



City of Milwaukee

City Hall
200 East Wells Street
Milwaukee, WI 53202

Meeting Agenda ZONING, NEIGHBORHOODS & DEVELOPMENT COMMITTEE

ALD. JAMES WITKOWIAK, CHAIR

Ald. Willie Wade, Vice-Chair

Ald. Michael Murphy, Ald. Robert Bauman, and Ald. T. Anthony Zielinski

Staff Assistant, Chris Lee, 286-2232

Fax: 286-3456, clee@milwaukee.gov

**Legislative Liaison, Jeffrey Osterman, 286-2262,
joster@milwaukee.gov**

Wednesday, March 7, 2012

1:30 PM

Room 301-B, City Hall

1. **111549** Communication relating to the taxation of billboards.

 Sponsors: Ald. Kovac

2. **111511** Substitute resolution directing the Department of City Development to create a plan for conveying City-owned housing to qualified existing tenants.

 Sponsors: Ald. Hines Jr.

3. **111300** A substitute ordinance relating to the Third Amendment to the Detailed Planned Development known as Southgate Marketplace, for commercial development, on land located on the west side of South 27th Street, north of West Morgan Avenue, in the 11th Aldermanic District.

 Sponsors: Ald. Dudzik

4. **111503** Resolution directing the Department of City Development to disclose all written communications and documents related to the terms and conditions of any and all proposals and offers made to the Kohl's Corporation in connection with the possible relocation of its corporate headquarters to downtown Milwaukee.

 Sponsors: Ald. Bauman

This meeting will be webcast live at www.milwaukee.gov/channel25.

Common Council members who are not members of this committee may attend this meeting to participate or to gather information. This meeting may constitute a meeting of the Common Council or any of its standing committees although no formal action will be taken at this meeting.

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Legislation Details (With Text)

File #: 111549 **Version:** 0

Type: Communication **Status:** In Committee

File created: 2/28/2012 **In control:** ZONING, NEIGHBORHOODS & DEVELOPMENT COMMITTEE

On agenda: **Final action:**

Effective date:

Title: Communication relating to the taxation of billboards.

Sponsors: ALD. KOVAC

Indexes: SIGNS, TAXATION

Attachments: Hearing Notice List

Date	Ver.	Action By	Action	Result	Tally
2/28/2012	0	COMMON COUNCIL	ASSIGNED TO		
3/5/2012	0	ZONING, NEIGHBORHOODS & DEVELOPMENT COMMITTEE	HEARING NOTICES SENT		
3/5/2012	0	ZONING, NEIGHBORHOODS & DEVELOPMENT COMMITTEE	HEARING NOTICES SENT		
3/5/2012	0	ZONING, NEIGHBORHOODS & DEVELOPMENT COMMITTEE	HEARING NOTICES SENT		

Number
111549
Version
ORIGINAL
Reference

Sponsor
ALD. KOVAC
Title

Communication relating to the taxation of billboards.

Requestor

Drafter
CC-CC
jro
3/5/12

NOTICES SENT TO FOR FILE 111549:

[illegible]



Legislation Details (With Text)

File #: 111511 **Version:** 1

Type: Resolution **Status:** In Committee

File created: 2/28/2012 **In control:** ZONING, NEIGHBORHOODS & DEVELOPMENT COMMITTEE

On agenda: **Final action:**

Effective date:

Title: Substitute resolution directing the Department of City Development to create a plan for conveying City -owned housing to qualified existing tenants.

Sponsors: ALD. HINES JR.

Indexes: CITY PROPERTY, FORECLOSURES

Attachments:

Date	Ver.	Action By	Action	Result	Tally
2/28/2012	0	COMMON COUNCIL	ASSIGNED TO		
3/2/2012	1	CITY CLERK	DRAFT SUBMITTED		
3/5/2012	0	ZONING, NEIGHBORHOODS & DEVELOPMENT COMMITTEE	HEARING NOTICES SENT		

Number
111511
Version
SUBSTITUTE 1
Reference

Sponsor
ALD. HINES
Title

Substitute resolution directing the Department of City Development to create a plan for conveying City-owned housing to qualified existing tenants.

Analysis

This resolution directs the Department of City Development to create a plan to promote conveyance of residential properties to qualified existing tenants who occupy housing acquired by the City as the result of tax foreclosure.

The plan, to be reported to the Common Council not later than May 1, 2012, will address alternatives for expansion of current efforts, availability and development of resources, tenant qualifications and requirements, and will include a proposed budget.

Body

Whereas, The economic recession that began with the collapse of housing markets in 2008 has resulted in foreclosures of thousands of residential mortgages in the City of Milwaukee; and

Whereas, The inability of many owners of residential properties to meet financial obligations, including property taxes during this period of recession and distressed housing markets, has resulted

in the City's foreclosure acquisition of many hundreds of residential properties for failure of the owners to pay taxes; and

Whereas, The City Treasurer reports that nearly 500 properties with improvements were acquired by the City in 2011, and that the Office of City Treasurer plans to pursue in rem foreclosure against more than 1,300 tax delinquent parcels in 2012; and

Whereas, Approximately one-third of tax-foreclosed residential properties are occupied by tenants at the time they become City property; and

Whereas, Owner-occupied homes promote neighborhood stability, crime reduction and increased property values, and therefore the promotion of home ownership is a significant City priority; and

Whereas, Obstacles to the purchase of City-owned residential units by existing tenants include limited resources to assure that building code requirements and safety standards are met and to provide for necessary future property maintenance, poor credit, and lack of familiarity with the responsibilities of home ownership; and

Whereas, The Department of City Development is charged with the maintenance and management of residential property that comes into City ownership as a result of property tax foreclosure; and

Whereas, The Department of City Development currently partners with a community-based organization to assist a small number of tenants to become owner-occupants of tax-foreclosed units as provided in s. 304-49-4 of the Code of Ordinances which promotes the conveyance of City-owned neighborhood property for neighborhood stabilization, health, safety and welfare; and

Whereas, The interests of the City and neighborhoods will be well-served by significantly expanding efforts to assist tenants of tax-foreclosed properties to become owner-occupants; now, therefore, be it

Resolved, By the Common Council of the City of Milwaukee, that the Department of City Development is directed to create a plan for conveyance of City-owned housing units to qualified existing tenants, including strategies to identify and pre-qualify interested tenants and provide services to tenants leading to successful, sustainable home owner-occupancy; and, be it

Further Resolved, That the Department of City Development shall develop a budget for this plan, and recommend to the Common Council a variety of possible financial resources that could be used to support the implementation of such a plan as part of the department's responsibilities to maintain and manage tax-foreclosed residential property; and, be it

Further Resolved, That the Department of City Development shall present its plan to the Council no later than May 1, 2012.

Requestor

Drafter
LRB137331-2.2
Richard L. Withers
3/2/2012

NOTICES SENT TO FOR FILE : 111511

[illegible]



Legislation Details (With Text)

File #: 111300 **Version:** 1

Type: Ordinance **Status:** In Committee

File created: 1/18/2012 **In control:** ZONING, NEIGHBORHOODS & DEVELOPMENT COMMITTEE

On agenda: **Final action:**

Effective date:

Title: A substitute ordinance relating to the Third Amendment to the Detailed Planned Development known as Southgate Marketplace, for commercial development, on land located on the west side of South 27th Street, north of West Morgan Avenue, in the 11th Aldermanic District.

Sponsors: ALD. DUDZIK

Indexes: PLANNED UNIT DEVELOPMENTS, ZONING, ZONING DISTRICT 11

Attachments: Exhibit A as of 2-17-12, Exhibit A Continued as of 2-10-12, Site Photographs, Proposed Zoning Change Map, Affidavit for Zoning Change, Our Lady Queen of Peace Parish Letter, Hearing Notice List, City Plan Commission Letter, PowerPoint

Date	Ver.	Action By	Action	Result	Tally
1/18/2012	0	COMMON COUNCIL	ASSIGNED TO		
1/23/2012	0	CITY CLERK	REFERRED TO		
2/13/2012	1	CITY CLERK	DRAFT SUBMITTED		
2/21/2012	1	CITY CLERK	PUBLISHED		
2/29/2012	1	ZONING, NEIGHBORHOODS & DEVELOPMENT COMMITTEE	HEARING NOTICES SENT		

Number

111300

Version

SUBSTITUTE 1

Reference

981436, 981538, 030623, 060967

Sponsor

ALD. DUDZIK

Title

A substitute ordinance relating to the Third Amendment to the Detailed Planned Development known as Southgate Marketplace, for commercial development, on land located on the west side of South 27th Street, north of West Morgan Avenue, in the 11th Aldermanic District.

Analysis

This zoning change was requested by Southgate Outlet LLC and will allow for commercial development on a portion of the site.

Body

The Mayor and Common Council of the City of Milwaukee ("Common Council"), do ordain as follows:

Part 1. There is added to the Milwaukee Code of Ordinances ("Code") a new section to read as follows:

Section 295-907(2)(c).0181.

(1) In accordance with the provisions of Section 295-907 of the Code relating to the

establishment of planned development districts, the Common Council approves the subject amended Detailed Planned Development, a copy of which is attached to this Common Council File as Exhibit A which is on file in the office of the City Clerk and made a part as though fully set forth herein.

(2) The zoning map is amended to change the zoning for the property located at 3355 South 27th Street, Tax Key No. 533-1103-000, for the Third Amendment to the Detailed Planned Development (DPD).

(3) The requirements set forth in said detailed plan attached to this Common Council File as Exhibit A, constitute the zoning regulations for the area contained in such planned development district described, provided further, that the effect of the approval of such detailed plan is that such plan shall limit and control construction, location, use and operation of all land and structures included within the detailed plan to all conditions and limitations set forth in such detailed plan.

Part 2. Any persons, firm, company or corporation owning, controlling or managing any building or premises wherein or whereon there shall be placed or there exists anything in violation of the terms of this ordinance; or who shall build contrary to the plans or specifications submitted to and approved by the Commissioner of the Department of City Development, or any person, firm, company or corporation who shall omit, neglect or refuse to do any act required in this ordinance shall be subject to the penalties provided in Section 200-19 of the Code.

Part 3. If any section, subsection, sentence, clause, phrase or portion of this ordinance is for any reason held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed a separate, distinct and independent provision, and such holding shall not affect the validity of the remaining portions. The Common Council declares that it would have passed this ordinance and each section, subsection, sentence, clause, phrase or portion irrespective of the fact that any one or more sections, subsections, sentences, clauses or phrases or other portions be declared void or invalid.

Drafter

DCD:VLK:kdc

02/12/12

EXHIBIT A – FILE NO. 111300

SOUTHGATE MARKETPLACE DEVELOPMENT
Southwest Corner of Intersection of W. Holt Avenue and South 27th Street
Milwaukee, Wisconsin

DETAILED PLAN DEVELOPMENT PROJECT DESCRIPTION
AND OWNER'S STATEMENT OF INTENT

1. OVERVIEW. Wal-Mart Real Estate Business Trust ("Wal-Mart") is the current owner of a portion of the Southgate Marketplace planned development (the "Development") consisting of an approximately 18.0 acre parcel (the "Wal-Mart Parcel") bounded by S. 27th Street (U.S. Hwy. 41) on the east, the Retail Parcel (defined below) to the south, W. Lakefield Drive, S. 30th Street and the Kinnickinnic River on the west, and neighboring developed parcels to the north. Southgate Marketplace, LLC ("SM"), is the current owner of a portion of the Development consisting of an approximately 4.5 acre parcel (the "Retail Parcel") bounded by the Wal-Mart Parcel on the north, S. 27th Street (U.S. Hwy. 41) on the east, W. Morgan Avenue on the south, and W. Lakefield Drive and the Kinnickinnic River on the west.

Southgate Marketplace Outlot, LLC ("SMO"), has entered into an agreement with Wal-Mart for the purchase by SM and the sale by Wal-Mart of a portion of the Wal-Mart Parcel consisting of approximately 0.49 acres (the "Site"), located in the southeast corner of the existing Wal-Mart parcel and bounded by the Wal-Mart Parcel on the north and west, by S. 27th Street (U.S. Hwy. 41) on the east, and by the Retail Parcel on the south. The Site is located in the 11th aldermanic district of the City of Milwaukee. SMO has submitted an application to the City of Milwaukee for the approval of a Certified Survey Map (the "CSM") to establish the Site as a separate legal parcel. That application is pending, and the closing of the sale of the Site to SMO is contingent upon approval of the CSM by the City of Milwaukee.

The Site currently serves as a portion of the paved parking lot serving the Development. Upon acquisition of the Site, SMO intends to construct a building on the Site consisting of approximately 5,000 square feet (the "Building"). SMO intends the Building to house up to three retail tenants. SMO is currently in negotiations with US Cellular and Starbucks to be the tenants in the Building.

2. PLANS. The vicinity map attached as Exhibit 1 shows the general location of the Site within the 11th Aldermanic District. Access to the Site is from the Wal-Mart Parcel on the west, and from the Retail Parcel on the south. The metes and bounds legal description of the Site is as follows:

Lands being a part of Parcel 3 of Certified Survey Map No. 6745, being a part of the Southeast ¼ of the Northeast ¼ of Section 13, Town 6 North, Range 21 East, in the City of Milwaukee, Milwaukee County, Wisconsin, bounded and described as follows:

Beginning at the Southeast corner of said Parcel 3, thence North 89 degrees 18 minutes 56 seconds West along the South line of said Parcel 138.70 feet to a point; thence North 00 degrees 45 minutes 50 seconds East and parallel to the West line of South 27th Street a distance of 131.59 feet to a point; thence Northeasterly 36.88 feet along the arc of a curve whose center lies to the Southeast, whose radius is 23.50 feet and whose chord bears North 45 degrees 43 minutes 27 seconds East 33.21 feet to a point; thence North 89 degrees 18 minutes 56 seconds East and parallel to the South line of said Parcel 115.23 feet to a point on the West line of South 27th Street; thence South 00 degrees 45 minutes 50 seconds West along said West line 155.06 feet to the point of beginning.

The boundaries of the Site, adjacent public rights-of-way, easements and reservations adjacent to or within the Site are included in the Excel Engineering Plat of Survey attached hereto as Exhibit 2. The survey map also identifies pavements and appurtenances presently on the Site.

The site plan attached hereto as Exhibit 3 shows the proposed location of the Building, open spaces, setbacks, pedestrian and vehicular circulation, parking facilities, and refuse collection areas. The floor plan attached hereto as Exhibit 4 shows the proposed floor plan and dimensions of the Building. The elevation attached hereto as Exhibit 5 shows the proposed elevations of the Building from all sides.

The proposed plans (the "Plans") for the development of the Site are also attached hereto as Exhibit 6, which includes several sheets. Sheet C1.1 shows the demolition plan for the Site. Sheet C1.2 shows the proposed overall site plan, including striping of the parking lot. Sheet C1.3 shows the grading and erosion control plan for the Site, and indicates existing and proposed topography at 1-foot contour intervals. The grading plan also shows how positive runoff of surface water will be achieved and the means by which ultimate disposal of the Site's surface waters will be accomplished. Sheet C1.4 shows the utilities plan for the Site, and identifies the existing and proposed location of storm and sanitary sewers, water mains and laterals, parking and roadway storm inlets and elevations. Sheet C1.6 shows the landscape plan for the Site, and identifies the location, number, size and type of the upgraded landscaping elements proposed for the Site.

3. USES. SMO intends to use the Site and the Building for retail purposes, including all of the uses permitted in the LB2 zoning district. SMO is currently in negotiation with US Cellular to lease a portion of the Building for the operation of a typical US Cellular retail outlet selling wireless communications equipment and service. SMO is also currently in negotiation with Starbucks to lease a portion of the Building for the operation of a typical

Starbucks coffee shop. The Plans currently include a proposed drive-through lane on the Site and an associated drive through window in the Building for use by Starbucks.

In addition to those use restrictions imposed by zoning ordinance, the use of the Site and the Building will be restricted by an easement agreement recorded by the original developer of the Development (the "Easement Agreement"). The Easement Agreement permits the Building to be used only for commercial purposes of a type normally found in a retail shopping center, and prohibits the Site or Building from being used as a theater, flea market, second-hand store, close out or liquidation store, auction house, post office, educational or training facility, any use which constitutes a nuisance, an automobile sales or leasing facility, children's play or party facility, pool hall, massage parlor, cafeteria, bowling alley, bingo parlor, billiard parlor, skating rink, roller rink, adult bookstore, adult theater, adult amusement facility or any facility selling or displaying pornographic materials, night club, bar, lounge, liquor store, disco, or other place of recreation or amusement, or any business serving alcoholic beverages (except restaurants, which may sell alcoholic beverages as an incidental part of their business).

4. DESIGN STANDARDS. The Building will be constructed of masonry, EIFS, and other high-quality standard commercial building products. As shown on Exhibit 5, the Building will incorporate attractive and modern design elements on the northern, eastern and southern elevations, including linear awnings and tower features at the corners of the Building that extend above the normal height of the roof.

5. SPACE BETWEEN STRUCTURES. The Building, and the location of the Building in relation to other buildings in the Development, will comply with all applicable building codes, including the City's fire code.

6. SETBACKS. As shown on Sheet C1.2 of Exhibit 6, the Building will be set back from the northern boundary of the Site by approximately 58 feet, from the eastern boundary of the Site by approximately 55 feet, from the southern boundary of the Site by approximately 12 feet, and from the western boundary of the property by approximately 19 feet. The setback areas on the Site will be landscaped and used only as open space, for direct access to the Site, for utility rights-of-way, for sidewalks, and for storm water management areas.

7. SCREENING. There are no residential uses adjacent to the Site. Nevertheless, the proposed plans provide for additional landscaping to enhance the buffer between the Site and S. 27th Street to the east. See Exhibit 6, Sheet C1.6 for details.

8. OPEN SPACES. The open space and landscaping on the Site have been planned to create a clear and well-designed atmosphere, to promote the safety of pedestrians, and to

promote efficient traffic flow. The open spaces on the Site will be landscaped and maintained so as not to create a nuisance or hazardous conditions.

9. CIRCULATION, PARKING AND LOADING. Existing cross-access points on the southern and western sides of the Site will be utilized for access to the Site. At the time of its acquisition of the Site, SMO will enter into recordable access easement agreements with Wal-Mart and SM for perpetual easements across the Wal-Mart Parcel and the Retail Parcel, respectively, for access to the Site. Such easement agreements will also permit occupants and invitees of the Building to use parking areas on the Wal-Mart Parcel and Retail Parcel for vehicle parking.

The Plans provide for a proposed drive-through lane for Starbucks. The drive-through lane will be entirely contained within the Site, and all stacking of vehicles using the drive-through lane will occur on the Site.

Bike racks will be provided near the main entrance to the Building, as required by municipal ordinance.

The Wal-Mart Parcel, not including the Site, currently contains 877 standard parking spaces, 25 accessible spaces, and 20 cart corrals, for a total of 922 spaces; and the Site currently contains 49 standard spaces and no accessible spaces. Following the proposed development, the Wal-Mart Parcel, not including the Site, will contain 846 standard parking spaces, 26 accessible spaces, and 20 cart corrals, for a total of 892 spaces; and the Site will contain 18 standard parking spaces and one accessible space.

10. LANDSCAPING. New vegetation will be added consistent with the landscape plan included in Exhibit 6 as Sheet C1.6. Green space will increase on the Site from approximately 14% currently, to approximately 16% after the development of the Site. Landscaping will be professionally attended and maintained, including seasonal tree and plant replacement, when necessary.

11. LIGHTING. Lighting for the Site will continue as currently in existence with the addition of four (4) new light poles. Building lighting will also enhance the illumination of the Site.

12. UTILITIES. All utility lines will be installed and will be maintained underground.

13. SIGNS. A monument sign for the Building is proposed for the northeast corner of the Site, proximate to the access point to the Development from S. 27th Street and the associated

access road. The proposed location of the monument sign is shown on Exhibit 3, and the proposed design of the monument sign is shown on Exhibit 7.

Wall signage for tenants in the Building will be Type A with individual letters or logos, and will follow Local Business (LB1) signage standards for Type A wall signage, which permit one (1) wall sign of up to seventy-five (75) square feet for each façade segment of twenty-five lineal feet. Wall signage will be permitted on the east (front), west (rear), north (side), and south (side) elevations of the Building. Signage for up to three (3) tenants will be permitted on the east (front) and west (rear) elevations.

SOUTHGATE MARKETPLACE DEVELOPMENT
STATISTICAL SHEET
(Detailed Planned Development District)

Proposed New Development Site

	<u>Proposed Site</u>
Gross Land Area (acres):	0.49
Land Covered by Buildings (acres / pct.):	0.11 / 22.5%
Land Devoted to Parking and Drives (acres / pct.):	0.30 / 61.2%
Land Devoted to Landscaped Open Space (acres / pct.):	0.08 / 16.3%
Number of Buildings:	1
Standard Parking Spaces Provided:	18
Accessible Parking Spaces Provided:	1

Wal-Mart Site

	<u>Existing Wal-Mart Site</u>	<u>Wal-Mart Site after Development</u>
Gross Land Area (acres):	18.49	18.00
Land Covered by Buildings (acres / pct.):	4.88 / 26.4%	4.88 / 27.1%
Land Devoted to Parking and Drives (acres / pct.):	12.0 / 64.9%	11.6 / 64.4%
Land Devoted to Landscaped Open Space (acres / pct.):	1.70 / 9.2%	1.63 / 9.1%
Number of Buildings:	1	1
Standard Parking Spaces Provided:	877	846
Accessible Parking Spaces Provided:	25	26
Cart Corrals Provided:	20	20

EXHIBIT 1

VICINITY MAP

{see attached}

Digitized by Google

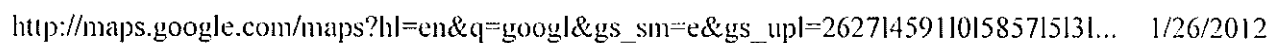


EXHIBIT 2

PLAT OF SURVEY

{see attached}

SURVEYOR'S CERTIFICATE

I, Ryan Wilgreen, Registered Land Surveyor, hereby certify that on the date I have completed a survey for Southgate Marketplace Outlot, LLC of a parcel of land described below.

That I have marked the corners or boundaries of said parcel on the ground by setting iron stakes as shown on the map and that the following is the correct description as surveyed and stated out:

Lot 2 of CSM No. _____ recorded in the Milwaukee County Register of Deeds Office on _____ as Document No. _____ being part of Parcel 3 of CSM No. 6746, being a part of the Northeast 1/4 and the Southeast 1/4 of the Northeast 1/4 of Section 13, Town 8 North, Range 21 East in the City of Milwaukee, Milwaukee County, Wisconsin.

That such survey is a correct representation of all the exterior boundaries of the land surveyed and the principal buildings thereon.

This survey is correct to the best of my knowledge and belief.

This survey is made for the accurate use of the present owners and those who purchase mortgage or guarantee title thereto within one year from the date hereof.

Ryan Wilgreen
Ryan Wilgreen, R.L.S. No. S-2047

Excel Engineering, Inc.
Fond du Lac, Wisconsin 54935

Project Number: 1200960



This plat of survey was required by the City of Milwaukee as part of the site plan submittal process. The CSM creating the subject property has not been recorded and an unrecorded copy of said CSM was used to define the boundaries of the subject property.

PROPOSED IMPROVEMENTS
SEE SHEET 2

TOTAL AREA
0.491 ACRES
(21,388 sq. ft.)

LEGEND:

- | | |
|-----------------------------|-------------------------------------|
| EXISTING SPOT ELEVATIONS | EXISTING STORM SEWER AND MANHOLE |
| PROPOSED SPOT ELEVATIONS | EXISTING SANITARY SEWER AND MANHOLE |
| WATER VALVE IN BOX | EXISTING WATER LINE AND HYDRANT |
| WATER VALVE IN MANHOLE | EXISTING UNDERGROUND ELECTRIC CABLE |
| EXISTING SQUARE CATCH BASIN | PROPOSED STORM SEWER AND MANHOLE |
| EXISTING ROUND CATCH BASIN | PROPOSED SANITARY SEWER AND MANHOLE |
| EXISTING CURB INLET | PROPOSED WATER LINE AND MANHOLE |
| PROPOSED ROUND INLET | EXISTING CURB AND GUTTER |
| PROPOSED CURB INLET | PROPOSED CURB AND GUTTER |
| STREET LIGHT | EXISTING IRON PILE |
| EXISTING LIGHT POLE | PROPERTY LINE |
| ELECTRIC MANHOLE | EXISTING GROUND CONTOUR |
| EXISTING SIGN | PROPOSED GROUND CONTOUR |
| HANDICAP PARKING STALL | |
| DECIDUOUS TREE | |
| 1" IRON PIPE FOUND | |
| WIDE IRON PIPE FOUND | |
| CHISELED "X" FOUND | |
| WORKMONEY FOUND | |

NOTE: AN UPDATED TITLE SEARCH HAS NOT BEEN PROVIDED TO EXCEL ENGINEERING, INC. FOR THE PREPARATION OF THIS SURVEY.

