St.

City: Milwaukee

State: WI

ZIP 53212

Email: randyknie@yahoo.com

Telephone number (area code & number) Daytime: 414-687-9368

Evening: same

**3. APPLICANT, AGENT OR CONTRACTOR: (if different from owner)**

Name(s): Randy Knie

Address: 2418 N. 70th St.

City: Wauwatosa

State: WI

ZIP Code: 53213

Email: randyknie@yahoo.com

Telephone number (area code & number) Daytime: 414-687-9368

Evening: same

**4. ATTACHMENTS**

**A. REQUIRED FOR ALL PROJECTS:**

☒ Photographs of affected areas & all sides of the building (annotated photos recommended)

☐ Sketches and Elevation Drawings (1 full size and 2 reduced to 11" x 17" or 8 1/2" x 11")

☒ Material and Design Specifications (see next page)

**B. NEW CONSTRUCTION/DEMOLITION ALSO REQUIRES:**

☐ Floor Plans (1 full size and 1 reduced to 11" x 17")

☒ Site Plan showing location of project and adjoining structures and fences

Other (explain):

**PLEASE NOTE: YOUR APPLICATION CANNOT BE PROCESSED UNLESS BOTH PAGES OF THIS FORM ARE PROPERLY COMPLETED.**

**5. DESCRIPTION OF PROJECT:**

Describe all existing features that will be affected by proposed work. Please specify the condition of materials, design, and dimensions of each feature (additional pages may be attached)

One half of the front lawn of the church will be the location of the new sign. We will completely remove the old sign from the lawn. No other features of the building will be affected.

Photo No. \_\_\_\_\_

Drawing No. \_\_\_\_\_

**B. Describe all proposed work, materials, design, dimensions and construction technique to be employed (additional pages may be attached)**

We intend to install a new sign on the south side of the church's front lawn. The sign will be two-sided high grade sign foam that is sandblasted and handpainted, installed on two 4x4 wooden posts. The dimensions will be 37 inches tall and 7 feet tall, or less. Lighting will be installed either attached to the bottom of the sign or on the ground - whichever the sign company deems more appropriate. Electrical wiring was previously run, so no new electrical work needs to be done.

Photo No. \_\_\_\_\_

Drawing No. \_\_\_\_\_

**6. SIGNATURE OF APPLICANT:**

  
Signature

Randy Knie 3/30/12

Print or type name

Date

This form and all supporting documentation **MUST** arrive by 12:00 noon on the deadline date established to be considered at the next Historic Preservation Commission Meeting. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Hand Deliver or Mail Form to:  
Historic Preservation Commission  
City Clerk's Office  
200 E. Wells St. Room B-4  
Milwaukee, WI

PHONE: (414) 286-5722

FAX: (414) 286-3004

[www.milwaukee.gov/hpc](http://www.milwaukee.gov/hpc)





# Certificate of Appropriateness

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

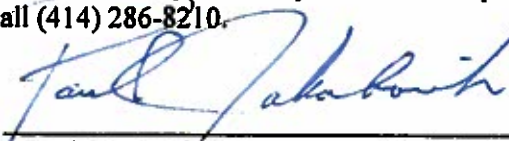
**Property** 1036 N. VAN BUREN ST. **Brew City church**  
**Description of work** Install new lawn sign with raised letters set on 4 x4 wood posts. Sign dimensions to be 3 feet by 7 feet. Sign will be externally illuminated. Existing banner sign on lawn to be removed.  
**Date issued** 3/30/2012 PTS ID 79053 COA, new sign on lawn

In accordance with the provisions of Section 320-21 (11) and (12) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All work will be done according to attached drawings. Wood posts must be painted upon completion. Each post will be topped with a simple metal or wooden cap to protect it from the weather.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation department as follows: Phone: (414) 286-5712 Fax: (414) 286-3004 E-mail: [pjakub@milwaukee.gov](mailto:pjakub@milwaukee.gov).

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, [www.mkedcd.org/build](http://www.mkedcd.org/build), or call (414) 286-8210.

  
Paul Jakubovich  
City of Milwaukee Historic Preservation

Copies to: Development Center, Ald. Robert Bauman, Inspector Bill Richter (286-2518) Inspector Heidi Weed