BENCHMARK
(DATE: NOV 1928)

CUT "X" ON SOUTH SIDE OF LIGHT POLE BASE LOCATED APPROXIMATELY 100' WEST OF S. 27th STREET AND N. HOLT STREET INTERSECTION. ELEVATION=858.14

SCALE
1" = 20'

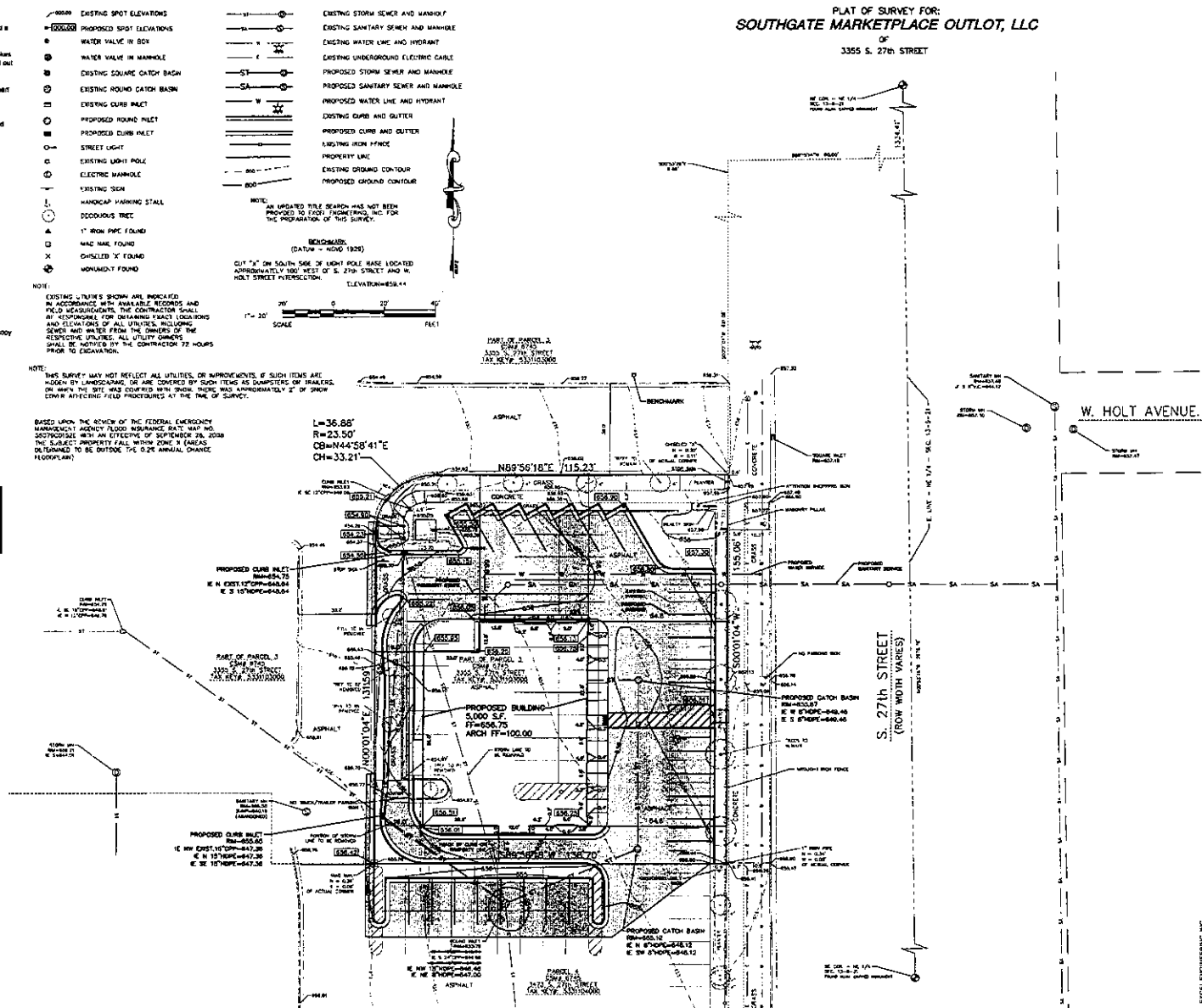
NOTE:

EXISTING UTILITIES SHOWN ARE INDICATED IN ACCORDANCE WITH AVAILABLE RECORDS AND FIELD MEASUREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING EXACT LOCATIONS AND DEPTHS OF ALL UTILITIES, INCLUDING SEWER AND WATER FROM THE OWNERS OF THE RESPECTIVE UTILITIES. ALL UTILITY OWNERS SHALL BE NOTIFIED BY THE CONTRACTOR 72 HOURS PRIOR TO EXCAVATION.

NOTE:

THIS SURVEY MAY NOT REFLECT ALL UTILITIES, OR IMPROVEMENTS, IF SUCH ITEMS ARE HIDDEN BY LANDSCAPING, OR ARE COVERED BY SUCH ITEMS AS DUMPSTERS OR TRAILERS. OR WHEN THE SITE WAS COUPLED WITH OTHER, THERE WAS AN APPROXIMATELY 2' OF DOWN DRAIN AFFECTING FIELD PROCEDURES AT THE TIME OF SURVEY.

BASED UPON THE REVIEW OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY 75000 INSURANCE, ETC., MAY BE SUFFICIENT WITH AN EFFECTIVE OF SEPTEMBER 26, 2008 THE SUBJECT PROPERTY FALL WITHIN ZONE A (LANDS RETURNED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN)



PLAT OF SURVEY FOR: SOUTHGATE MARKETPLACE OUTLOT, LLC OF 3355 S. 27th STREET



100 CAMLOT DRIVE
FOND DU LAC, WI 54935
PHONE: (920) 924-8888
FAX: (920) 924-8887

Always a Better Plan

OWNER:
SOUTHGATE MARKETPLACE OUTLOT, LLC
10345 N. PORT WASHINGTON ROAD
SUITE 175
MEQUON, WI 53092

PROJECT:
3355 RETAIL
3355 S. 27th STREET
MILWAUKEE, WI 53215

SHEET ISSUE:
01-27-2012

SEE TITLE SHEET TO CONFIRM THAT THIS SHEET HAS BEEN ISSUED FOR CONSTRUCTION

REVISIONS:

JOB NUMBER:
1200960

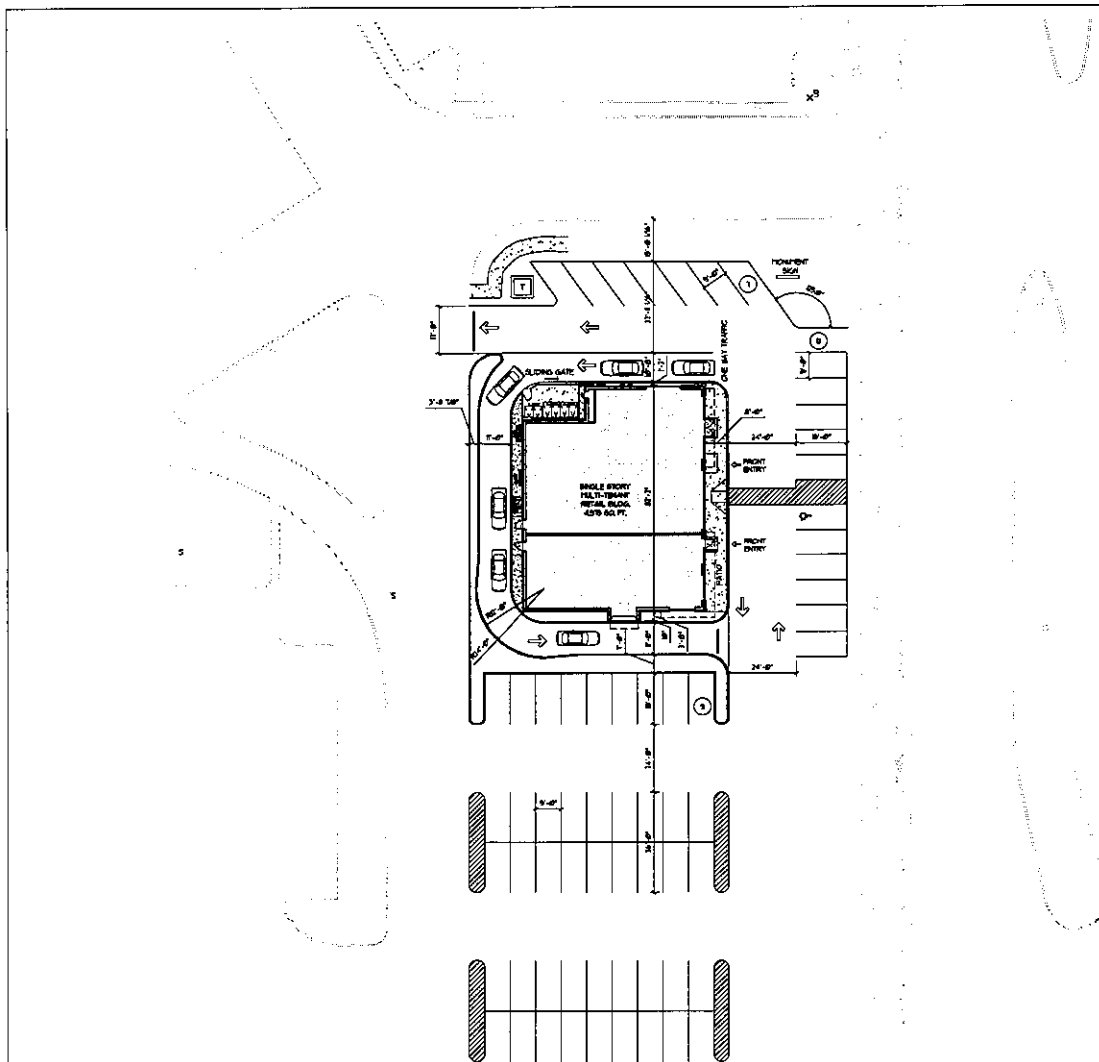
SHEET

PS

EXHIBIT 3

SITE PLAN

{see attached}



PLAN NORTH
SITE PLAN
SCALE 1"=80'
2

NOT USED	1
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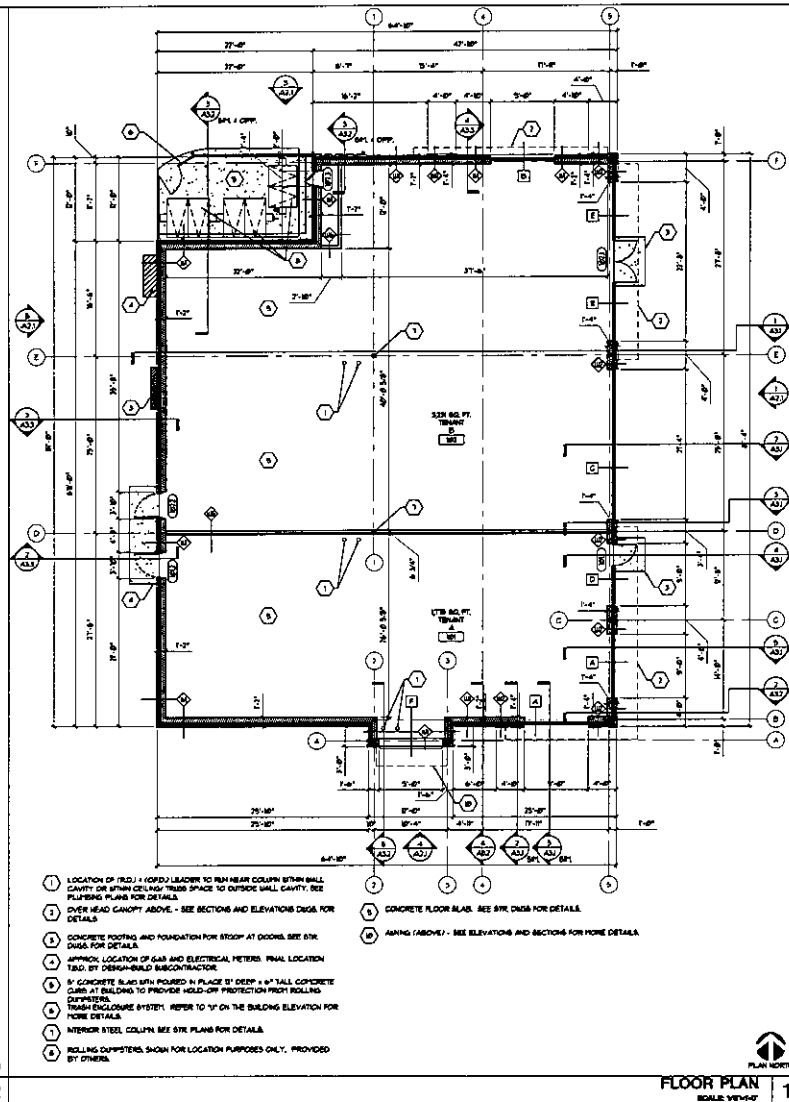
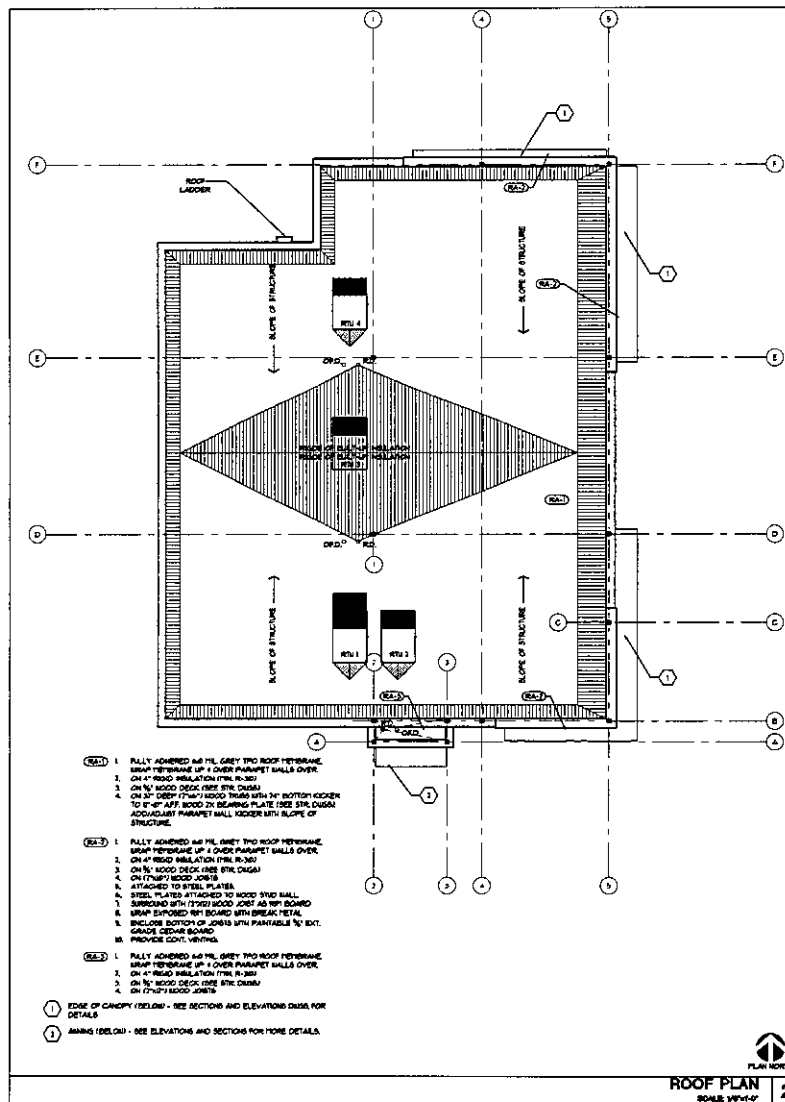
Full Size Paper: 11" x 17" 84-0457

	PERSPECTIVE DESIGN, INC.	Shoppes at Southgate
	1335 W. North Avenue West Allenton, WI 53226	3305 27TH STREET MILWAUKEE, WI
	Tel: (414) 302-1780 FAX: (414) 302-1781	
Drawing Title:		SITE PLAN
Date:	01/28/92	
Scale:	A=1"	
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Job:	12-008	
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EXHIBIT 4

FLOOR PLAN


{see attached}



DO NOT SCALE THIS SHEET

ALL INFORMATION CONTAINED HEREIN IS UNCLASSIFIED

CONCRETE PERSPECTIVE DESIGN INC. HAS ALL RIGHTS RESERVED. NO DESIGN IS NOT TO BE REPRODUCED WITHOUT WRITTEN PERMISSION OF PERSPECTIVE DESIGN INC. THE CLIENT AGREES TO HOLD THE ARCHITECT HARMLESS FROM ANY CLAIMS OR LITIGATION THAT MAY BE BROUGHT AGAINST THE ARCHITECT FOR ANY REASON OR CAUSE WITHOUT THE ARCHITECT'S CONSENT OR ASSESSMENT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE INFORMATION CONTAINED HEREIN.

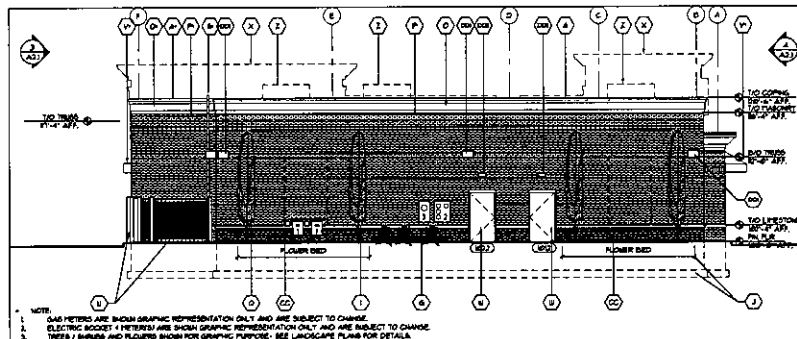
 PERSPECTIVE DESIGN, INC. 1525 W. North Avenue Plantation, FL 33326 (305) 255-0000 • FAX (305) 255-1201	Shoppes at Southgate 3355 27TH STREET MIAMI, FL 33156		NEW JN. DATE
	Project		DESCRIPTION UNIT APPROVAL SET DATE
Drawing Title: FLOOR PLAN		Date: 02/05/02 Scale: AS SHOWN Drawn: WH-1 Job: 10-000 Sheet:	A1.1

NOT FOR CONSTRUCTION

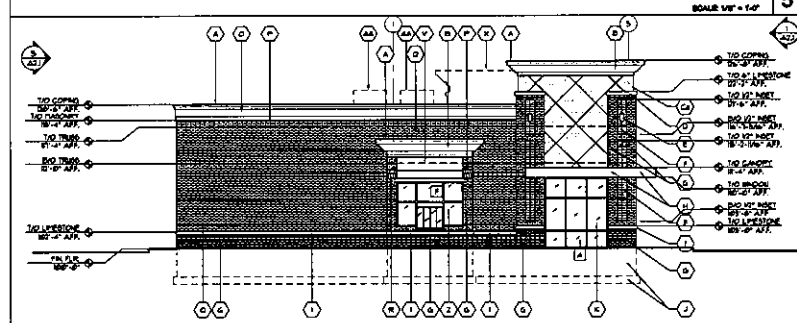
EXHIBIT 5

BUILDING ELEVATION

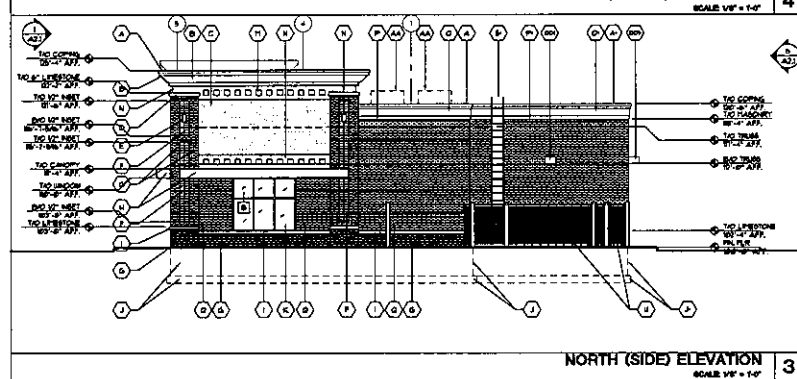
{see attached}



WEST (REAR) ELEVATION



SOUTH (FRONT) ELEVATION



NORTH (SIDE) ELEVATION

KEYED NOTES - NOTES WITH A (6) DENOTES MATERIAL (ADDED) BEYOND

- ① PREPARED TEXT COATING SYSTEM (REQUIRE) PLUS BY MOORE, SLOPE TO COAT TOWARDS ROOF. PROVIDE BLOCKING AS REQUIRED BY MANUFACTURER.
- ② EPS/ COMPO MASTIC +
COLOR MATCH TO LIGHT TONED BRICK
TEXTURE MATCH TO LIGHT TONED BRICK
EPS WALL (FIELD) MATCH TO LIGHT TONED BRICK
TEXTURE MATCH TO LIGHT TONED BRICK
- ③ 1/4" MINIMUM 2" X 8" MINIMUM 6" WIDE SCOE NAILS AT 45° ON 6" OC. CONTINUED ON LOGS
- ④ 1/4" MINIMUM PLASTER CAP
COLOR BEIGE / SAND
PROVIDE TOP WITH ALUMINUM BRIT PROG. BLOCK.
PROVIDE DRAIN GUT
- ⑤ LIGHT TEXTURE WITH DISCREET TONER
COLOR MATCH TO ALUM. STORMPORT PAINTING COLOR
- ⑥ CLAY BRICK BLOCK LIGHT TONED BRICK DISCREET REAL
FINISH MATCH
SIZE MODULAR (16" X 8" X 8")
TEXTURE BELL
COLOR TUBER BROWN
CORNER BLACK BOND
RECEIVE JOINT
FOOTING MATCH TO MASONRY
- ⑦ CLAY BRICK BLOCK TONAL TONAL DISCREET REAL
FINISH MATCH
SIZE MODULAR (16" X 8" X 8")
TEXTURE BELL
COLOR CHOCOLATE BROWN
CORNER MATCHING BOND
FOOTING MATCH TO MASONRY
- ⑧ BEDDING COVERED/CLAY GRAFT WITH PREPARED ARCHITECTURAL BRICK TEXT COATING 6" SECTION
⑨ 1/4" MINIMUM 2" X 8" MINIMUM 6" WIDE SCOE NAILS AT 45° ON 6" OC. CONTINUED ON LOGS
COLOR MATCH TO ALUM. STORMPORT PAINTING COLOR

- [illegible]

- TEXTURE: FINE
- SIZE: 24" TALL
- WEIGHT: 3.1

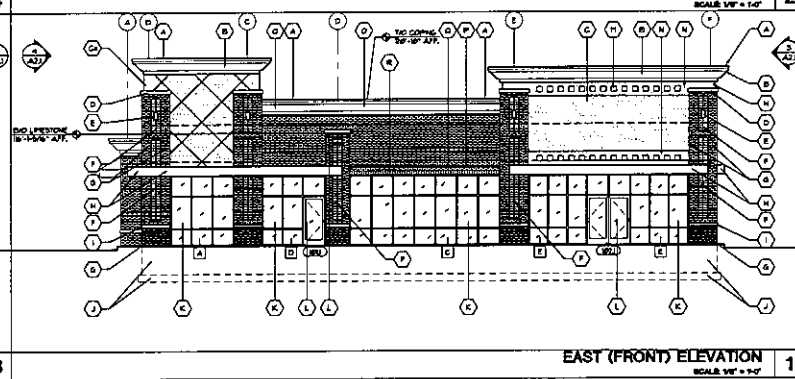
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○ AZTEK TRIM BOARD / BUILT-UP FOLDING

- | | |
|-----|--|
| | • COLOR: PAINT TO MATCH TO E&S FIELD) |
| | • FINISH: SMOOTH |
| | • SIZE: 1/2" LAD OVER (REVEAL - 1/2") |
| | • SIZE: 1/2" LAD OVER (REVEAL - 1/2") |
| | • SIZE: 1/2" REVEAL - 1/2" |
| | • FINISHING: BZF |
| (F) | CLAY PLATE BRACK (DRAW: TONE WITH MANTON, RECOMMENDED SEAL
FINISH: BELGIAN BRICK DO.)
• SIZE: MODULAR (3'-3/4" x 2-1/2" x 1-5/8") |
| | • FINISH: BARK |
| | • COLOR: CHOCOLATE BROWN |
| | • COLOR: WEATHER |
| | • PORTLAND: MATCH TO THERMOY |
| (G) | CLAY PLATE BRACK (DRAW: TONE WITH MANTON, RECOMMENDED SEAL
FINISH: BELGIAN BRICK DO.)
• SIZE: MODULAR (3'-3/4" x 2-1/2" x 1-5/8") |
| | • FINISH: VELVET |
| | • COLOR: IMPERIALIZED |
| | • COLOR: RUNNING BOND |
| | • PORTLAND: MATCH TO THERMOY |
| (H) | CLAY PLATE BRACK (DRAW: TONE WITH MANTON, RECOMMENDED SEAL
FINISH: BELGIAN BRICK DO.)
• SIZE: MODULAR (3'-3/4" x 2-1/2" x 1-5/8") |
| | • FINISH: THERM |
| | • COLOR: CHOCOLATE BROWN |
| | • COLOR: BARK |
| | • PORTLAND: MATCH TO THERMOY |
| (I) | EXTENSION WALL MOUNTED ROOF ACCESS LADDER
• FINISH: BZF TO OVERHEAD (NO LADDER)
• COLOR: BLACK - POWDER COAT
• NOT USED |
| (J) | TRANS-IMPREGNATED SYSTEM (NAPACORE PRIMER / STEEL WIRE MESH)
• FINISH: H&S
• SIZE: 1/2" TALL
• FINISH: CLEAR |
| | • PROVIDE 2" OF FLASH SLONG GATE SUPPORTED BY ROLLERS MOUNTED TO CONCRETE FULLED STEEL ROLLERS. PROVIDE LOCKABLE (18-INCH) RING DOOR. |
| (K) | PROVIDE PRIMAAT ALUMINUM SLIP-ON CONTRACTOR
• FINISH: PRIMAAT (SEE PRIMAAT L CONTRACTOR) |
| (L) | FINISH: FINISH ALUMINUM SLIP-ON CONTRACTOR
• COLOR: BLACK |
| (M) | INSULATED EXTERIOR STEEL DOOR PROVIDE LATCH GUARD (ALL NEW LEATHER-PROOFING SEALS
DRIPS AND/OR REPAIRS TO EXISTING DOOR)
• COLOR: PAINT TO MATCH TO ALUM. STOREFRONT FINISHING COLOR
• BUILDING PROFILE (REVIEW?) |
| (N) | NOT USED |
| (O) | PREPARED ALUMINUM SLIP-ON CONTRACTOR DRIVE-TURN WINDOW SYSTEM
• PROVIDE PRIMAAT ALUMINUM (BARRIER-DOOR, PER MANUFACTURERS WRITTEN RECOMMENDATIONS)
• PROVIDE ADA COMPLIANT HANDRAILS & HANDWHEELS
• PROVIDE MOUNTED SLIDING ALUMINUM SLIP-ON CONTRACTOR
• MATCH COLOR AND FINISH TO STOREFRONT SYSTEM
• SEE CONSTRUCTION FOR PERFORMANCE REQUIREMENTS |
| (P) | ROOF TOP UNIT - PROFILE (REVIEW?) |
| (Q) | 1/2" UPHOLE FLAYER CAP
• COLOR: B&S / B&S / B&S
• PROVIDE 1/2" UPHOLE FLAYER FRONT BOLD. |
| | • PROVIDE 1/2" UPHOLE FLAYER FRONT BOLD. |
| (R) | ALUM. VERTICAL WALL, WALLS OR FRAMLESS STEEL, HOLD-UP (1/2" x 1/2" x 1/2") TOTAL NUMBER AND LOCATION, TONE, B&S, PAINT, FINISH, COLOR, DETERMINED. |

1. BALL PACK - BUILDING LIGHTING -
2. EMERGENCY LIGHT FIXTURE AT EXT

- EXTENDED ABSTRACTS



EAST (FRONT) ELEVATION

DO NOT SCALE THIS SHEET

[illegible]

**Shoppes at
Southgate**
3355 27TH STREET
MILWAUKEE, WI

ECTIVE
N, INC.
CTURE
226
Fax (414) 302-179

EC
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CNU
2226

6P1
GN
th Ave
171 530
1-1730

25510
SIC
North
052, W
202, 302

1414

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132.
133.
134.
135.



Year	Percentage of Respondents
1990	65
1992	75
1994	70
1996	78
1998	85
2000	90



5

[illegible]

Drawing Title:

BUILDING ELEVATIONS

1

11

[illegible]

Date: 02/03/12

Scale	AN
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Drawn by:	WHC
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Job:	10-000
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Sheet:

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A2.1

NOT FOR CONSTRUCTION

EXHIBIT 6

PLANS

{see attached}

PROPOSED RETAIL DEVELOPMENT FOR: SOUTHGATE MARKETPLACE OUTLOT, LLC MILWAUKEE, WISCONSIN

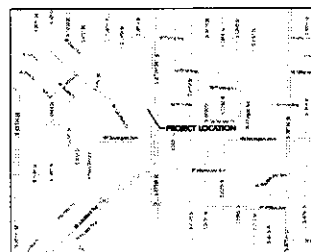
PLAN SPECIFICATIONS (BASED ON CSI FORMAT)

LEGEND

PROPOSED SPOT ELEVATIONS (FLOW LINE OF CURB UNLESS OTHERWISE SPECIFIED)	EXISTING CONCRETE TIE
PROPOSED SPOT ELEVATIONS (TOP OF RETAINING WALL, TOP OF SURFACE DRIVE AT BOTTOM OF WALL)	EXISTING DRIVE
PROPOSED SPOT ELEVATIONS (TOP OF CURB, BOTTOM OF CURB)	EXISTING STUMP
PROPOSED SPOT ELEVATIONS (TOP OF WALK, BOTTOM OF WALK)	SOL BORING
EXISTING WATER VALVE IN BOX	EXISTING WELL
PROPOSED WATER VALVE IN BOX	PROPOSED WELL
EXISTING WATER VALVE IN MANHOLE	EXISTING LIGHT POLE
EXISTING TELEPHONE VALVE	EXISTING SIGN
EXISTING TELEPHONE MANHOLE	CENTER LINE
EXISTING ROUND CATCH BASIN	EXISTING HANDCAP PARKING STALL
PROPOSED ROUND CATCH BASIN	PROPOSED HANDCAP PARKING STALL
EXISTING SQUARE CATCH BASIN	EXISTING GAS VALVE
EXISTING CURB INLET	EXISTING WOODED AREA
PROPOSED CURB INLET	EXISTING HEDGE
EXISTING UTILITY POLE	EXISTING CHAINLINK FENCE
EXISTING UTILITY POLE WITH OUT WIRE	EXISTING RAIL FENCE
EXISTING STREET LIGHT	EXISTING BARRICADE WIRE FENCE
EXISTING TELEPHONE PEDISTAL	PROPERTY LINE
EXISTING ELECTRIC PEDISTAL	EXISTING CURB RAIL
EXISTING ELECTRIC BOX	EXISTING STORM SEWER AND MANHOLE
EXISTING CABLE TV PEDISTAL	PROPOSED STORM SEWER AND MANHOLE
PROPOSED DRAINAGE FLOW	EXISTING SANITARY SEWER AND MANHOLE
1-1/4" REBAR SET MEASURING 4.00 D.I.T.	PROPOSED WATER LINE AND HYDRANT
3/4" REBAR SET MEASURING 1.50 D.I.T.	PROPOSED WATER LINE AND HYDRANT
1-1/4" REBAR FOUND	EXISTING OVERHEAD UTILITY LINE
3/4" REBAR FOUND	EXISTING UNDERGROUND FIBER OPTIC LINE
2" HIGH PIPE FOUND	EXISTING UNDERGROUND ELECTRIC CABLE
1" HIGH PIPE FOUND	EXISTING UNDERGROUND TELEPHONE CABLE
EXISTING FLOOD LIGHT	EXISTING UNDERGROUND GAS LINE
SECTION CORNER	PROPOSED CURB AND GUTTER
PROPOSED ASPHALT ENDBALL	EXISTING CURB AND GUTTER
EXISTING MARCH AREA	EXISTING GRADING LIMITS
EXISTING EXISTING FENCE	RIGHT-OF-WAY LINE
	PROPERTY LINE
	RAILROAD TRACKS
	EXISTING GROUND CONTOUR
	PROPOSED GROUND CONTOUR

CIVIL SHEET INDEX

SHEET	SHEET TITLE
CL.0	CIVIL COVER AND SPECIFICATION SHEET
CL.1	EXISTING SITE AND DEMOLITION PLAN
CL.2	SITE PLAN
CL.3	CONCRETE AND REINFORCEMENT PLAN
CL.4	UTILITIES PLAN
CL.5	REINFORCEMENT CONCRETE/STAINLESS STEEL/AND DETAILS
CL.6	LANDSCAPE PLAN



PROJECT LOCATION MAP

CIVIL COVER AND SPECIFICATION SHEET



100 CHERRY LANE
MILWAUKEE, WI 53212
TEL: 414-290-0647
FAX: 414-290-0648

Always a Better Plan

OWNER:
SOUTHGATE MARKETPLACE OUTLOT, LLC
10345 N. PORT WASHINGTON ROAD
SUITE 175
MEQUON, WI 53092

PROJECT:
3355 RETAIL
3355 27TH STREET
MILWAUKEE, WI

SHEET ISSUE:
JANUARY 27, 2012

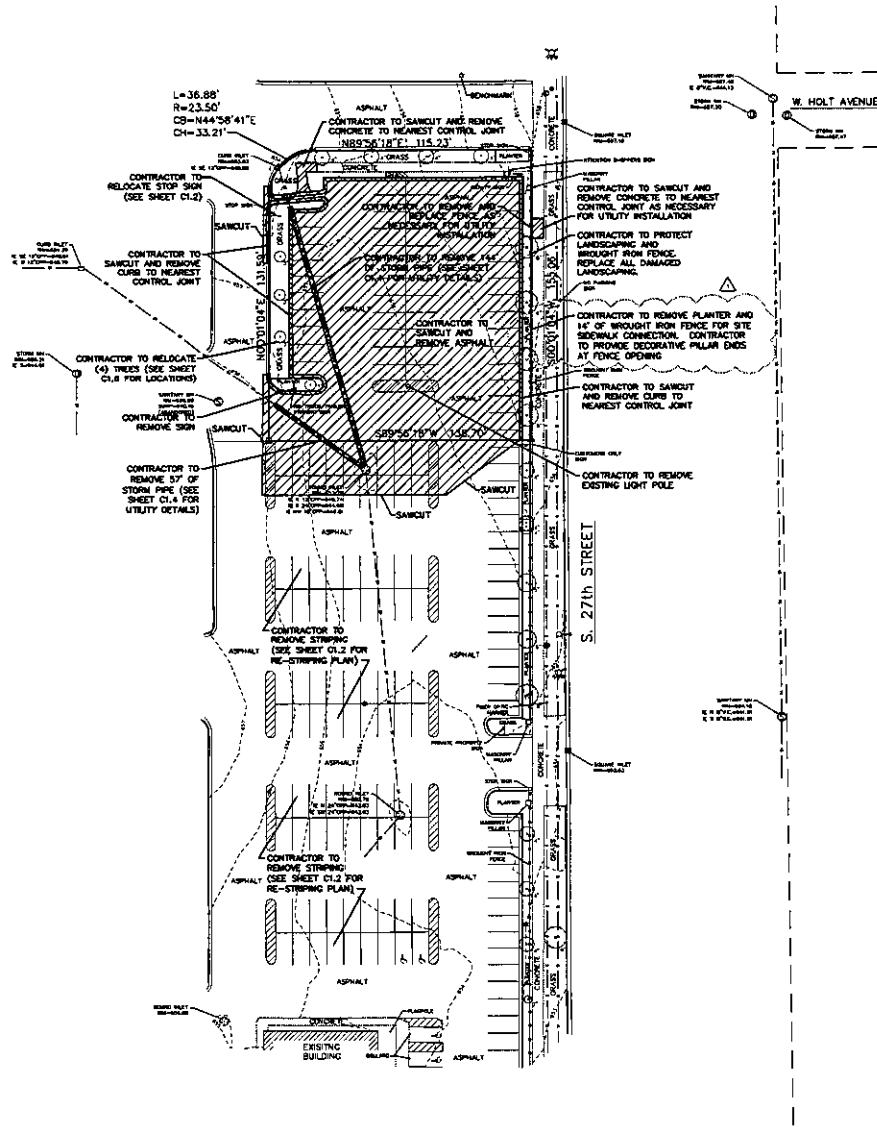
SEE TITLE SHEET TO CORRELATE
THIS SHEET TO CORRELATE
FOR CONSTRUCTION

REVISIONS:

JOB NUMBER:
1200980

SHEET

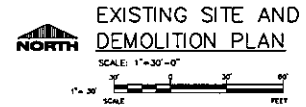
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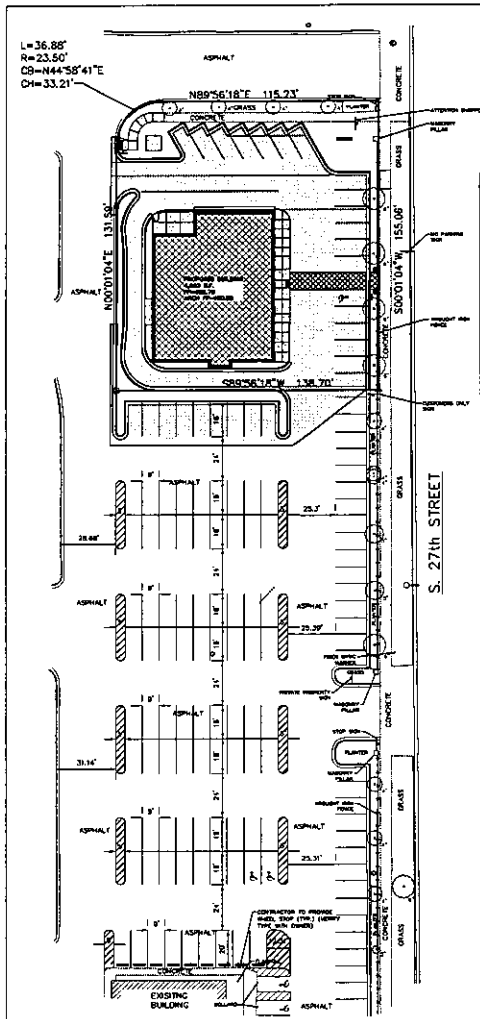


NOTE:
EXISTING UTILITIES SHOWN ARE INDICATED IN ACCORDANCE WITH AVAILABLE RECORDS AND FIELD MEASUREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING EXACT LOCATIONS AND DEPTHS OF ALL UTILITIES INCLUDING SEWER AND WATER FROM THE OFFICE OF THE RESPECTIVE UTILITIES. ALL UTILITY OWNERS SHALL BE NOTIFIED BY THE CONTRACTOR 72 HOURS PRIOR TO EXCAVATION.

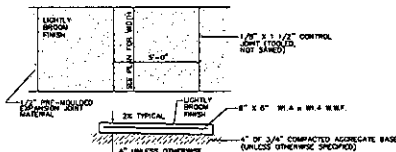
NOTE:
THIS SURVEY MAY NOT REFLECT ALL UTILITIES OR IMPROVEMENTS IF SUCH ITEMS ARE COVERED BY LANDSCAPING OR ARE COVERED BY SUCH ITEMS AS CEMENTERY OR WALLS. ON WHEN THE SITE HAS COVERED WITH SNOW THERE MAY BE APPROXIMATELY 2\"/>

REMARKS:
(NOD-1028)
CUT "C" ON NORTH SIDE OF LIGHT POLE BASE LOCATED APPROXIMATELY 1' WEST OF S. 27th STREET AND W. HOLT STREET INTERSECTION.
ELEVATION=856.44



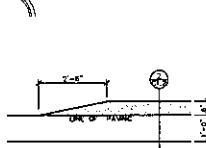
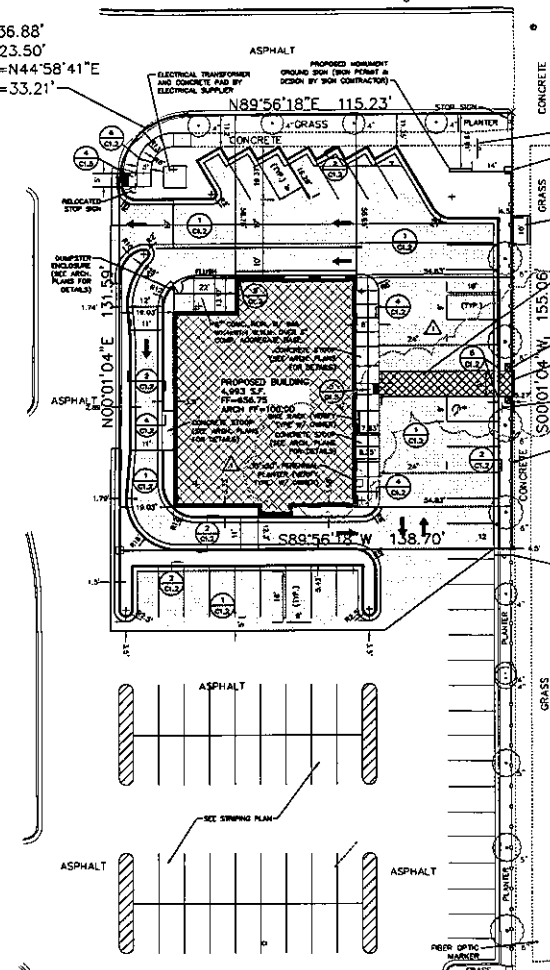


STRIPING PLAN
SCALE: 1"=30'-0"

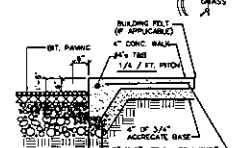


CONCRETE SIDEWALK
C1.2 NO SCALE

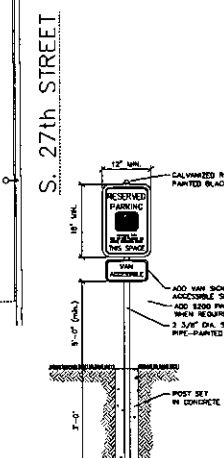
$L=36.88'$
 $R=23.50'$
 $CB=N44^{\circ}58'41"E$
 $CH=33.21'$



TAPERED CURB DETAIL
C1.2 NO SCALE



RAISED WALK DETAIL
C1.2 NO SCALE



HANDICAP SIGNAGE DETAIL
C1.2 NO SCALE

SITE INFORMATION:

PROPERTY AREA: 21.308 S.F. (0.49 ACRES)
 EXISTING ZONING: PD - PLANNED DEVELOPMENT
 PROPOSED ZONING: PD - PLANNED DEVELOPMENT
 PROPOSED USE: RETAIL
 AREA OF SITE OBTURBANCE: 23.375 S.F. (0.54 ACRES)
 PROPOSED BUILDING HEIGHT: 26'-5"
 PARKING PROVIDED ON PROPERTY: 19 SPACES
 HANDICAP STALLS REQUIRED: 1, HANDICAP STALLS PROVIDED: 1
 BUILDING OCCUPANCY CLASSIFICATION: A2 (ASSEMBLY)
 CLASS OF BUILDING CONSTRUCTION: VB

PARKING INFORMATION

EXISTING ON-STREET PARKING: 279
 STANDING SPACES: 279
 ACCESSIBLE SPACES: 279
 TOTAL: 279
 PROPOSED ON-STREET PARKING: 19
 STANDING SPACES: 19
 ACCESSIBLE SPACES: 19
 TOTAL: 19

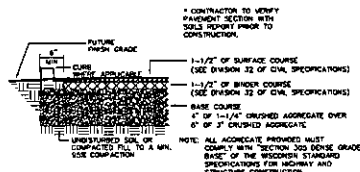
EXISTING SITE DATA

PROJECT SITE	AREA (AC)	AREA (SF)	RATIO
BUILDING FLOOR AREA	0.49	21,308	ON
PAVEMENT (ASP. & CONC.)	0.0	0	0.00
TOTAL IMPERVIOUS	0.49	21,308	61.25
LANDSCAPE/OPEN SPACE	0.07	3,145	14.38

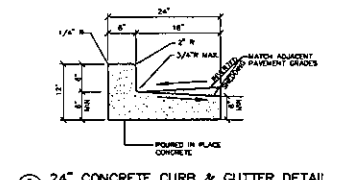
PROPOSED SITE DATA

PROJECT SITE	AREA (AC)	AREA (SF)	RATIO
BUILDING FLOOR AREA	0.49	21,308	22.56
PAVEMENT (ASP. & CONC.)	0.01	4,393	61.25
TOTAL IMPERVIOUS	0.50	21,723	63.78
LANDSCAPE/OPEN SPACE	0.08	3,457	18.25

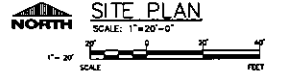
- PROJECT NOTES**
- CONSTRUCTION STAKING SHALL BE COMPLETED BY EXCEL ENGINEERING. CONTRACTOR SHALL MAINTAIN STAKING AT ALL TIMES. STAKING SHALL BE COMPLETED BY EXCEL ENGINEERING. CONTRACTOR SHALL MAINTAIN STAKING AT ALL TIMES. STAKING SHALL BE COMPLETED BY EXCEL ENGINEERING. CONTRACTOR SHALL MAINTAIN STAKING AT ALL TIMES.
 - ALL DRIVEWAYS AND CURB CUTS TO BE CONSTRUCTED ACCORDING TO LOCAL ORDINANCES. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS.
 - THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL EROSION CONTROL PERMITS AND WORK IN ROW PERMITS.
- STANDARD NOTES**
- 1" WIDE YELLOW STRIPING FOR PARKING STALLS, TRAFFIC LANE, AND NO PARKING AREAS. YELLOW PAINT MAINTAINED FOR ALL ACCESSIBLE DRIVEWAYS, TRAFFIC AREAS, AND TRAFFIC MESSAGES.



STANDARD ASPHALT PAVING DETAIL
C1.2 NO SCALE



24" CONCRETE CURB & GUTTER DETAIL
C1.2 NO SCALE



100 DOWNS OF EXCEL
 CONSTRUCTION OF PLANS
 EXCEL ENGINEERING
 1000 S. 27th Street
 MEQUON, WI 53092

OWNER:
 SOUTHWEST MARKETPLACE OUTLET, LLC
 10345 N. PORT WASHINGTON ROAD
 SUITE 175
 MEQUON, WI 53092

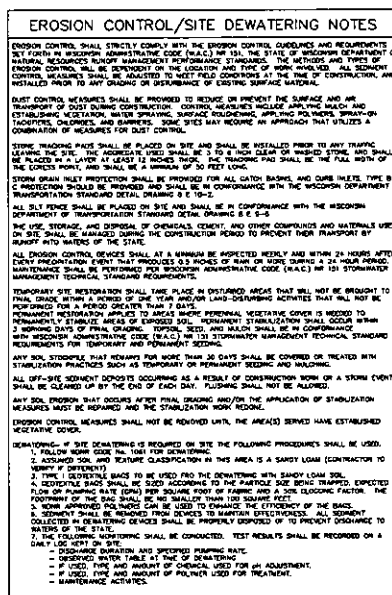
PROJECT:
 3355 RETAIL
 3355 27TH STREET
 MILWAUKEE, WI

SHEET ISSUE:
 JANUARY 27, 2012
 USE THIS SHEET TO CORRECT
 THAT THIS SHEET HAS BEEN
 REVISED FOR CONSTRUCTION

REVISIONS:
 FEBRUARY 5, 2012
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JOB NUMBER:
 1200960
 SHEET

C1.2



JOB NUMBER:
1200960

C1.3

OWNER:
SOUTGATE MARKETPLACE OUTLOT, LLC
10345 N. PORT WASHINGTON ROAD
SUITE 175
MEQUON, WI 53092

PROJECT:
3355 RETAIL
3355 27TH STREET
MILWAUKEE, WI

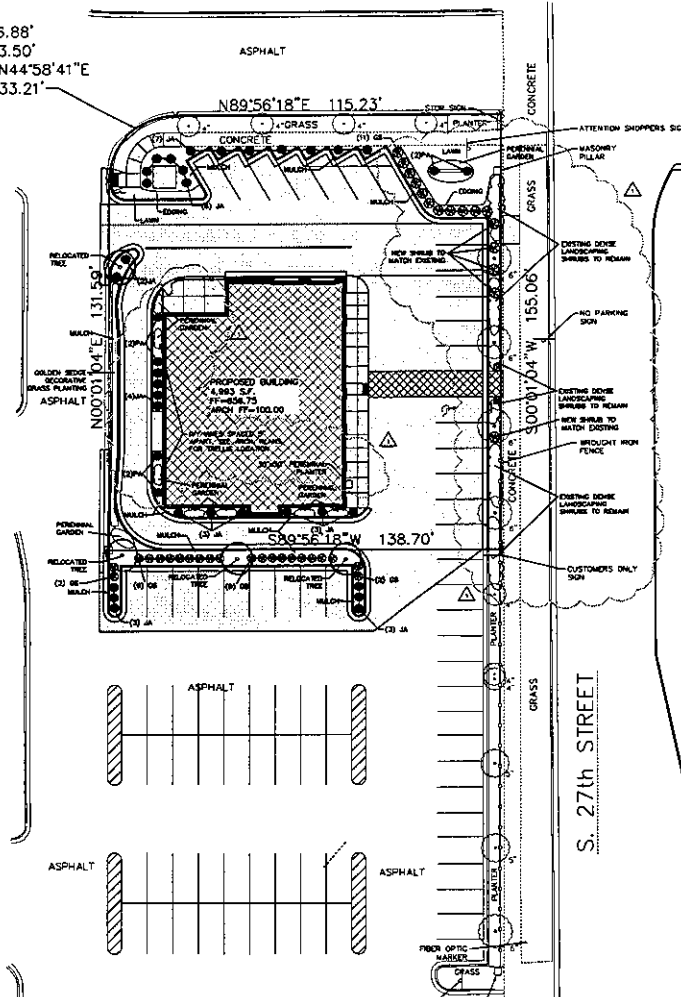
SHEET ISSUE:
JANUARY 27, 2012

SEE TITLE SHEET TO CONFIRM
THAT THIS SHEET HAS BEEN
REVISED FOR CONSTRUCTION

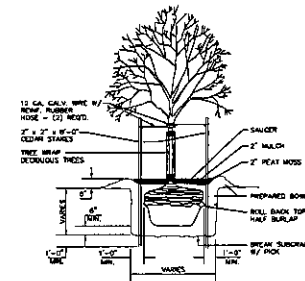
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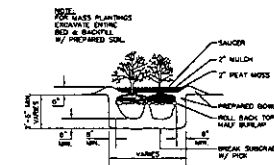
L=36.88'
R=23.50'
CB=N44°58'41"E
CH=33.21'



LANDSCAPING NOTES				
MARK	COMMON NAME	BOTANICAL NAME	PLANTED	NO. PROVIDED
SMALL SHRUBS				
JA	Japanese Spirea	Japanese Spirea	24"	21
CV	Common Spirea	Spirea	24"	23
EVERGREEN SHRUBS				
PA	Japanese Spirea	Japanese Spirea	24"	21
BOLT: MATCH AT ALL PLANTING AREAS (VERIFY TYPE WITH OWNER)				



1 TREE PLANTING DETAIL
C1.6 NO SCALE



2 SHRUB PLANTING DETAIL
C1.6 NO SCALE



LANDSCAPE PLAN
SCALE: 1"=20'-0"

1"=20' SCALE



NO CONSULT OR
REVISIONS
NO. 1000-0000
NO. 1000-0000
Always a Better Plan

OWNER:
SOUTHWEST MARKETPLACE OUTLET, LLC
10345 N. PORT WASHINGTON ROAD
SUITE 175
MEQUON, WI 53092

PROJECT:
3355 RETAIL
3355 27TH STREET
MILWAUKEE, WI

SHEET ISSUE:
JANUARY 27, 2012

NO TITLE SHEET TO COMPLY
THAT THIS SHEET HAS BEEN
ISSUED FOR CONSTRUCTION

REVISIONS:
FEBRUARY 6, 2012

JOB NUMBER:
1200960

SHEET

C1.6

EXHIBIT 7

MONUMENT SIGN

{see attached}

**AMERICAN
SIGN FACTORY**



**SURE LIGHT
SIGN COMPANY**

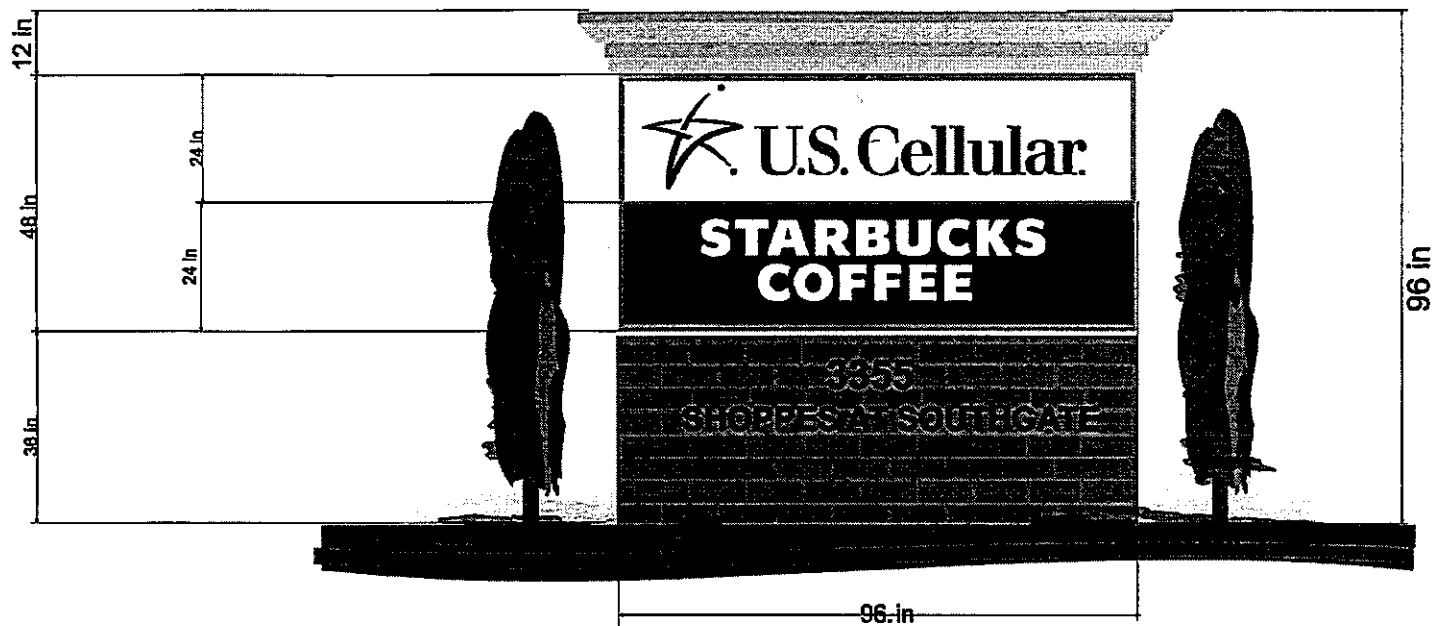
Mary Kowalski
Account Executive

4811 W. Woolworth Ave.
Milwaukee, WI 53218

office: 414.353.3666 ext. 13
cell: 414.243.6943
fax: 414.353.6828
maryk@american-sign.com

LOCATION 3355 S. 27TH STREET
MILWAUKEE WI.

DOUBLE FACE INT. ILLUMINATED SIGN STANDARD FLUORSCENTS/UL
ALUM. CABINET WITH [2] SEPERATE LEXAN FACES
GRAPHICS AS SHOWN AT THIS TIME
ALUM. CAP ON TOP
ALUM LETTERS ADDRESS/NAME ON BRICK BASE



PROPOSED RETAIL DEVELOPMENT FOR: SOUTHGATE MARKETPLACE OUTLOT, LLC MILWAUKEE, WISCONSIN

PLAN SPECIFICATIONS (BASED ON CSI FORMAT)

LEGEND

	PROPOSED SPOT ELEVATIONS (FLOW LINE OF CURB UNLESS OTHERWISE SPECIFIED)		EXISTING CONIFEROUS TREE
	PROPOSED SPOT ELEVATIONS (TOP OF RETAINING WALL, TOP OF SURFACE GRADE AT BOTTOM OF WALL)		EXISTING SHRUB
	PROPOSED SPOT ELEVATIONS (TOP OF CURB, BOTTOM OF CURB)		EXISTING STUMP
	PROPOSED SPOT ELEVATIONS (TOP OF WALK, BOTTOM OF WALK)		SOIL BORING
	EXISTING WATER VALVE IN BOX		EXISTING WELL
	PROPOSED WATER VALVE IN BOX		PROPOSED WELL
	EXISTING WATER VALVE IN MANHOLE		EXISTING LIGHT POLE
	EXISTING WATER SERVICE VALVE		EXISTING SIGN
	EXISTING TELEPHONE MANHOLE		CENTER LINE
	EXISTING ROUND CATCH BASIN		EXISTING HANDICAP PARKING STALL
	PROPOSED ROUND CATCH BASIN		PROPOSED HANDICAP PARKING STALL
	EXISTING SQUARE CATCH BASIN		EXISTING GAS VALVE
	EXISTING CURB INLET		EXISTING WOODED AREA
	PROPOSED CURB INLET		EXISTING HEDGE
	EXISTING UTILITY POLE		EXISTING CHAINLINK FENCE
	EXISTING UTILITY POLE WITH GUY WIRE		EXISTING WOOD FENCE
	EXISTING STREET LIGHT		EXISTING BARBED WIRE FENCE
	EXISTING TELEPHONE PEDESTAL		PROPERTY LINE
	EXISTING ELECTRIC PEDESTAL		EXISTING GUARD RAIL
	EXISTING ELECTRIC BOX		EXISTING STORM SEWER AND MANHOLE
	EXISTING CABLE TV PEDESTAL		PROPOSED STORM SEWER AND MANHOLE
	PROPOSED DRAINAGE FLOW		PROPOSED SANITARY SEWER AND MANHOLE
	1-1/4" REBAR SET WEIGHING 4.30 LB/FT.		EXISTING WATER LINE AND HYDRANT
	3/4" REBAR SET WEIGHING 1.50 LB/FT.		PROPOSED WATER LINE AND HYDRANT
	1-1/4" REBAR FOUND		EXISTING OVERHEAD UTILITY LINE
	3/4" REBAR FOUND		EXISTING UNDERGROUND FIBER OPTIC LINE
	2" IRON PIPE FOUND		EXISTING UNDERGROUND ELECTRIC CABLE
	1" IRON PIPE FOUND		EXISTING UNDERGROUND TELEPHONE CABLE
	EXISTING FLOOD LIGHT		EXISTING UNDERGROUND GAS LINE
	SECTION CORNER		PROPOSED CURB AND GUTTER
	PROPOSED APRON ENDWALL		EXISTING CURB AND GUTTER
	EXISTING MARSH AREA		GRADING/SEEDING LIMITS
	EXISTING DECIDUOUS TREE WITH TRUNK DIAMETER		RIGHT-OF-WAY LINE
			PROPERTY LINE
			RAILROAD TRACKS
			EXISTING GROUND CONTOUR
			PROPOSED GROUND CONTOUR

CIVIL SHEET INDEX

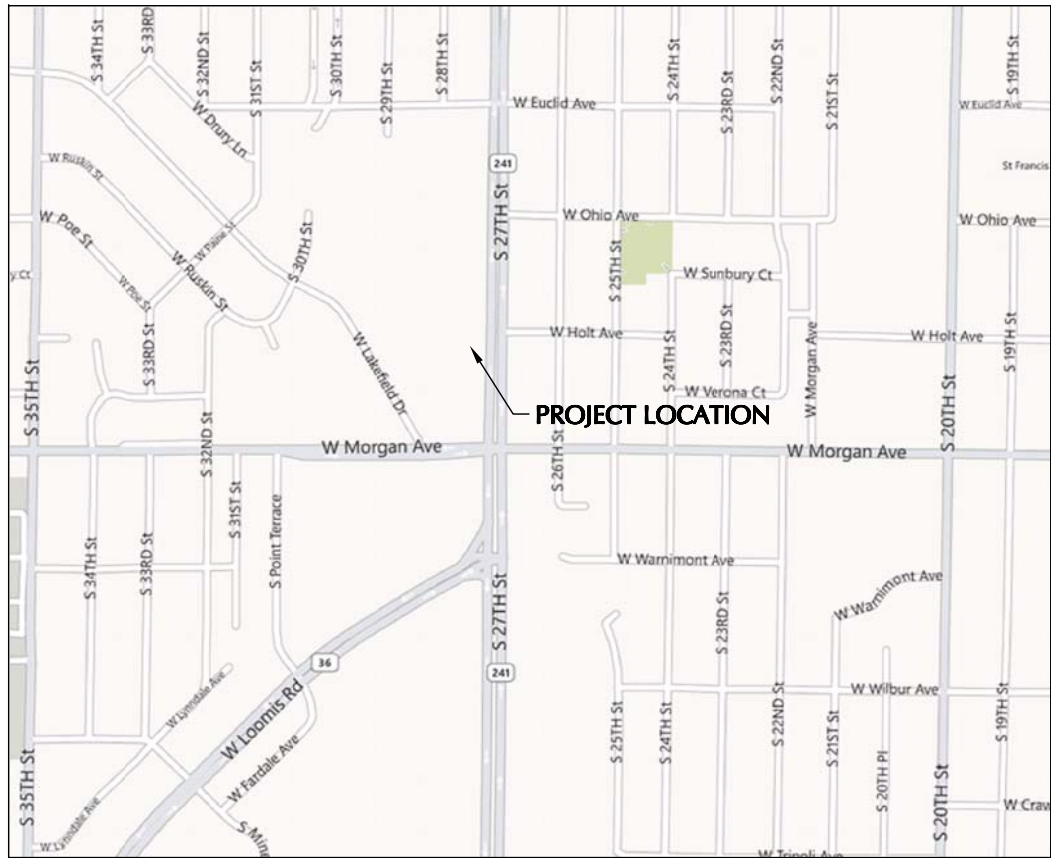
SHEET	SHEET TITLE
C1.0	CIVIL COVER AND SPECIFICATION SHEET
C1.1	EXISTING SITE AND DEMOLITION PLAN
C1.2	SITE PLAN
C1.3	GRADING AND EROSION CONTROL PLAN
C1.4	UTILITIES PLAN
C1.5	EROSION CONTROL/STORMWATER MANAGEMENT NOTES AND DETAILS
C1.6	LANDSCAPE PLAN

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE
1-800-242-8511

OLL FREE
TELEFAX (414) 259-0947
TDD (FOR THE HEARING IMPAIRED) 1-800 542-2289

WISCONSIN STATUTE 182.0175 (1974)
REQUIRES MINIMUM OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE



PROJECT LOCATION MAP

DIVISION 31 EARTH WORK

31 10 00 SITE CLEARING (DEMOLITION)

- A. DIGGER'S HOT LINE SHALL BE CONTACTED AND ALL UTILITIES SHALL BE LOCATED BEFORE STARTING SITE DEMOLITION. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR PRIVATE UTILITY LOCATES. DESIGN ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN PLAN AND FIELD CONDITIONS PRIOR TO CONSTRUCTION.
- B. DEMOLITION PLAN IS AN OVERVIEW OF DEMOLITION TO TAKE PLACE ON SITE. CONTRACTOR TO FIELD VERIFY EXISTING SITE CONDITIONS PRIOR TO BIDDING. CONTRACTOR SHALL REMOVE, REPLACE OR DEMOLISH ALL ITEMS AS NEEDED DURING CONSTRUCTION.
- C. CONTRACTOR TO PROTECT EXISTING IMPROVEMENTS THAT ARE SCHEDULED TO REMAIN. ANY DAMAGE TO EXISTING FACILITIES SHALL BE REPLACED AT CONTRACTORS EXPENSE.

- D. ALL CONCRETE NOTED TO BE REMOVED SHALL BE REMOVED TO NEAREST CONTROL JOINT AND REPLACED. SAWCUTTING OF CONCRETE IS NOT ACCEPTABLE.

31 20 00 EARTH MOVING

- A. DIGGER'S HOT LINE SHALL BE CONTACTED AND ALL UTILITIES SHALL BE LOCATED BEFORE STARTING EXCAVATION. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR PRIVATE UTILITY LOCATES. DESIGN ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN PLAN AND FIELD CONDITIONS PRIOR TO CONSTRUCTION.
- B. PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT FOR ALL EXCAVATION, GRADING, FILL AND BACKFILL WORK AS REQUIRED TO COMPLETE THE GENERAL CONSTRUCTION WORK. ALL EXCAVATION AND BACKFILL FOR ELECTRICALS AND MECHANICALS ARE THE RESPONSIBILITY OF THE RESPECTIVE CONTRACTOR.
- C. ALL ORGANIC TOPSOIL INSIDE THE BUILDING AREA, UNDER PAVED AREAS, AND AT SITE FILL AREAS SHALL BE REMOVED. PROOF ROLL SUBGRADES BEFORE PLACING FILL WITH HEAVY PNEUMATIC-TIRED EQUIPMENT. SUCH AS A FULLY-LOADED TANDDEM AXLE DUMP TRUCK, TO IDENTIFY SOFT POCKETS AND AREAS OF EXCESS YIELDING. CONTRACTOR SHALL VERIFY TOPSOIL DEPTHS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REVIEW AND FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND ACCOUNT FOR EXISTING CONDITIONS PRIOR TO SUBMITTING BID FOR THE PROJECT. EXCESS MATERIALS SHALL BE REMOVED FROM THE SITE UNLESS OTHERWISE DIRECTED IN THE PLANS OR BY LOCAL ZONING REQUIREMENTS.
- D. PLACE AND COMPACT FILL MATERIAL IN LAYERS TO REQUIRED ELEVATIONS, UNIFORMLY MOISTEN OR AERATE SUBGRADE AND EACH SUBSEQUENT FILL OR BACKFILL LAYER BEFORE COMPACTION AS RECOMMENDED TO ACHIEVE SPECIFIED DRY DENSITY. REMOVE AND REPLACE, OR SCARIFY AND AIR DRY, OTHERWISE SATISFACTORY SOIL MATERIAL THAT IS TOO WET TO COMPACT TO SPECIFIED DRY DENSITY.

- E. PLACE BACKFILL AND FILL MATERIALS IN LAYERS NOT MORE THAN 8" IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HEAVY COMPACTION EQUIPMENT, AND NOT MORE THAN 4" IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HAND-OPERATED TAMPERS.

- F. COMPACT THE SOIL TO NOT LESS THAN THE FOLLOWING PERCENTAGES OF MAXIMUM DRY DENSITY ACCORDING TO ASTM D 698, STANDARD PROCTOR TEST, FILL MAY NOT BE PLACED ON FROZEN GROUND AND NO FROZEN MATERIALS MAY BE USED FOR BACK FILL. APPLY THE MORE STRINGENT REQUIREMENTS WHEN COMPARING BETWEEN THE FOLLOWING AND THE GEOTECHNICAL REPORT.
- UNDER FOUNDATIONS - SUBGRADE, AND EACH LAYER OF BACKFILL OR FILL MATERIAL, TO NOT LESS THAN 98 PERCENT.
 - UNDER INTERIOR SLAB-ON-GRADE WHERE GROUNDWATER IS MORE THAN 1 FEET BELOW THE SLAB - PLACE A DRAINAGE COURSE LAYER OF 3/4" CRUSHED STONE, WITH 5% TO 12% FINES, PER THICKNESS INDICATED ON FOUNDATION PLANS ON PREPARED SUBGRADE, COMPACT THE SUBGRADE AND DRAINAGE COURSE TO NOT LESS THAN 95 PERCENT.
 - UNDER INTERIOR SLAB-ON-GRADE WHERE GROUNDWATER IS WITHIN 3 FEET OF THE SLAB SURFACE, PLACE A DRAINAGE COURSE LAYER OF CLEAN 3/4" CRUSHED STONE, WITH NO MORE THAN 5% FINES, PER THICKNESS INDICATED ON FOUNDATION PLANS ON PREPARED SUBGRADE, COMPACT THE SUBGRADE AND DRAINAGE COURSE TO NOT LESS THAN 95 PERCENT.
 - UNDER EXTERIOR CONCRETE AND ASPHALT PAVEMENTS - COMPACT THE SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL TO NOT LESS THAN 95 PERCENT.
 - UNDER WALKWAYS - COMPACT SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL TO NOT LESS THAN 95 PERCENT.
 - UNDER LAWN OR UNPAVED AREAS - COMPACT SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL, TO NOT LESS THAN 95 PERCENT.

- G. CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT TESTING AND INSPECTING AGENCY TO PERFORM FIELD TESTS AND INSPECTIONS.

- H. ALLOW THE TESTING AGENCY TO TEST AND INSPECT SUBGRADES AND EACH FILL OR BACKFILL LAYER. PROCEED WITH SUBSEQUENT EARTHWORK ONLY AFTER TEST RESULTS FOR PREVIOUSLY COMPLETED WORK COMPLY WITH REQUIREMENTS. PROVIDE ONE TEST FOR EVERY 2000 SQUARE FEET OF PAVED AREA OR BUILDING SLAB, ONE TEST FOR EACH SPREAD FOOTING, AND ONE TEST FOR EVERY 50 LINEAR FEET OF WALL STRIP FOOTING.

- I. WHEN TESTING AGENCY REPORTS THAT SUBGRADES, FILLS, OR BACKFILLS HAVE NOT ACHIEVED DEGREE OF COMPACTION SPECIFIED, SCARIFY AND MOISTEN OR AERATE, OR REMOVE AND REPLACE SOIL TO DEPTH REQUIRED; RECOMPACT AND RETEST UNTIL SPECIFIED COMPACTION IS OBTAINED.

- J. THE BUILDING SITE SHALL BE GRADED TO PROVIDE DRAINAGE AWAY FROM THE BUILDING AS INDICATED ON THE PLANS.

31 30 00 EROSION CONTROL

- A. THE GRADING PLAN REFLECTS 23.375 S.F. (0.54 ACRES) OF DISTURBED AREA. THE SITE IS THEREFORE EXEMPT FROM WISCONSIN DEPARTMENT OF NATURAL RESOURCES 181.01 NOTICE OF INTENT REQUIREMENTS.

- B. THE CONTRACTOR SHALL SEE THE EROSION CONTROL PLANS FOR DETAILS AND SPECIFICATIONS.

DIVISION 32 EXTERIOR IMPROVEMENTS

32 10 00 AGGREGATE BASE & ASPHALT PAVEMENT

- A. CONTRACTOR TO PROVIDE COMPACTED AGGREGATE BASE TYPE AND DEPTH AS INDICATED ON THE PLANS. ALL AGGREGATE PROVIDED MUST COMPLY WITH SECTION 305 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION.

- B. CONTRACTOR TO PROVIDE HOT MIX ASPHALT PAVEMENT DEPTHS AS INDICATED ON THE PLANS. PROVIDE THE FOLLOWING - HOT MIX ASPHALT MIXTURE TYPES PER SECTION 460 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION
- STANDARD ASPHALT PAVING
 - SURFACE COURSE: E-4.3
 - BINDER COURSE: E-4.3

- C. CONTRACTOR TO COMPACT THE AGGREGATE BASE, ASPHALT BINDER COURSE, AND ASPHALT SURFACE COURSE TO AN AVERAGE DENSITY PER WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION.

- D. HOT MIX ASPHALT CONSTRUCTION TO BE PROVIDED PER MORE STRINGENT REQUIREMENTS OF GEOTECHNICAL REPORT OR CONSTRUCTION DOCUMENTS.

32 20 00 CONCRETE AND AGGREGATE BASE

- A. CONTRACTOR TO PROVIDE COMPACTED AGGREGATE BASE TYPE AND DEPTH AS INDICATED ON THE PLANS. ALL AGGREGATE PROVIDED MUST COMPLY WITH SECTION 305 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION.

- B. DESIGN AND CONSTRUCTION OF ALL CAST-IN-PLACE CONCRETE WORK SHALL CONFORM TO ACI 318 BUILDING CODE AND CRSI MANUAL OF STANDARD PRACTICE.

- C. CONCRETE SLAB CONSTRUCTION TO BE PROVIDED PER MORE STRINGENT REQUIREMENTS OF GEOTECHNICAL REPORT OR CONSTRUCTION DOCUMENTS.

- D. DESIGN MIXES SHALL BE IN ACCORDANCE WITH ASTM C94
- STRENGTH TO BE MINIMUM OF 4,000 PSI AT 28 DAYS FOR EXTERIOR CONCRETE.
 - SLUMP SHALL NOT EXCEED 4" FOR EXTERIOR CONCRETE SLABS
 - SLUMP SHALL BE 2.5" OR LESS FOR SLIP-FORMED CURB AND GUTTER
 - SLUMP SHALL BE BETWEEN 1.5 TO 3" FOR NON-SLIP-FORMED CURB AND GUTTER.
 - ALL EXTERIOR CONCRETE SHALL BE AIR ENTRAINED WITH 4% TO 7% AIR CONTENT. NO OTHER ADMIXTURES SHALL BE USED WITHOUT APPROVAL OF EXCEL ENGINEERING, INC. CALCIUM CHLORIDE SHALL NOT BE USED.
 - MAXIMUM AGGREGATE SIZE FOR ALL EXTERIOR CONCRETE SHALL BE 0.75 INCHES.

- E. ALL EXTERIOR MECHANICAL EQUIPMENT CONCRETE PADS SHALL BE SIZED AND DESIGNED BY THE EQUIPMENT SUPPLIER.

- F. CONCRETE SLABS SHALL HAVE CONSTRUCTION JOINTS OR SAW CUT JOINTS PLACED AS INDICATED ON THE PLANS. SAWCUTS TO BE DONE AS SOON AS POSSIBLE, BUT NO LATER THAN 24 HOURS AFTER CONCRETE IS PLACED. CONCRETE CURB AND GUTTER JOINTING SHALL BE PLACED EVERY 10' OR CLOSER (8 MIN.). ALL EXTERIOR CONCRETE SLABS SHALL HAVE A LIGHT BROOM FINISH UNLESS NOTED OTHERWISE. ALL CONCRETE IS TO BE CURED FOR 7 DAYS. EXTERIOR CONCRETE SHALL BE SEPARATED FROM BUILDINGS WITH CONTINUOUS 0.5 INCH FIBER EXPANSION JOINT AND/OR 0.25 INCH FIBER EXPANSION JOINT AT DECORATIVE MASONRY UNITS.

- G. ALL REINFORCING BARS SHALL BE ASTM A615 GRADE 60. THICKNESS OF CONCRETE COVER OVER REINFORCEMENT SHALL BE NOT LESS THAN 3" WHERE CONCRETE IS DEPOSITED AGAINST THE GROUND WITHOUT THE USE OF FORMS AND NOT LESS THAN 1.5" IN ALL OTHER LOCATIONS. ALL REINFORCING SHALL BE LAPPED 36" DIAMETERS FOR UP TO #6 BARS, 60" DIAMETERS FOR #7 TO #10 BARS OR AS NOTED ON THE DRAWINGS AND EXTENDED AROUND CORNERS WITH CORNER BARS. PLACING AND DETAILING OF STEEL REINFORCING AND REINFORCING SUPPORTS SHALL BE IN ACCORDANCE WITH CRSI AND ACI MANUAL AND STANDARD PRACTICES. THE REINFORCEMENT SHALL NOT BE PAINTED AND MUST BE FREE OF OIL, GREASE, DIRT OR DEEP RUST WHEN PLACED IN THE WORK. ALL WELDED WIRE FABRIC SHALL MEET THE REQUIREMENTS OF ASTM A 185. WELDED WIRE FABRIC SHALL BE PLACED 2" FROM TOP OF SLAB, UNLESS INDICATED OTHERWISE.

- H. CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT TESTING AND INSPECTING AGENCY TO SAMPLE MATERIALS, PERFORM TESTS, AND SUBMIT TEST REPORTS DURING CONCRETE PLACEMENT. TESTS WILL BE PERFORMED ACCORDING TO ACI 301. CAST AND LABORATORY CURE ONE SET OF FOUR STANDARD CYLINDERS FOR EACH COMPOSITE SAMPLE FOR EACH DAY'S POUR OF EACH CONCRETE MIX EXCEEDING 5 CU. YD, PLUS ONE SET FOR EACH ADDITIONAL 50 CU. YD, OR FRACTION THEREOF. PERFORM COMPRESSIVE-STRENGTH TESTS ACCORDING TO ASTM C 39, TEST TWO SPECIMENS AT 7 DAYS AND TWO SPECIMENS AT 28 DAYS. PERFORM SLUMP TESTS ACCORDING TO ASTM C 143, PROVIDE ONE TEST AT POINT OF PLACEMENT FOR EACH COMPOSITE SAMPLE, BUT NOT LESS THAN ONE TEST FOR EACH DAY'S POUR OF EACH CONCRETE MIX. PERFORM ADDITIONAL TESTS WHEN CONCRETE CONSISTENCY APPEARS TO CHANGE.

- I. PROTECT FRESHLY PLACED CONCRETE FROM PREMATURE DRYING AND EXCESSIVE COLD OR HOT TEMPERATURES. IN HOT, DRY, AND WINDY WEATHER, APPLY AN EVAPORATION-CONTROL COMPOUND ACCORDING TO MANUFACTURER'S INSTRUCTIONS AFTER SCREENING AND BULL FLOATING, BUT BEFORE POWER FLOATING AND TROWELLING.

- J. LIMIT MAXIMUM WATER-CEMENTITIOUS RATIO OF CONCRETE EXPOSED TO FREEZING, THAWING AND DEICING SALTS TO 0.45.

- K. TEST RESULTS WILL BE REPORTED IN WRITING TO THE DESIGN ENGINEER, READY-MADE PRODUCER, AND CONTRACTOR WITHIN 24 HOURS AFTER TESTS. REPORTS OF COMPRESSIVE STRENGTH TESTS SHALL CONTAIN THE PROJECT IDENTIFICATION NAME AND NUMBER, DATE OF CONCRETE PLACEMENT, NAME OF CONCRETE TESTING SERVICE, CONCRETE TYPE AND CLASS, LOCATION OF CONCRETE BATCH IN STRUCTURE, DESIGN COMPRESSIVE STRENGTH AT 28 DAYS, CONCRETE MIX PROPORTIONS AND MATERIALS, COMPRESSIVE BREAKING STRENGTH, AND TYPE OF BREAK FOR BOTH 7-DAY TESTS AND 28-DAY TESTS.

32 30 00 LANDSCAPING AND SITE STABILIZATION

- A. TOPSOIL, CONTRACTOR TO PROVIDE A MINIMUM OF 6" OF TOPSOIL FOR ALL DISTURBED OPEN AREAS. REUSE SURFACE SOIL STOCKPILED ON SITE AND SUPPLEMENT WITH IMPORTED OR MANUFACTURED TOPSOIL FROM OFF SITE SOURCES WHEN QUANTITIES ARE INSUFFICIENT. PROVIDE SOIL ANALYSIS BY A QUALIFIED SOIL TESTING LABORATORY AS REQUIRED TO VERIFY THE SUITABILITY OF SOIL TO BE USED AS TOPSOIL AND TO DETERMINE THE NECESSARY SOIL AMENDMENTS. TEST SOIL FOR PRESENCE OF ATRADINE AND INFORM EXCEL ENGINEERING, INC. IF PRESENT PRIOR TO BEGIND PROJECT. TOPSOIL SHALL HAVE A PH RANGE OF 5.5 TO 7.0, CONTAIN A MINIMUM OF 5 PERCENT ORGANIC MATERIAL, CONTENT, AND SHALL BE FREE OF STONES 1" INCH OR LARGER IN DIAMETER. ALL MATERIALS HARMFUL TO PLANT GROWTH SHALL ALSO BE REMOVED.

- TOPSOIL INSTALLATION: LOOSEN SUBGRADE TO A MINIMUM DEPTH OF 6 INCHES AND REMOVE STONES LARGER THAN 1" IN DIAMETER. ALSO REMOVE ANY STICKS, ROOTS, RUBBER, AND OTHER EXTRANEIOUS MATTER AND DISPOSE OF THEM OFF THE PROPERTY. SPREAD TOPSOIL TO A DEPTH OF 6" BUT NOT LESS THAN WHAT IS REQUIRED TO MEET FINISHED GRADES AFTER LIGHT SMOOTHING AND NATURAL SETTLEMENT. DO NOT SPREAD TOPSOIL IF SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET. GRADE PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORM FINE TEXTURE. GRADE TO WITHIN 0.05 FEET OF FINISHED GRADE ELEVATION.

- C. SEEDED LAWN MAINTENANCE. CONTRACTOR TO PROVIDE MAINTENANCE OF ALL LANDSCAPING FOR A PERIOD OF 90 DAYS FROM THE DATE OF INSTALLATION. AT THE END OF THE MAINTENANCE PERIOD, A HEALTHY, UNIFORM, CLOSE STAND OF GRASS SHOULD BE ESTABLISHED FREE OF WEEDS AND SURFACE IRREGULARITIES. LAWN COVERAGE SHOULD EXCEED 90% AND BARE SPOTS SHOULD NOT EXCEED 10%. CONTRACTOR SHOULD REESTABLISH LAWNS THAT DO NOT COMPLY WITH THESE REQUIREMENTS AND CONTINUE MAINTENANCE UNTIL LAWNS ARE SATISFACTORY.

- E. TREES AND SHRUBS. FURNISH NURSERY-GROWN TREES AND SHRUBS WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPLANTING OR ROOT PRUNING. PROVIDE WELL-SHAPED, FULLY BRANCHED, AND HEALTHY LOOKING STOCK. STOCK SHOULD ALSO BE FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISTURBEMENT. SEE THE LANDSCAPE PLAN FOR SPECIFIC SPECIE, TYPE, SIZE, AND LOCATION.

- F. TREE AND SHRUB INSTALLATION: EXCAVATE CIRCULAR PITS WITH SIDES SLOPED INWARD. TRIM BASE LEAVING CENTER AREA RAIKED SLIGHTLY TO SUPPORT ROOT BALL. EXCAVATE PIT APPROXIMATELY THREE TIMES AS WIDE AS THE ROOT BALL DIAMETER. SET TREES AND SHRUBS PLUMB AND IN CENTER OF PIT WITH TOP OF BALL 1" ABOVE ADJACENT FINISHED GRADES. PLACE PLANTING SOIL MIX AROUND ROOT BALL IN LAYERS AND TAMP TO SETTLE MIX. WATER ALL PLANTS THOROUGHLY. PROVIDE TEMPORARY STAKING FOR TREES AS REQUIRED.

- G. TREE AND SHRUB MAINTENANCE WARRANTY: CONTRACTOR TO PROVIDE MAINTENANCE OF ALL LANDSCAPING FOR A PERIOD OF 90 DAYS FROM THE DATE OF INSTALLATION. MAINTENANCE TO INCLUDE REGULAR WATERING AS REQUIRED FOR SUCCESSFUL PLANT ESTABLISHMENT. CONTRACTOR TO PROVIDE 1 YEAR WARRANTY ON ALL TREES, SHRUBS, AND PERENNIALS.

- H. MULCH: PROVIDE 3" MINIMUM THICK BLANKET OF MULCH AT ALL PLANTING AREAS INDICATED ON THE LANDSCAPE PLAN. INSTALL OVER NON-WOVEN WEED BARRIER FABRIC. TYPE AND COLOR BY OWNER.

- EDGING: TYPE BY OWNER.

DIVISION 33 UTILITIES

33 10 00 SITE UTILITIES (DESIGN OF WATER, SANITARY, & STORM BY EXCEL)

- A. CONTRACTOR TO FIELD VERIFY ALL EXISTING UNDERGROUND UTILITIES ON SITE. CONTRACTOR TO VERIFY PIPE LOCATIONS, SIZES, AND DEPTHS AT POINT OF PROPOSED CONNECTIONS AND VERIFY PROPOSED UTILITY ROUTES ARE CLEAR (PER CODE) OF ALL EXISTING UTILITIES AND OTHER OBSTRUCTIONS PRIOR TO CONSTRUCTION. COSTS INCURRED FOR FAILURE TO DO SO SHALL BE THE CONTRACTORS RESPONSIBILITY.

- B. ALL PROPOSED SANITARY PIPE SHALL BE SDR-35 PVC.

- C. ALL PROPOSED WATER PIPE SHALL BE COPPER.

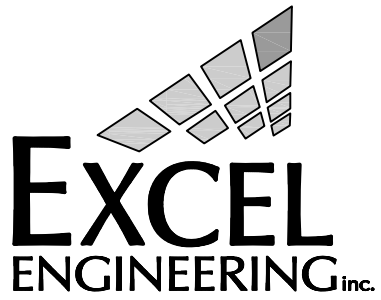
- D. SEE UTILITY PLANS FOR ALL STORM PIPE MATERIAL TYPES TO BE USED.

- E. SITE UTILITY CONTRACTOR SHALL RUN SANITARY SERVICE TO A POINT WHICH IS A MINIMUM OF 6" FROM THE EXTERIOR WALL OF THE FOUNDATION. SITE UTILITY CONTRACTOR SHALL RUN WATER SERVICE TO A POINT WITHIN THE FOUNDATION SPECIFIED BY THE PLUMBING PLANS. CONTRACTOR TO CUT AND CAP WATER SERVICE 12" ABOVE FINISHED FLOOR ELEVATION.

- F. ALL UTILITIES SHALL BE INSTALLED WITH PLASTIC COATED TRACER WIRE (10 TO 14 GAUGE SOLID COPPER, OR COPPER COATED STEEL WIRE), PLASTIC WIRE MAY BE TAPED TO PLASTIC WATER OR SEWER PIPE. IF ATTACHED, THE TRACER WIRE SHALL BE SECURED EVERY 6 TO 20 FEET AND AT ALL BENDS. TRACER WIRE SHALL HAVE ACCESS POINTS AT LEAST EVERY 300 FEET.

- G. ALL UTILITIES SHALL BE INSTALLED PER STATE, LOCAL, AND INDUSTRY STANDARDS. WATER, SANITARY, AND STORM SEWER SHALL BE INSTALLED PER STANDARD SPECIFICATION FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN. THE DESIGN ENGINEER SHALL BE RESPONSIBLE FOR OBTAINING STATE PLUMBING REVIEW APPROVAL. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL OTHER PERMITS REQUIRED TO INSTALL WATER, SANITARY AND STORM SEWER.

- H. SEE PLANS FOR ALL OTHER UTILITY SPECIFICATIONS AND DETAILS.



100 CAMELOT DRIVE
FOND DU LAC, WI 54935
PHONE: (920) 926-9800
FAX: (920) 926-9801

Always a Better Plan

OWNER:
SOUTHGATE MARKETPLACE OUTLOT, LLC
10345 N. PORT WASHINGTON ROAD
SUITE 175
MEQUON, WI 53092

PROJECT:
3355 RETAIL
3355 27TH STREET
MILWAUKEE, WI

SHEET ISSUE:

JANUARY 27, 2012

SEE TITLE SHEET TO CONFIRM
THAT THIS SHEET HAS BEEN
ISSUED FOR CONSTRUCTION

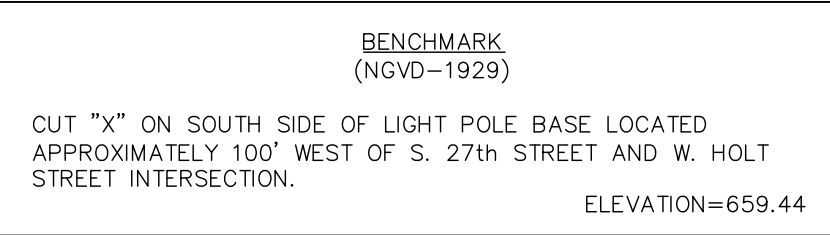
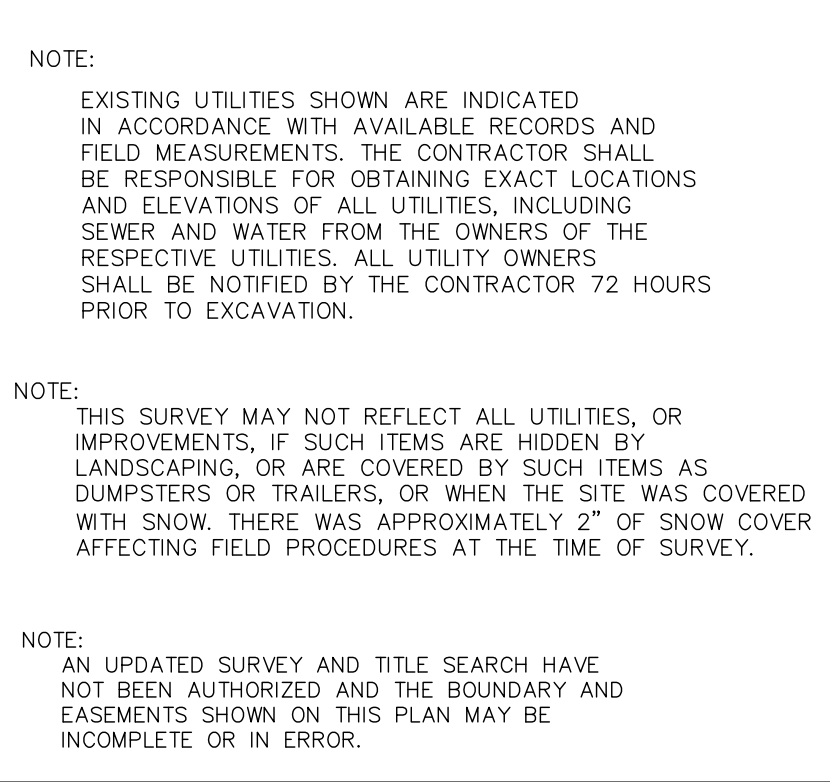
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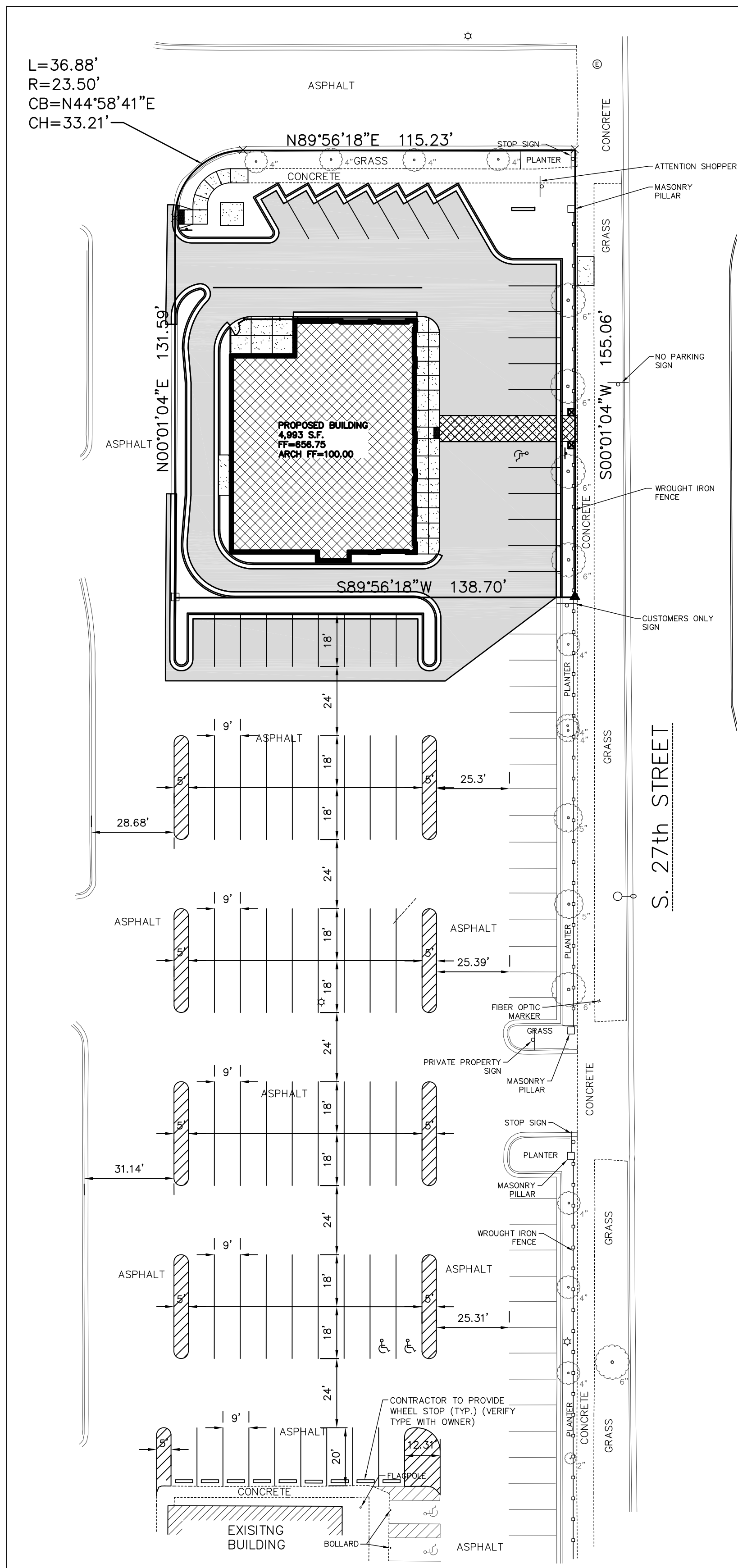
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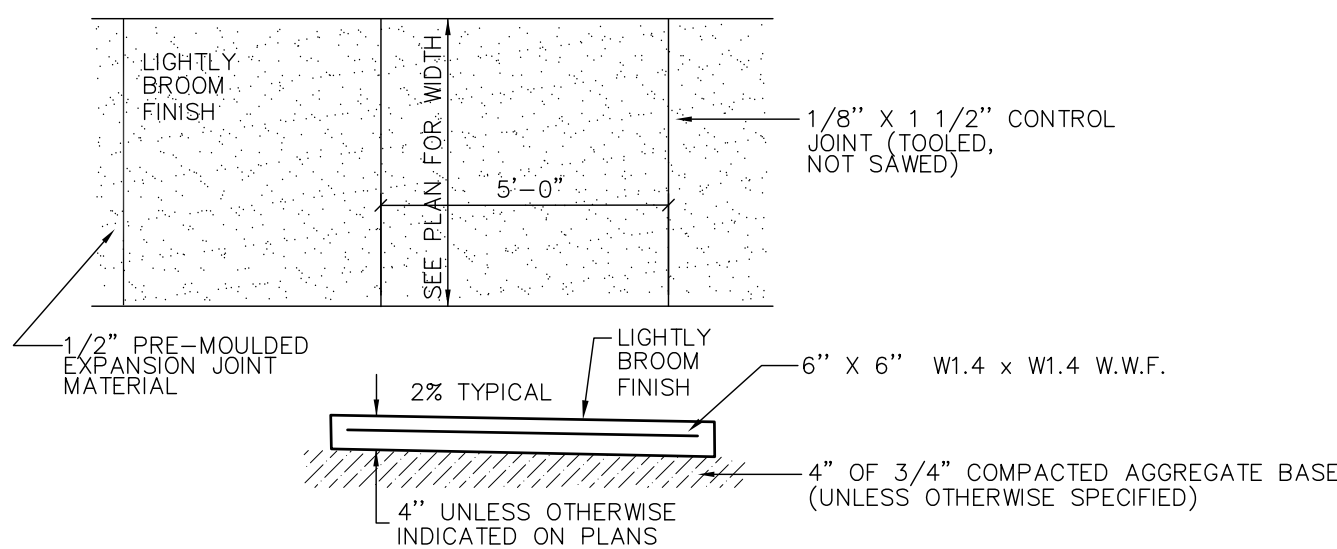
SHEET

C1.0



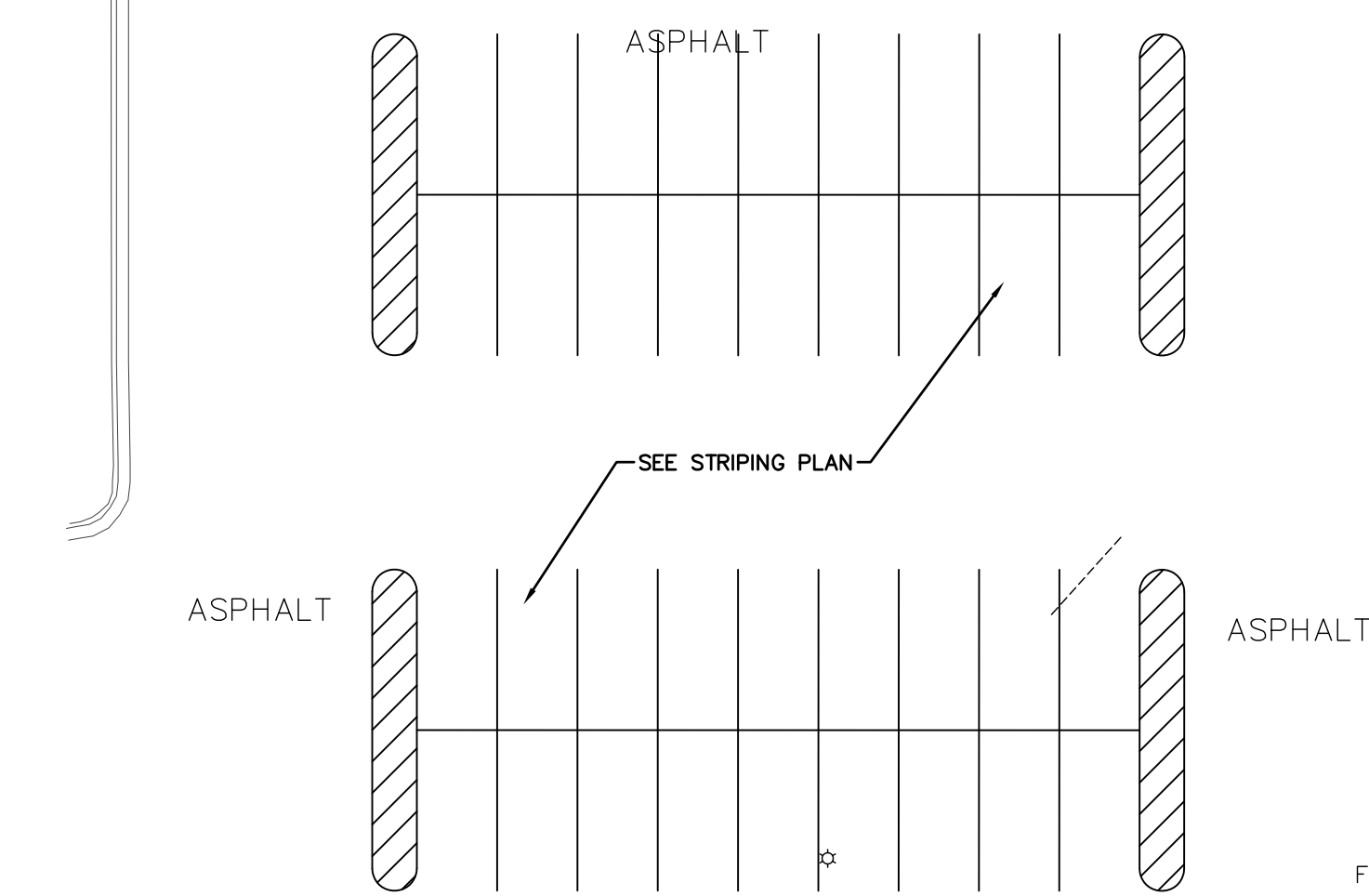
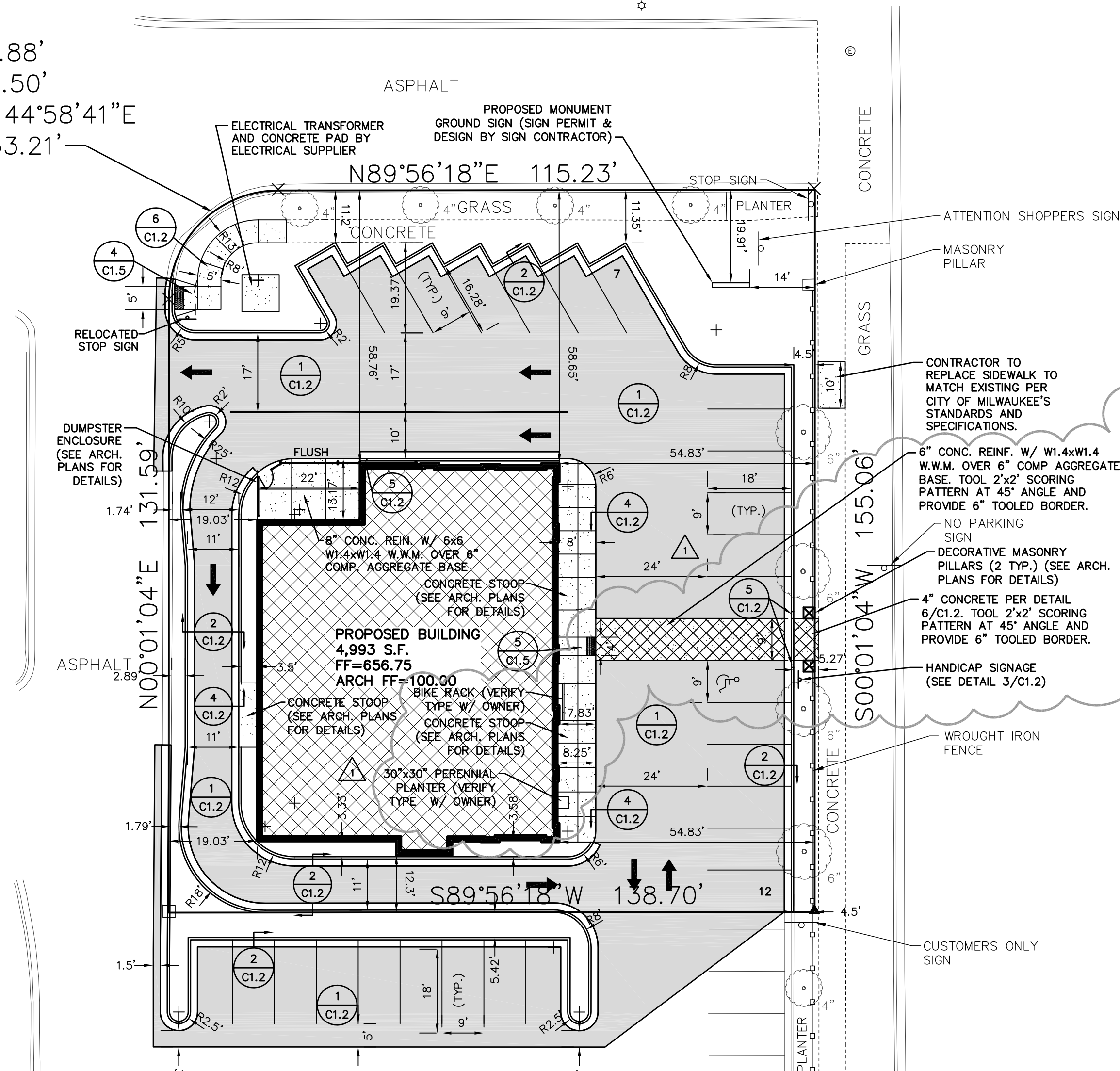


STRIPING PLAN
SCALE: 1"=30'-0"

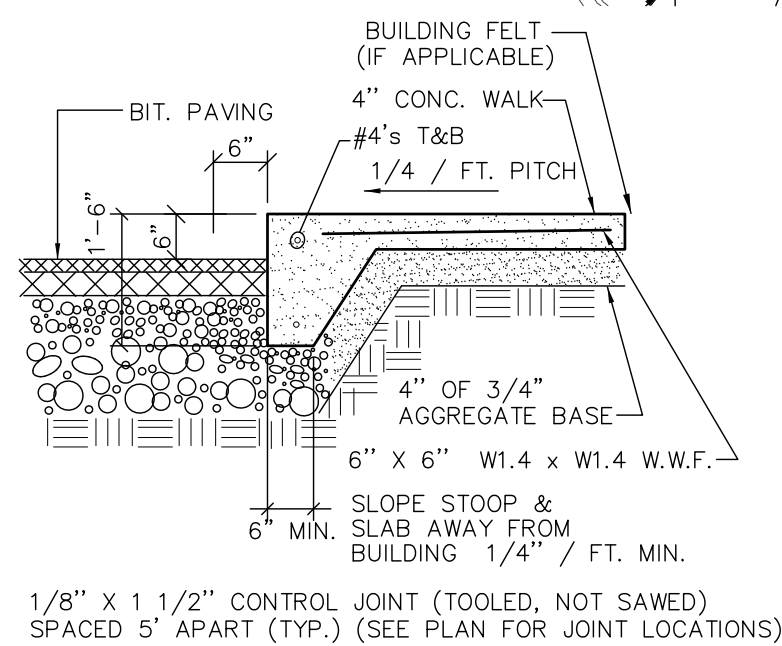


CONCRETE SIDEWALK
C1.2 NO SCALE

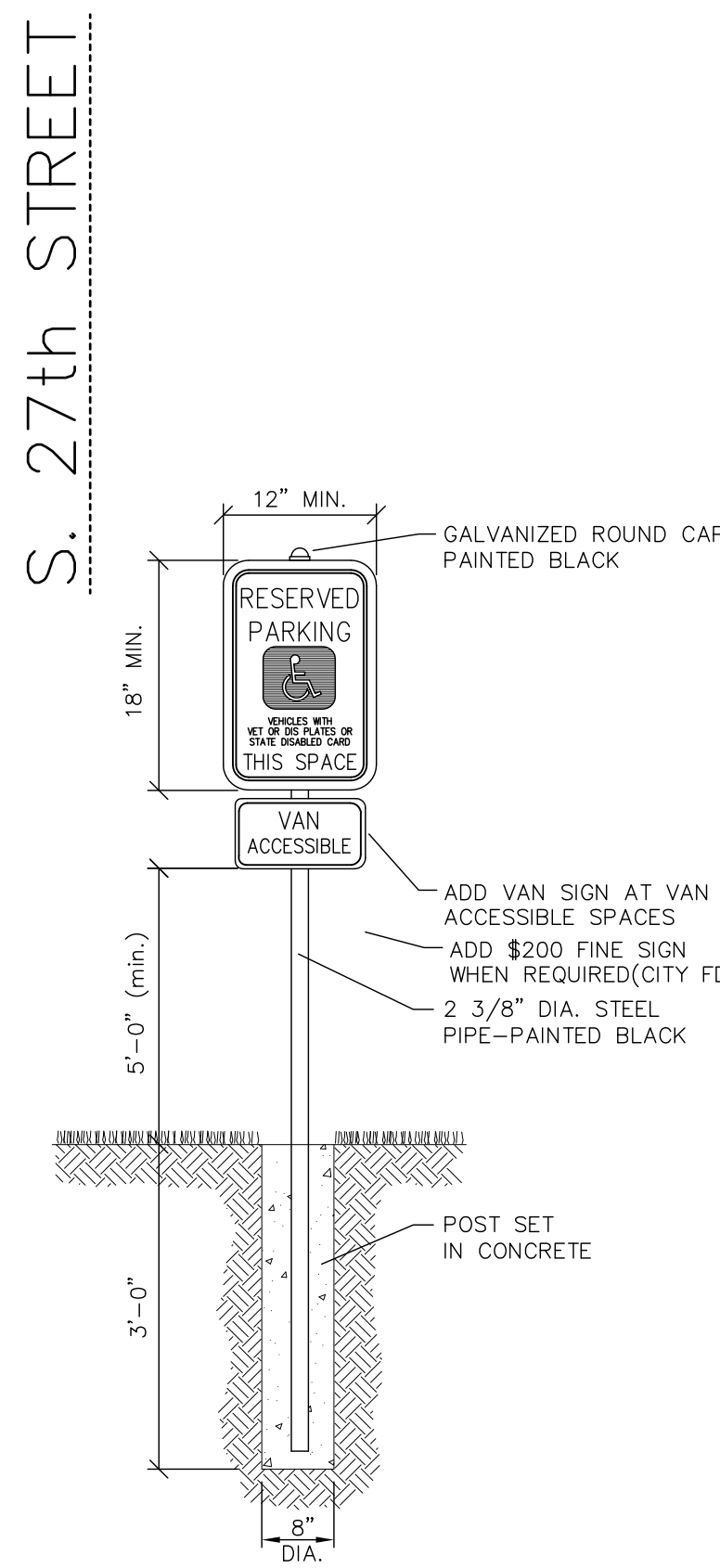
L=36.88'
R=23.50'
CB=N44°58'41"E
CH=33.21'



TAPERED CURB DETAIL
C1.2 NO SCALE



RAISED WALK DETAIL
C1.2 NO SCALE



HANDICAP SIGNAGE DETAIL
C1.2 NO SCALE

SITE INFORMATION:

PROPERTY AREA: AREA = 21,388 S.F. (0.49 ACRES).
EXISTING ZONING: PD - PLANNED DEVELOPMENT
PROPOSED ZONING: PD - PLANNED DEVELOPMENT
PROPOSED USE: RETAIL
AREA OF SITE DISTURBANCE: 23,375 S.F. (0.54 ACRES)
PROPOSED BUILDING HEIGHT: 26'-8"
PARKING PROVIDED ON PROPERTY: 19 SPACES
HANDICAP STALLS REQUIRED: 1, HANDICAP STALLS PROVIDED: 1
BUILDING OCCUPANCY CLASSIFICATION = A2 (ASSEMBLY)
CLASS OF BUILDING CONSTRUCTION = VB

PARKING INFORMATION

EXISTING WAL-MART PARKING:
STANDARD SPACES: 877
ACCESSIBLE SPACES: 25
CART CORRAIS: 20
TOTAL: 922
PROPOSED WAL-MART PARKING:
STANDARD SPACES: 845
ACCESSIBLE SPACES: 26
CART CORRAIS: 20
TOTAL: 892
EXISTING OUTLOT PARKING:
STANDARD SPACES: 49
ACCESSIBLE SPACES: 0
PROPOSED OUTLOT PARKING:
STANDARD SPACES: 18
ACCESSIBLE SPACES: 1

EXISTING SITE DATA

	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	0.49	21,388	0%
BUILDING FLOOR AREA	0	0	
PAVEMENT (ASP. & CONC.)	0.42	18,223	85.7%
TOTAL IMPERVIOUS	0.42	18,223	85.7%
LANDSCAPE/OPEN SPACE	0.07	3,165	14.3%

PROPOSED SITE DATA

	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	0.49	21,388	
BUILDING FLOOR AREA	0.11	4,993	22.5%
PAVEMENT (ASP. & CONC.)	0.30	12,938	61.2%
TOTAL IMPERVIOUS	0.41	17,931	83.7%
LANDSCAPE/OPEN SPACE	0.08	3,457	16.3%

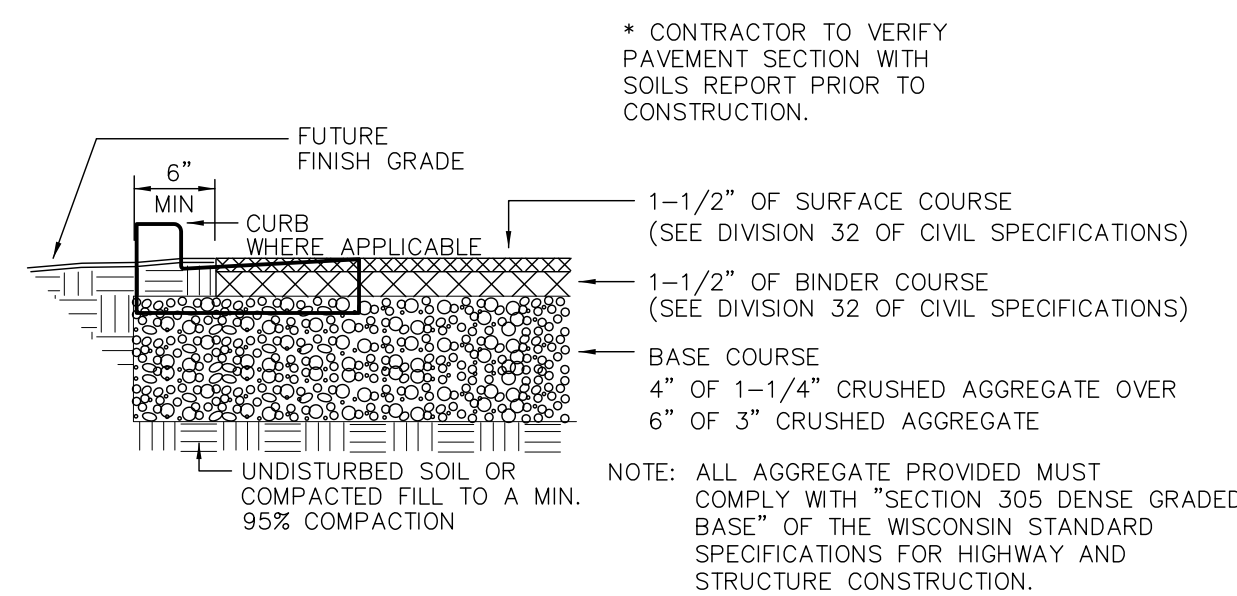
PROJECT NOTES

GENERAL NOTES:

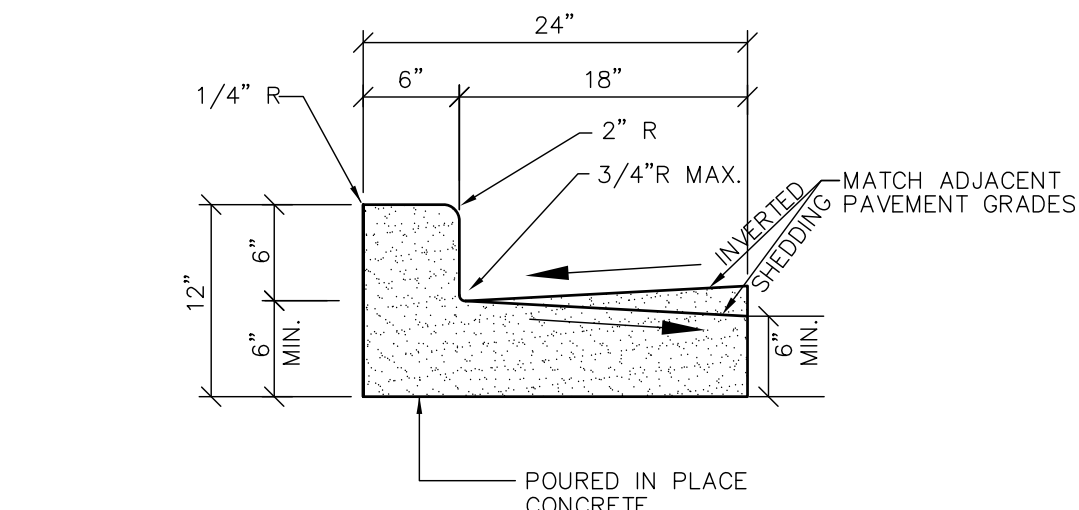
- CONSTRUCTION STAKING SHALL BE COMPLETED BY EXCEL ENGINEERING. CONTRACTOR TO CONTACT RYAN WILGREEN AT 920-926-9800 TO GET STAKING PRICE TO INCLUDE IN BID TO OWNER. STAKING SHALL BE COMPLETED BY EXCEL AS REQUESTED BY THE CONTRACTOR. THE CONTRACTOR WILL BE INVOICED BY EXCEL ENGINEERING AT THE STANDARD TIME AND MATERIAL RATES UP TO THE AGREED STAKING ALLOWANCE. PAYMENT OF STAKING COSTS BEYOND THE ALLOWANCE DUE TO RESTAKING WILL BE THE RESPONSIBILITY OF THE CONTRACTOR, NOT THE OWNER. CAD DRAWING FILES AND SURVEY CONTROL WILL NOT BE PROVIDED FOR STAKING PURPOSES.
- ALL DRIVEWAYS AND CURB CUTS TO BE CONSTRUCTED ACCORDING TO LOCAL ORDINANCES. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL EROSION CONTROL PERMITS AND WORK IN ROW PERMITS.

PLAN NOTES:

- 4" WIDE YELLOW STRIPING FOR PARKING STALLS, TRAFFIC LANE, AND NO PARKING AREAS. YELLOW PAINT MARKINGS FOR H.C. ACCESSIBLE SYMBOLS, TRAFFIC ARROWS, AND TRAFFIC MESSAGE.



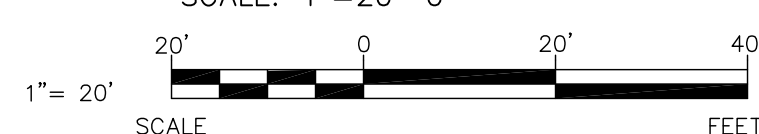
STANDARD ASPHALT PAVING DETAIL
C1.2 NO SCALE



24" CONCRETE CURB & GUTTER DETAIL
C1.2 NO SCALE



SITE PLAN
SCALE: 1"=20'-0"



OWNER:
SOUTHGATE MARKETPLACE OUTLOT, LLC
10345 N. PORT WASHINGTON ROAD
SUITE 175
MEQUON, WI 53092

PROJECT:
3355 RETAIL
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JANUARY 27, 2012

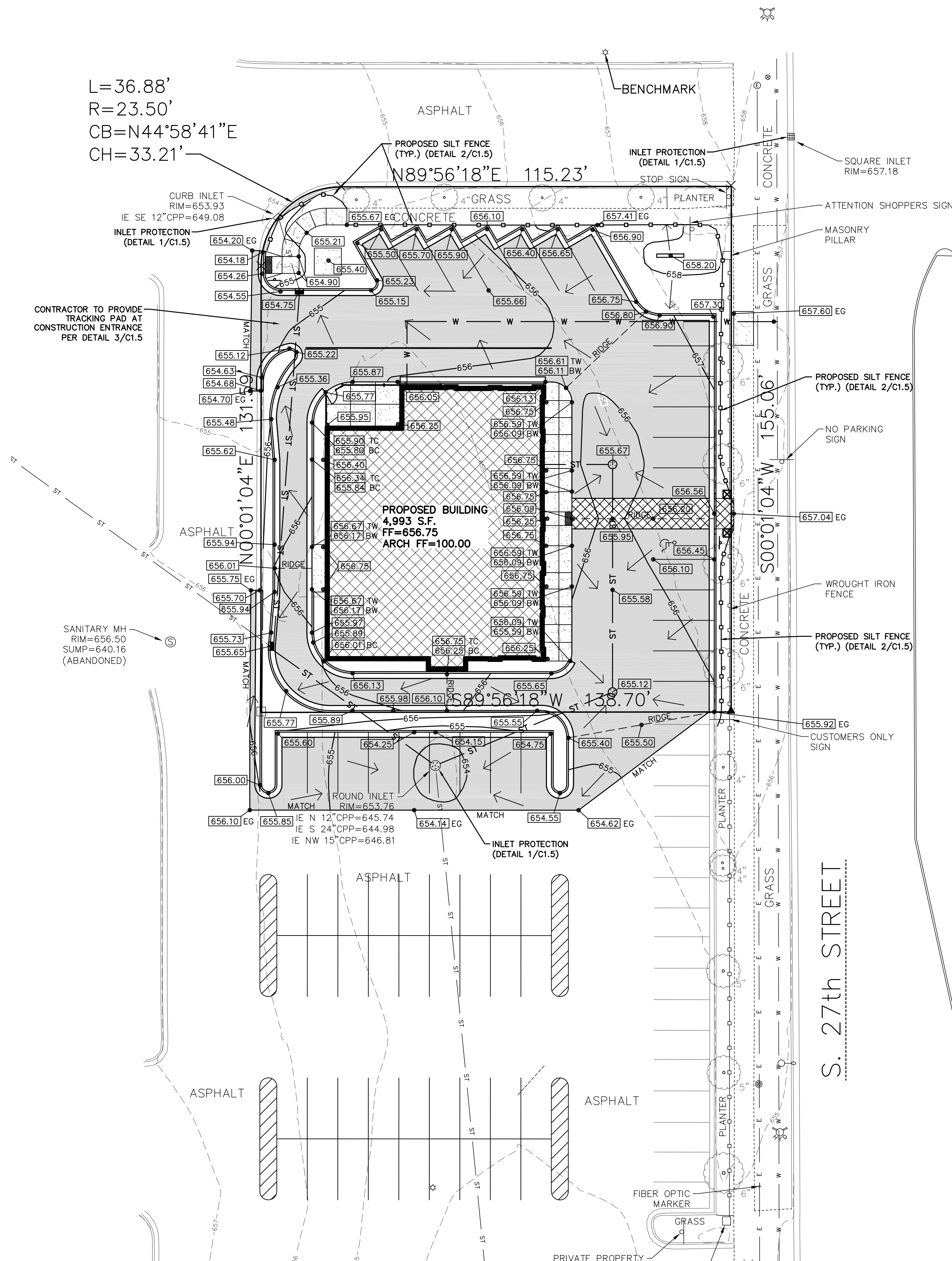
SEE TITLE SHEET TO CONFIRM
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REVISIONS:

JOB NUMBER:
1200960

SHEET

C1.3



EROSION CONTROL/SITE DEWATERING NOTES

EROSION CONTROL SHALL STRICTLY COMPLY WITH THE EROSION CONTROL GUIDELINES AND REQUIREMENTS SET FORTH IN WISCONSIN ADMINISTRATIVE CODE (W.A.C.) NR 151. THE STATE OF WISCONSIN DEPARTMENT OF NATURAL RESOURCES WILL MAYBE NOT PERFORM EROSION STANDARDS. THE METHODS AND TYPES OF EROSION CONTROL WILL BE DEPENDENT ON THE LOCATION AND TYPE OF WORK INVOLVED. ALL SEDIMENT CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION, AND INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL.

DUST CONTROL MEASURES SHALL BE PROVIDED TO REDUCE OR PREVENT THE SURFACE AND AIR TRANSPORT OF DUST DURING CONSTRUCTION. CONTROL MEASURES INCLUDE APPLYING MULCH AND ESTABLISHING VEGETATION, WATER SPRAYING, SURFACE ROUGHENING, APPLYING POLYMERS, SPRAY-ON TACKIFIERS, CHLORIDES, AND BARRIERS. SOME SITES MAY REQUIRE AN APPROACH THAT UTILIZES A COMBINATION OF MEASURES FOR DUST CONTROL.

STONE TRACKING PADS SHALL BE PLACED ON SITE AND SHALL BE INSTALLED PRIOR TO ANY TRAFFIC LEAVING THE SITE. THE AGGREGATE USED SHALL BE 3 TO 6 INCH CLEAR OR WASHED STONE, AND SHALL BE PLACED IN A LAYER AT LEAST 12 INCHES THICK. THE TRACKING PAD SHALL BE THE FULL WIDTH OF THE EGRESS POINT, AND SHALL BE A MINIMUM OF 50 FEET LONG.

STORM DRAIN INLET PROTECTION SHALL BE PROVIDED FOR ALL CATCH BASINS, AND CURB INLETS. TYPE B OR C PROTECTION SHOULD BE PROVIDED AND SHALL BE IN CONFORMANCE WITH THE WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD DETAIL DRAWING 8 E 10-2.

ALL SILT FENCE SHALL BE PLACED ON SITE AND SHALL BE IN CONFORMANCE WITH THE WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD DETAIL DRAWING 8 E 9-6.

THE USE, STORAGE, AND DISPOSAL OF CHEMICALS, CEMENT, AND OTHER COMPOUNDS AND MATERIALS USED ON SITE SHALL BE MANAGED DURING THE CONSTRUCTION PERIOD TO PREVENT THEIR TRANSPORT BY RUNOFF INTO WATERS OF THE STATE.

ALL EROSION CONTROL DEVICES SHALL AT A MINIMUM BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24 HOUR PERIOD. MAINTENANCE SHALL BE PERFORMED PER WISCONSIN ADMINISTRATIVE CODE (W.A.C.) NR 151 STORMWATER MANAGEMENT TECHNICAL STANDARD REQUIREMENTS.

TEMPORARY SITE RESTORATION SHALL TAKE PLACE IN DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE WITHIN A PERIOD OF ONE YEAR AND/OR LAND-DISTURBING ACTIVITIES THAT WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 7 DAYS.

PERMANENT RESTORATION APPLIES TO AREAS WHERE PERENNIAL VEGETATIVE COVER IS NEEDED TO PERMANENTLY STABILIZE AREAS OF EXPOSED SOIL. PERMANENT STABILIZATION SHALL OCCUR WITHIN 3 WORKING DAYS OF FINAL GRADING. TOPSOIL, SEED, AND MULCH SHALL BE IN CONFORMANCE WITH WISCONSIN ADMINISTRATIVE CODE (W.A.C.) NR 151 STORMWATER MANAGEMENT TECHNICAL STANDARD REQUIREMENTS FOR TEMPORARY AND PERMANENT SEEDING.

ANY SOIL STOCKPILE THAT REMAINS FOR MORE THAN 30 DAYS SHALL BE COVERED OR TREATED WITH STABILIZATION PRACTICES SUCH AS TEMPORARY OR PERMANENT SEEDING AND MULCHING.

ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION WORK OR A STORM EVENT SHALL BE CLEANED UP BY THE END OF EACH DAY. FLUSHING SHALL NOT BE ALLOWED.

ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING AND/OR THE APPLICATION OF STABILIZATION MEASURES MUST BE REPAIRED AND THE STABILIZATION WORK REDONE.

EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL THE AREA(S) SERVED HAVE ESTABLISHED VEGETATIVE COVER.

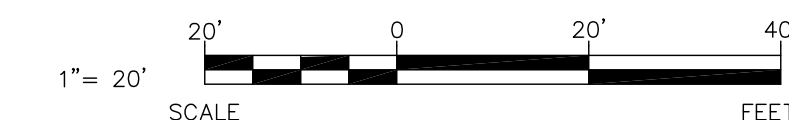
DEWATERING-- IF SITE DEWATERING IS REQUIRED ON SITE THE FOLLOWING PROCEDURES SHALL BE USED.

1. FOLLOW WDNR CODE NO. 1061 FOR DEWATERING.
2. ASSUMED SOIL AND TEXTURE CLASSIFICATION IN THIS AREA IS A SANDY LOAM (CONTRACTOR TO VERIFY IF DIFFERENT).
3. 4" TYPE GEOTEXTILE BAGS TO BE USED FROM THE DEWATERING WITH SANDY LOAM SOIL.
4. GEOTEXTILE BAGS SHALL BE SIZED ACCORDING TO THE PARTICLE SIZE WHEN TRAPPED, EXPECTED FLOW OR PUMPING RATE (GPM) PER SQUARE FOOT OF FABRIC AND A 50% CLOGGING FACTOR.
5. 100% OF THE TONNAGE SHALL BE NO SMALLER THAN 100 SQUARE FEET.
6. WDNR APPROVED POLYMERS CAN BE USED TO ENHANCE THE EFFICIENCY OF THE BAGS.
7. SEDIMENT SHALL BE REMOVED FROM DEVICES TO MAINTAIN EFFECTIVENESS. ALL SEDIMENT COLLECTED IN DEWATERING DEVICES SHALL BE PROPERLY DISPOSED OF TO PREVENT DISCHARGE TO WATER OF THE RIVER.
8. THE FOLLOWING MONITORING SHALL BE CONDUCTED. TEST RESULTS SHALL BE RECORDED ON A DAILY LOG KEPT ON SITE:
 - a. DISCHARGE DURATION AND SPECIFIED PUMPING RATE.
 - b. OBSERVED WATER TABLE AT TIME OF DEWATERING
 - c. IF USED, TYPE AND AMOUNT OF CHEMICAL USED FOR pH ADJUSTMENT.
 - d. IF USED, TYPE AND AMOUNT OF POLYMER USED FOR TREATMENT.
 - e. MAINTENANCE ACTIVITIES.



GRADING AND EROSION CONTROL PLAN

SCALE: 1"=20'-0"



OWNER:
SOUTHGATE MARKETPLACE OUTLOT, LLC
10345 N. PORT WASHINGTON ROAD
SUITE 175
MEQUON, WI 53092

PROJECT:
3355 RETAIL
3355 27TH STREET
MILWAUKEE, WI

SHEET ISSUE:

JANUARY 27, 2012

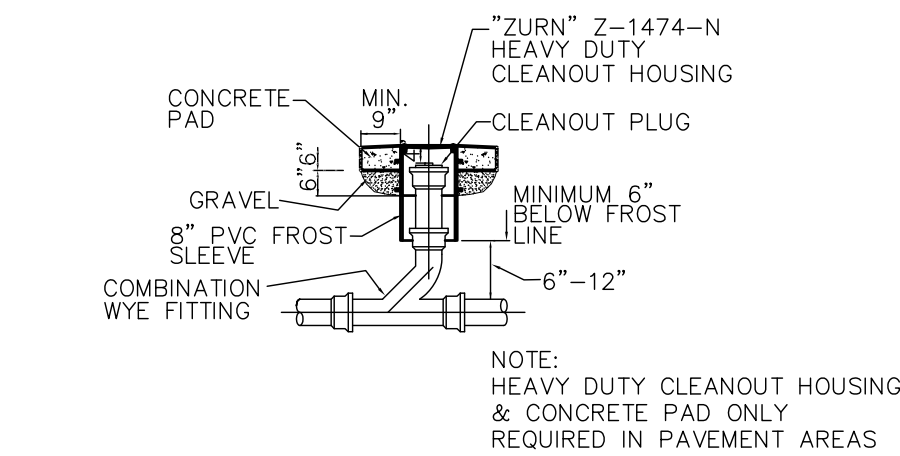
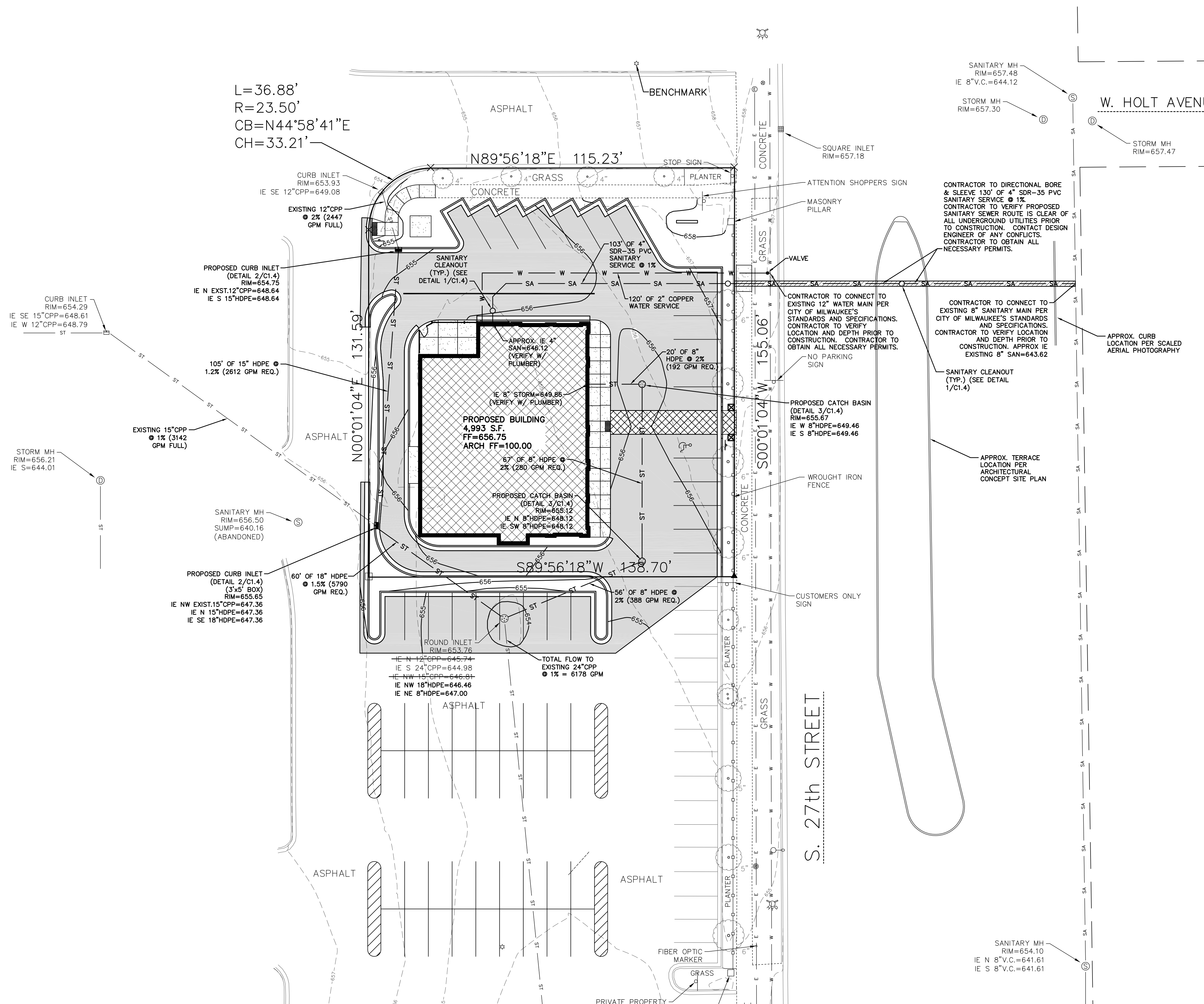
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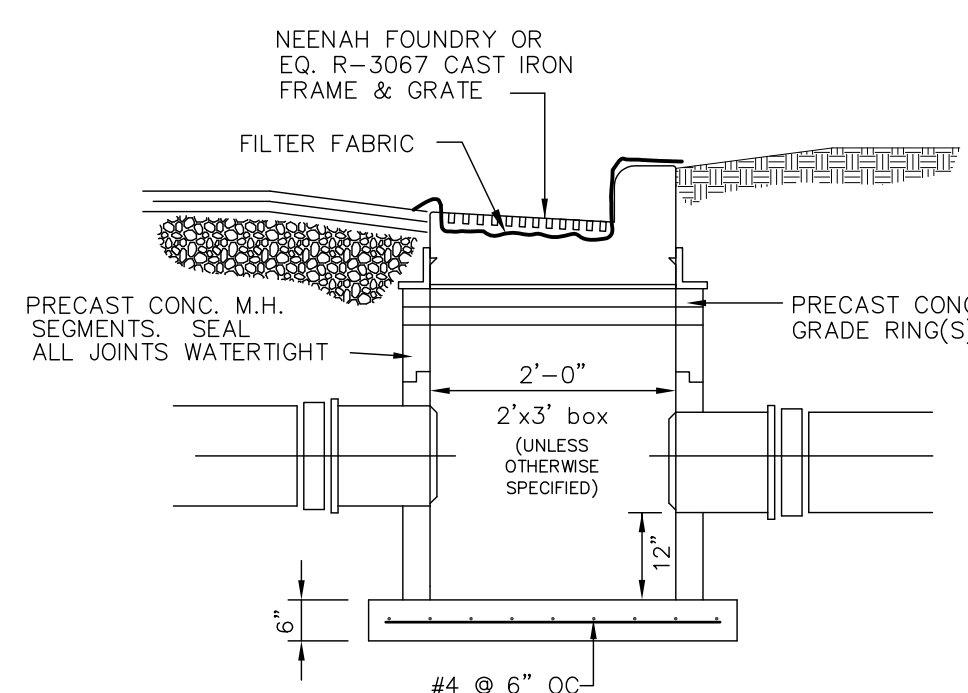
JOB NUMBER:
1200960

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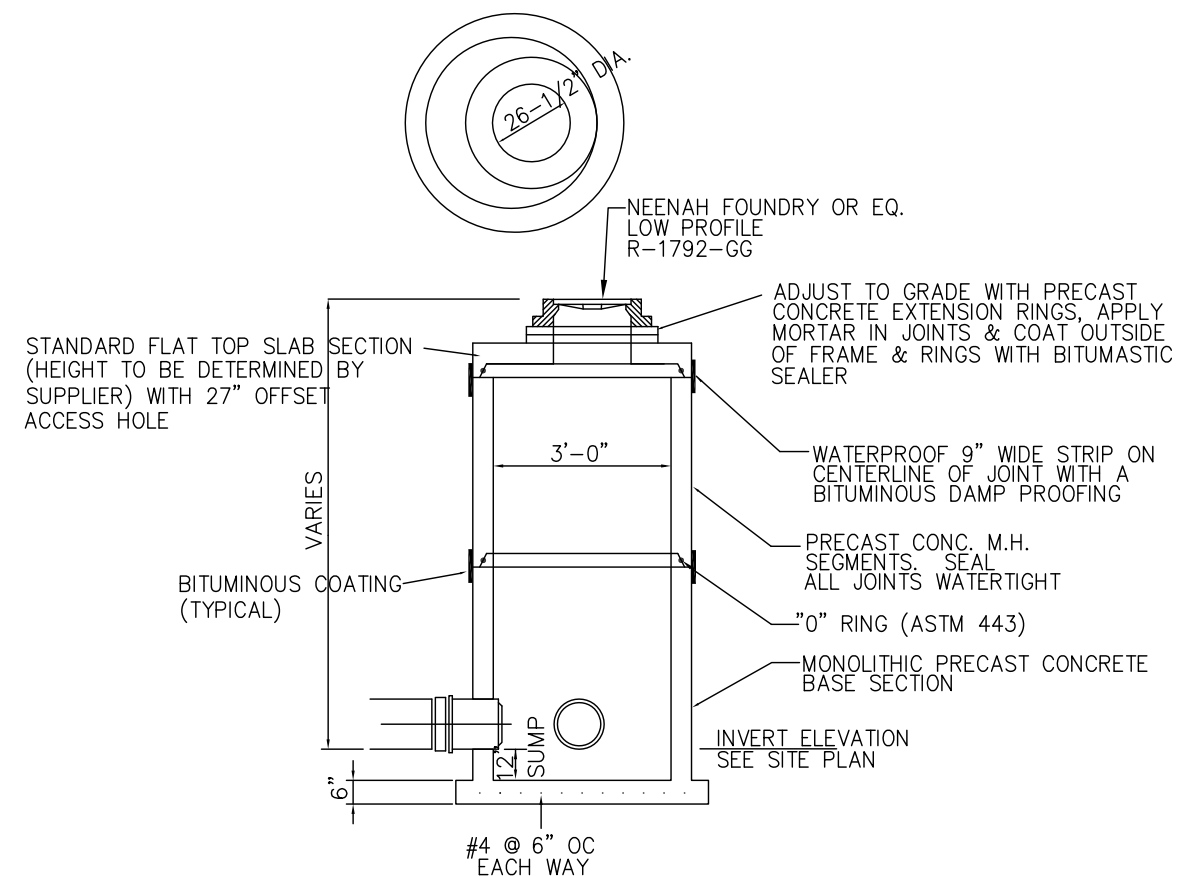
C1.4



1 CLEANOUT TO GRADE DETAIL
C1.4 NO SCALE



2 CURB INLET
C1.4 NO SCALE



3 CATCH BASIN DETAIL
C1.4 NO SCALE

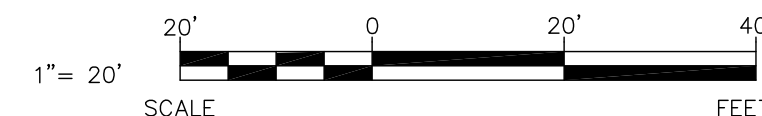
SITE LIGHTING NOTE:
ALL SITE LIGHTING DESIGN AND APPROVAL BY
SITE ELECTRICAL CONTRACTOR.

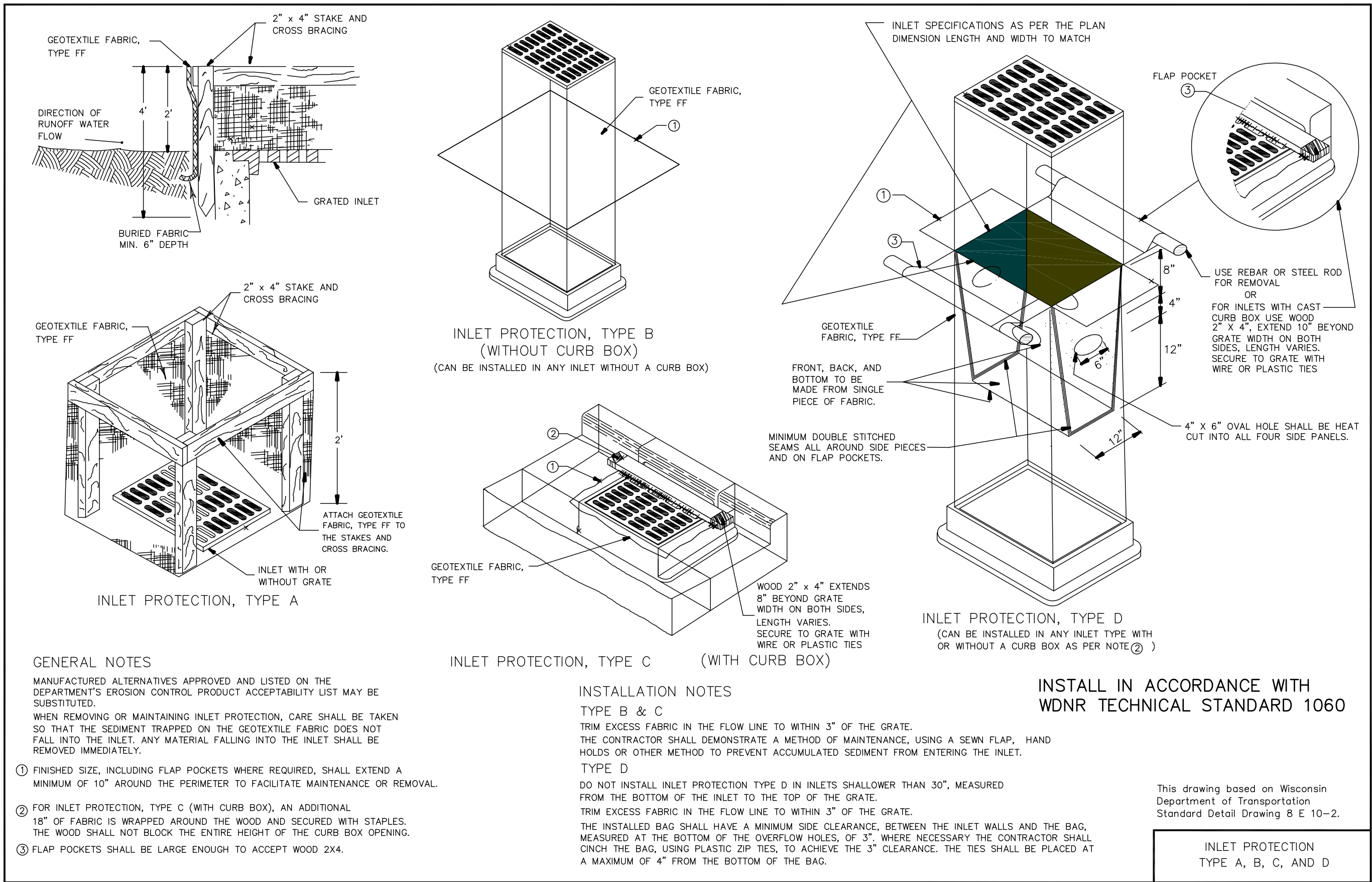
NOTE:
DESIGN, SIZE, AND LOCATION OF ALL EXTERIOR
UTILITY SERVICES SHOULD BE VERIFIED BY THE
PLUMBING CONTRACTOR PRIOR TO CONSTRUCTION.



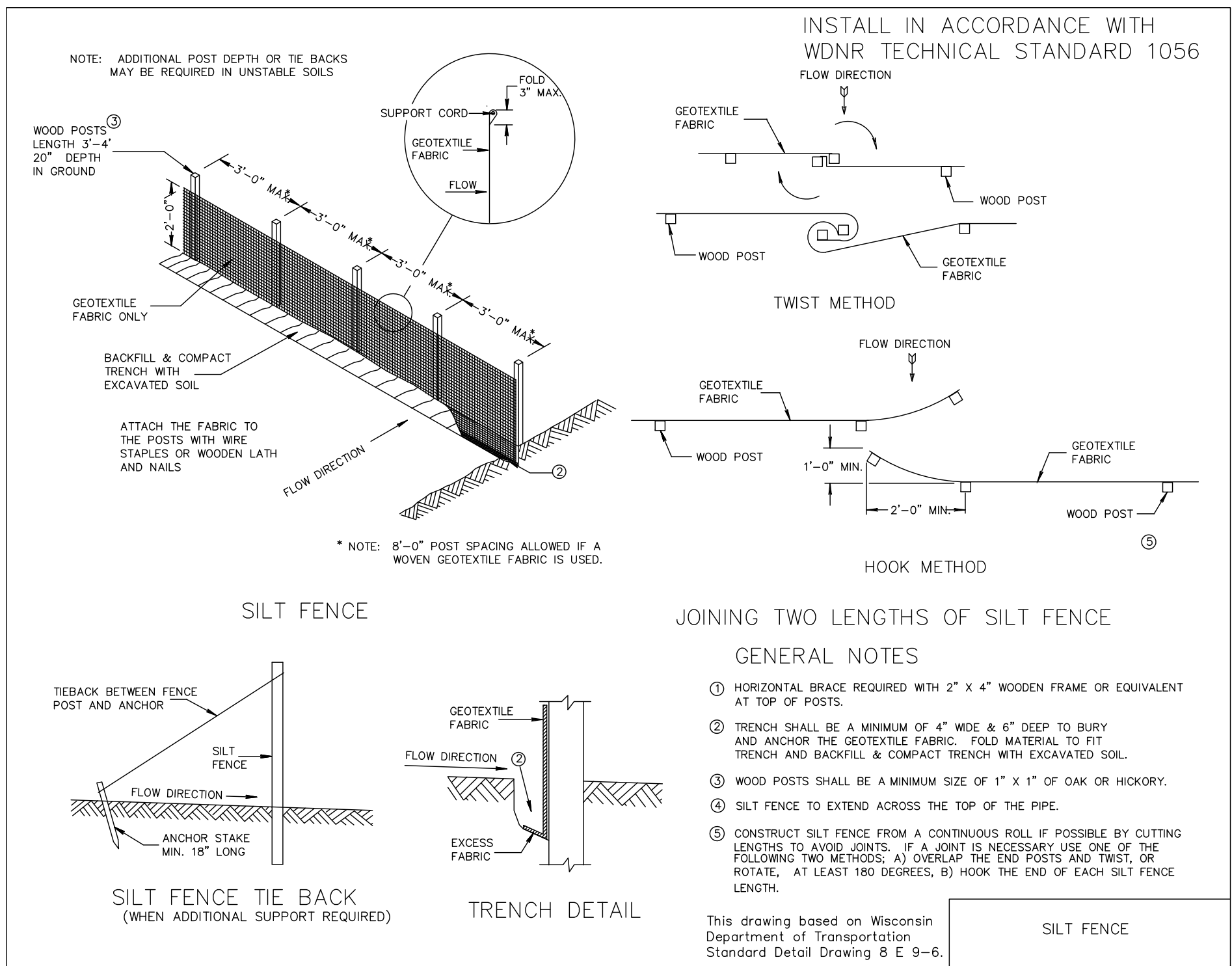
UTILITIES PLAN

SCALE: 1"=20'-0"

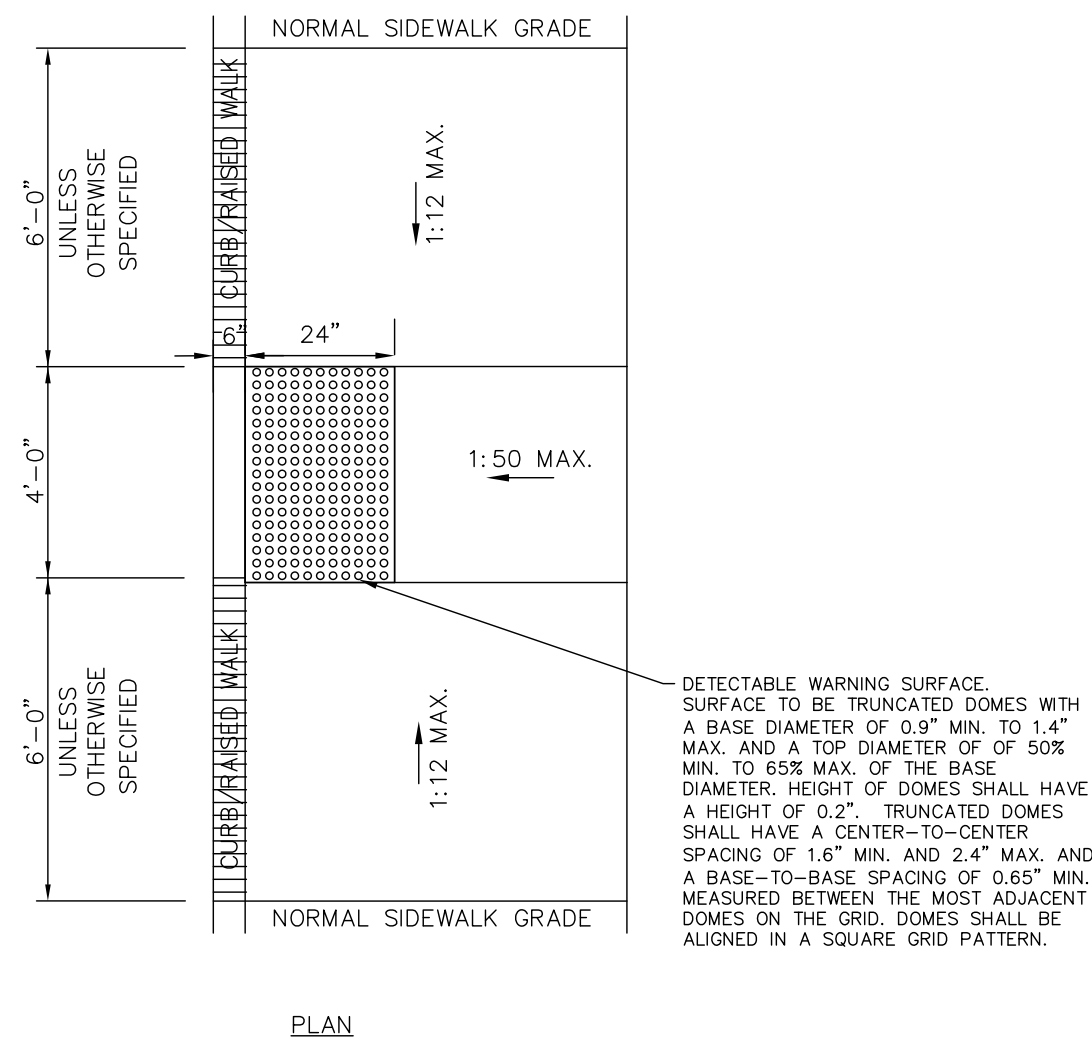




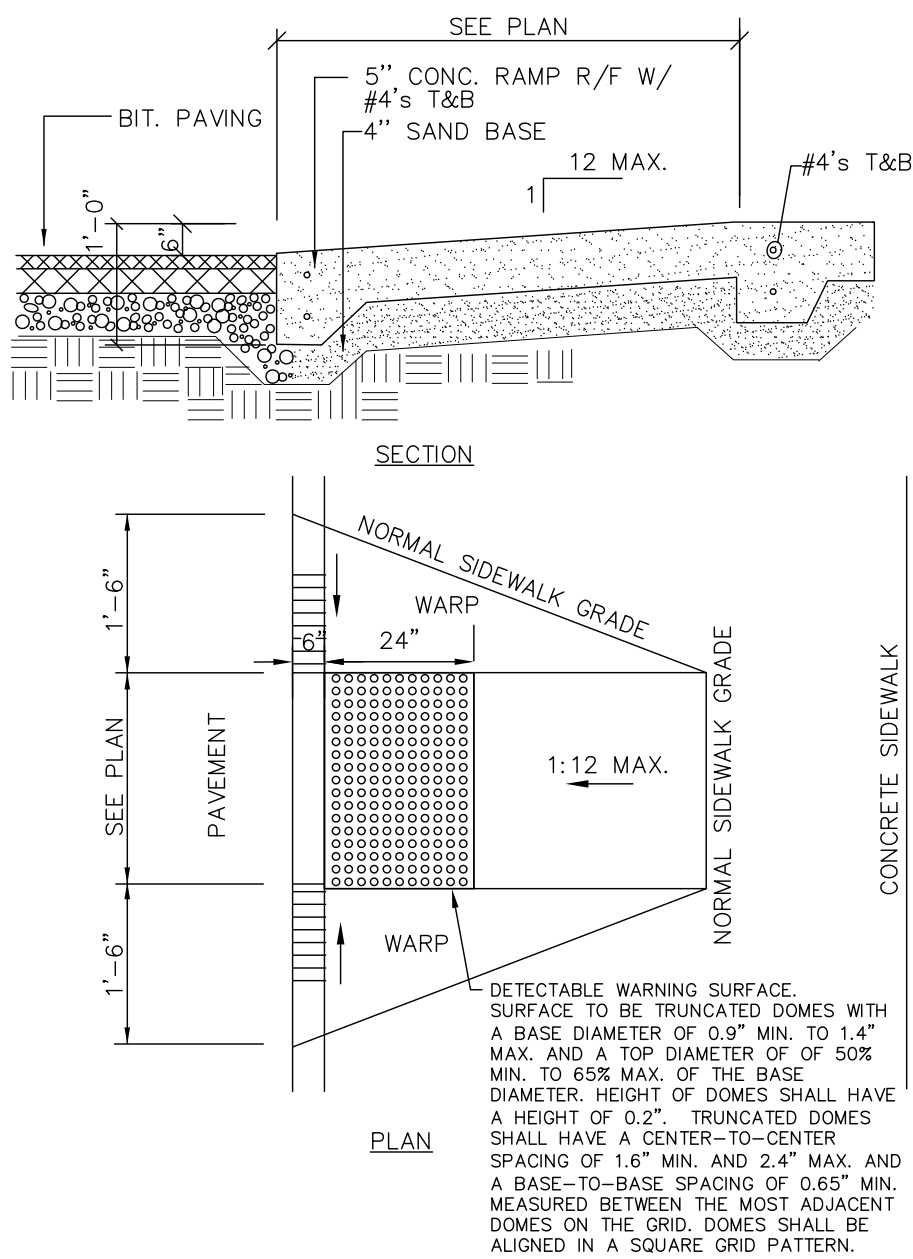
1 INLET PROTECTION DETAILS
C1.5 NO SCALE



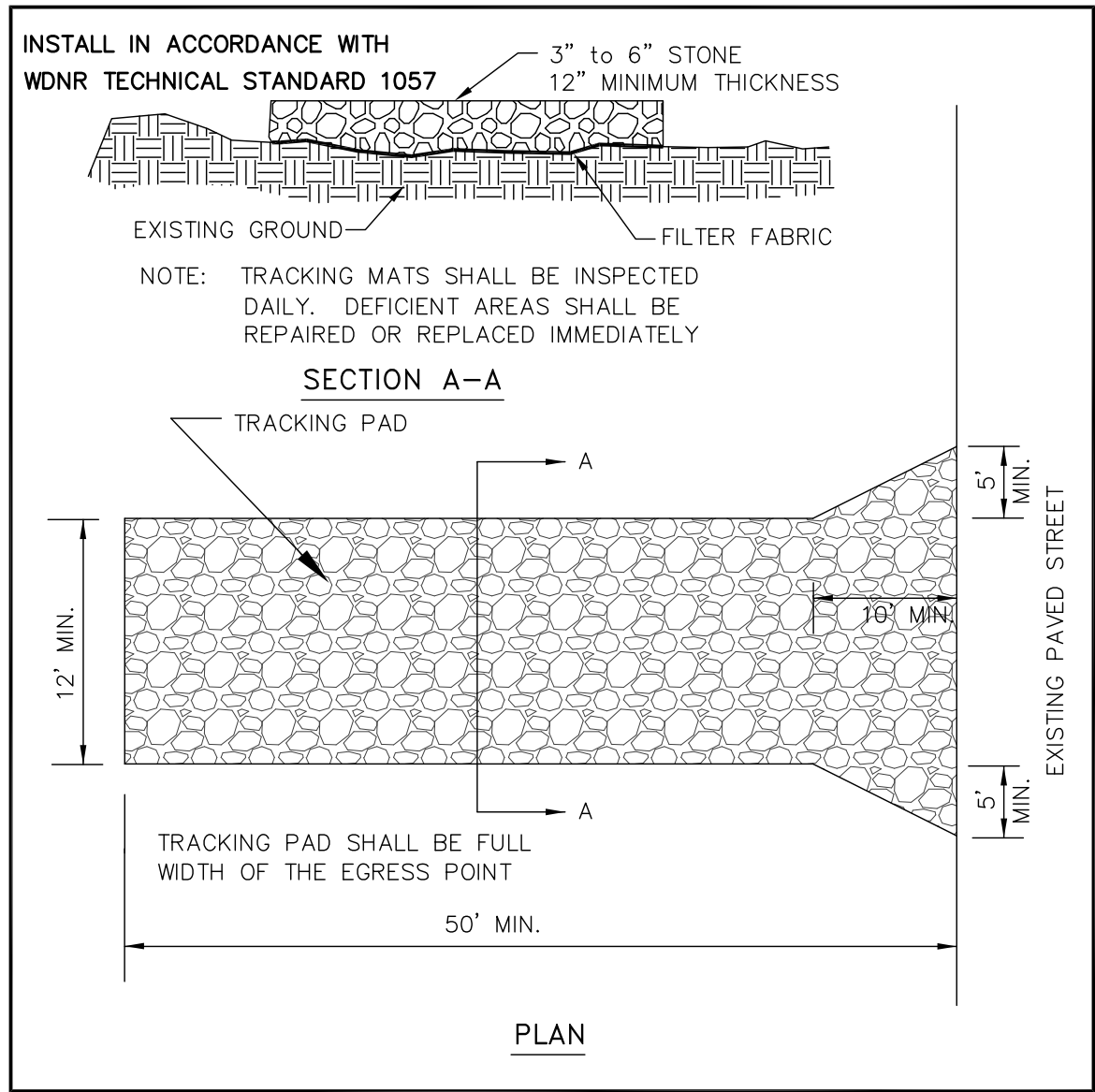
2 SILT FENCE - INSTALLATION DETAIL
C1.5 NO SCALE



5 CURB RAMP DETAIL
C1.5 NO SCALE



4 CURB RAMP DETAIL
C1.5 NO SCALE



3 TRACKPAD DETAILS
C1.5 NO SCALE

OWNER:
SOUTHGATE MARKETPLACE OUTLOT, LLC
10345 N. PORT WASHINGTON ROAD
SUITE 175
MEQUON, WI 53092

PROJECT:
3355 RETAIL
3355 27TH STREET
MILWAUKEE, WI

SHEET ISSUE:

JANUARY 27, 2012

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REVISIONS:

FEBRUARY 6, 2012

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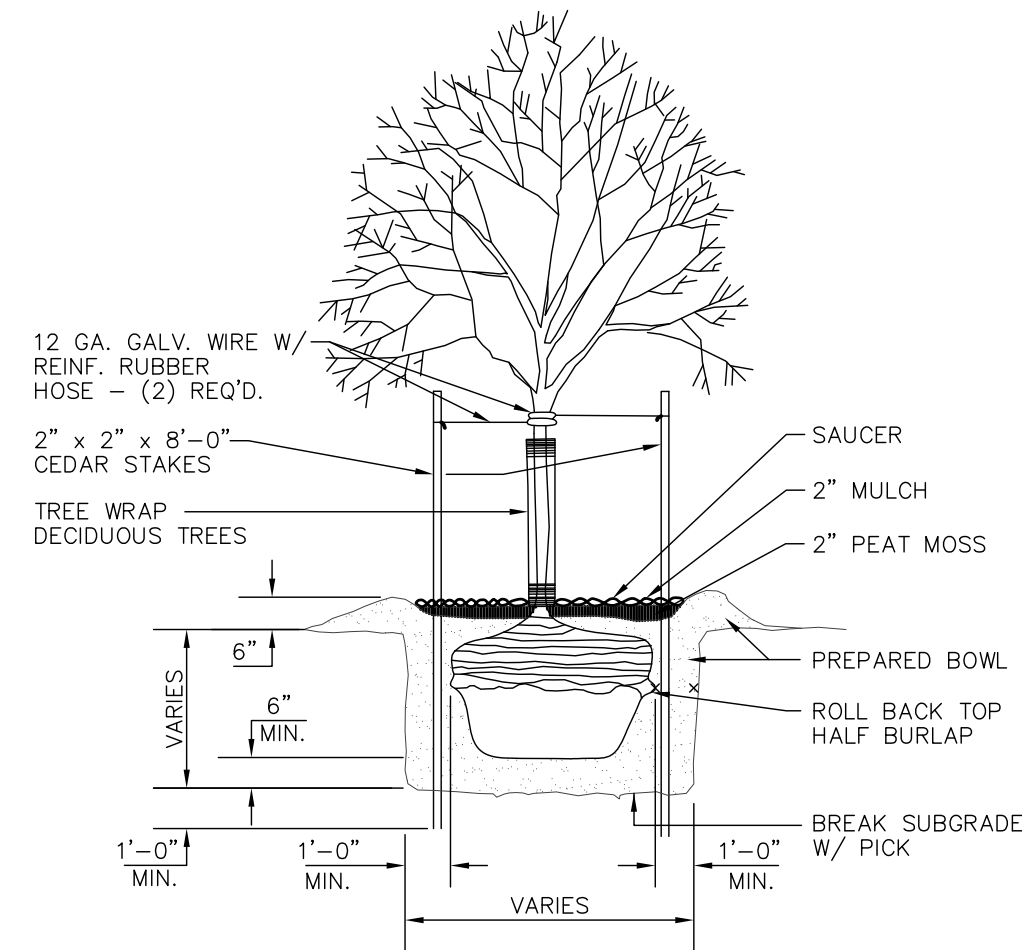
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SHEET

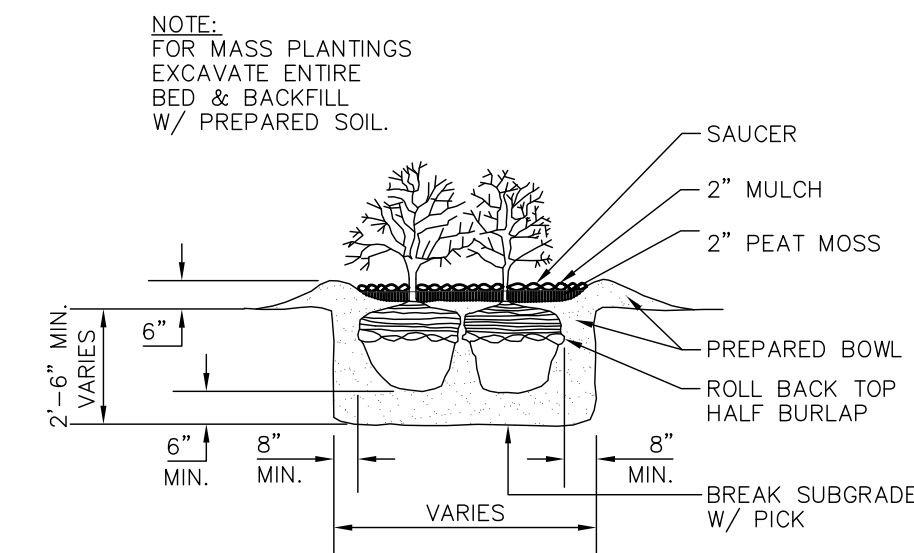
C1.6

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LANDSCAPING NOTES				
MARK	COMMON NAME	BOTANICAL NAME	PLANTED SIZE	NO. PROV'D
SMALL SHRUBS				
JA	Arcadia Juniper	Juniperus Sabina 'Arcadia'	24"	31
GS	Goldmound Spirea	Spirea 'Goldmound'	24"	33
EVERGREEN TREES				
PA	Pyramidal Arborvitae	Thuja occidentalis fastigata	5'	6
NOTE: MULCH AT ALL PLANTING AREAS (VERIFY TYPE WITH OWNER)				



1 TREE PLANTING DETAIL
C1.6 NO SCALE

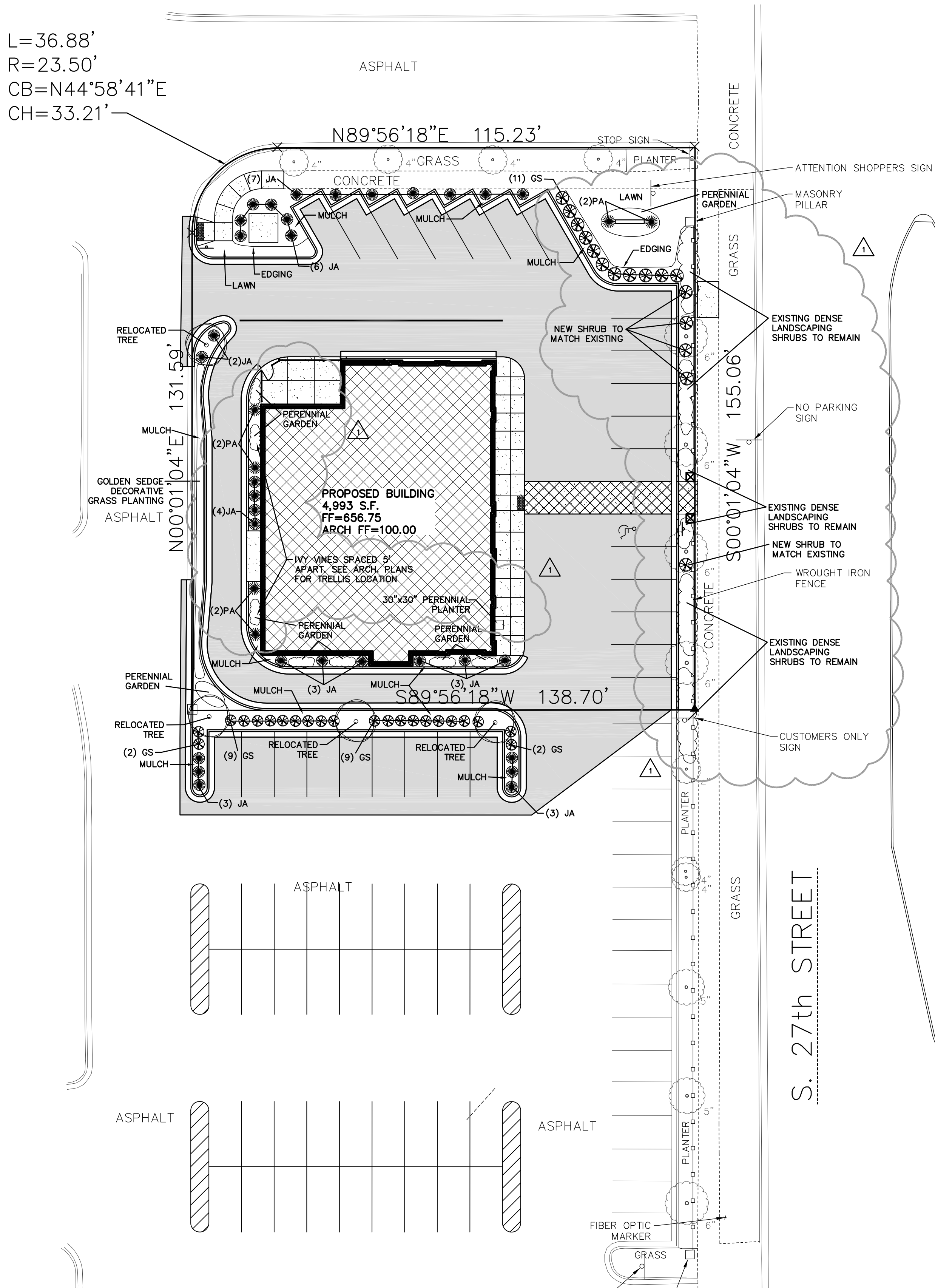
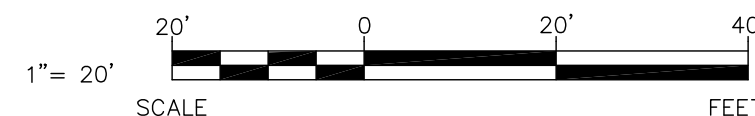


2 SHRUB PLANTING DETAIL
C1.6 NO SCALE

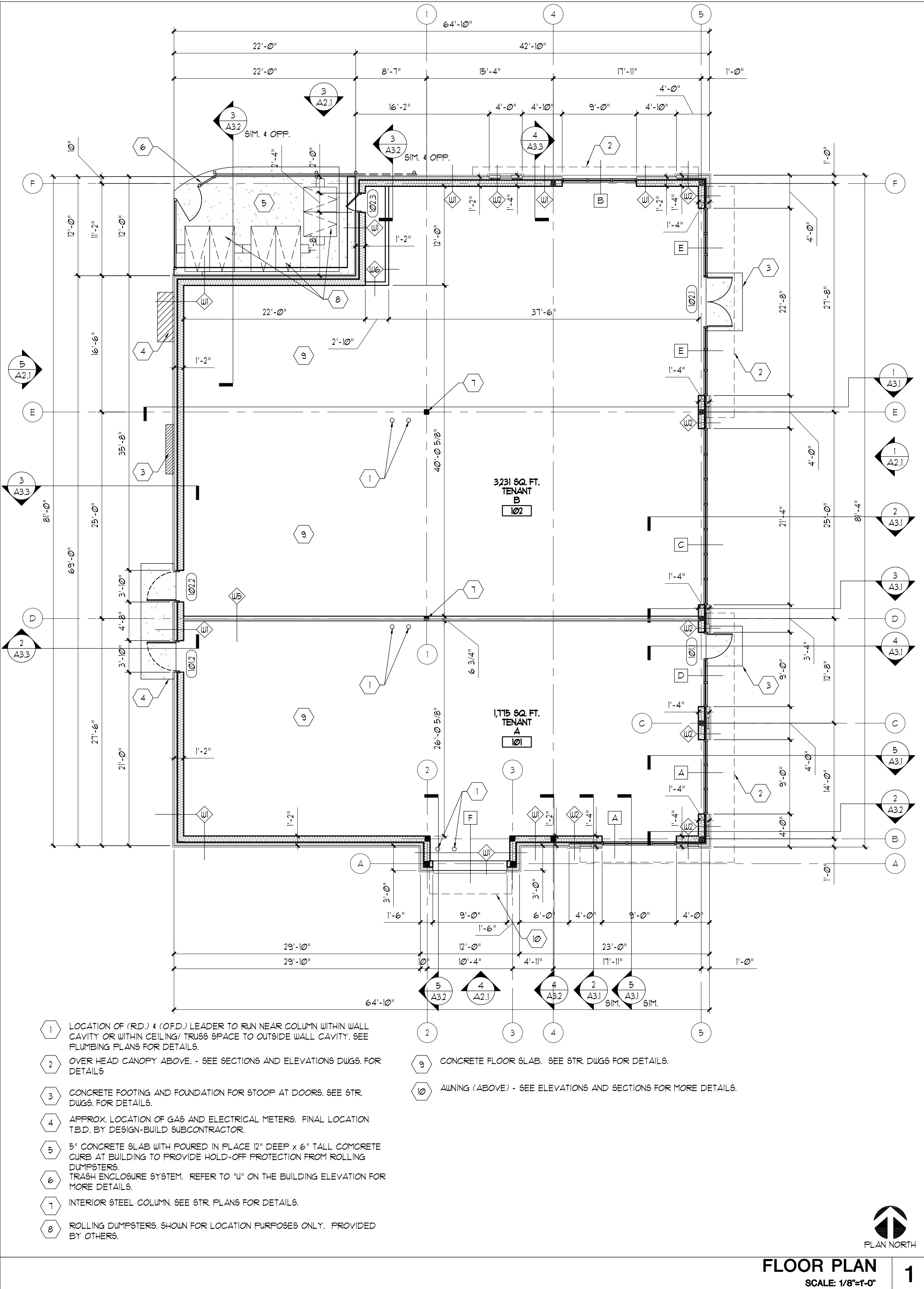
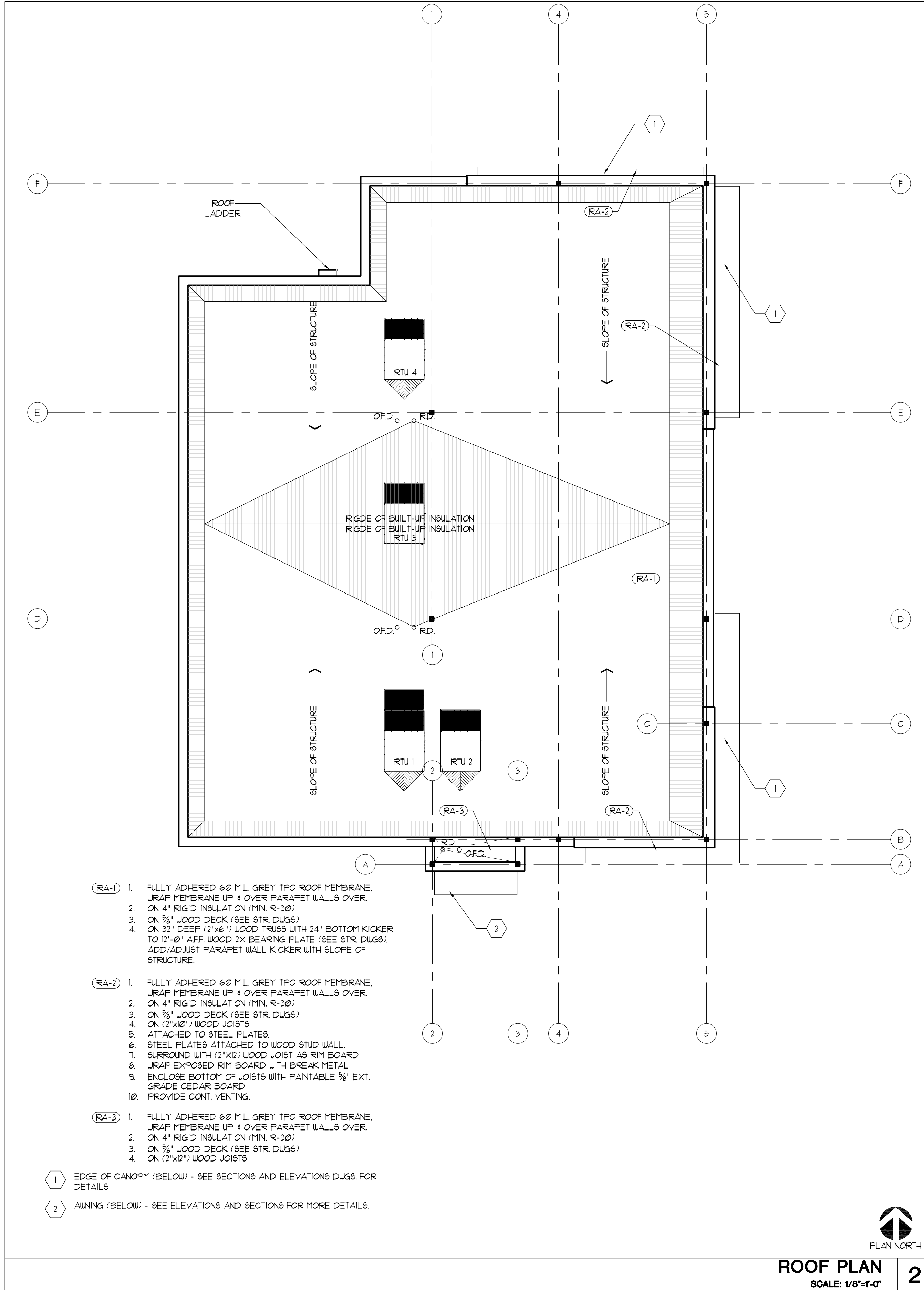


LANDSCAPE PLAN

SCALE: 1"=20'-0"



S. 27th STREET



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FULL SIZE PRINT = 24" x 36" SHEET

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Project:

Shoppes at Southgate

3355 27TH STREET

MILWAUKEE, WI

PERSPECTIVE DESIGN, INC.

11525 W. North Avenue

Wauwatosa, WI 53226

Tel (414) 302-1780 Fax (414) 302-1781

REV. #

REV. DATE

DESCRIPTION

REV. BY:

1	02/03/12	TENANT APPROVAL SET	WHC
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Drawing Title:

FLOOR PLAN

Date: 02/03/12

Scale: A.N.

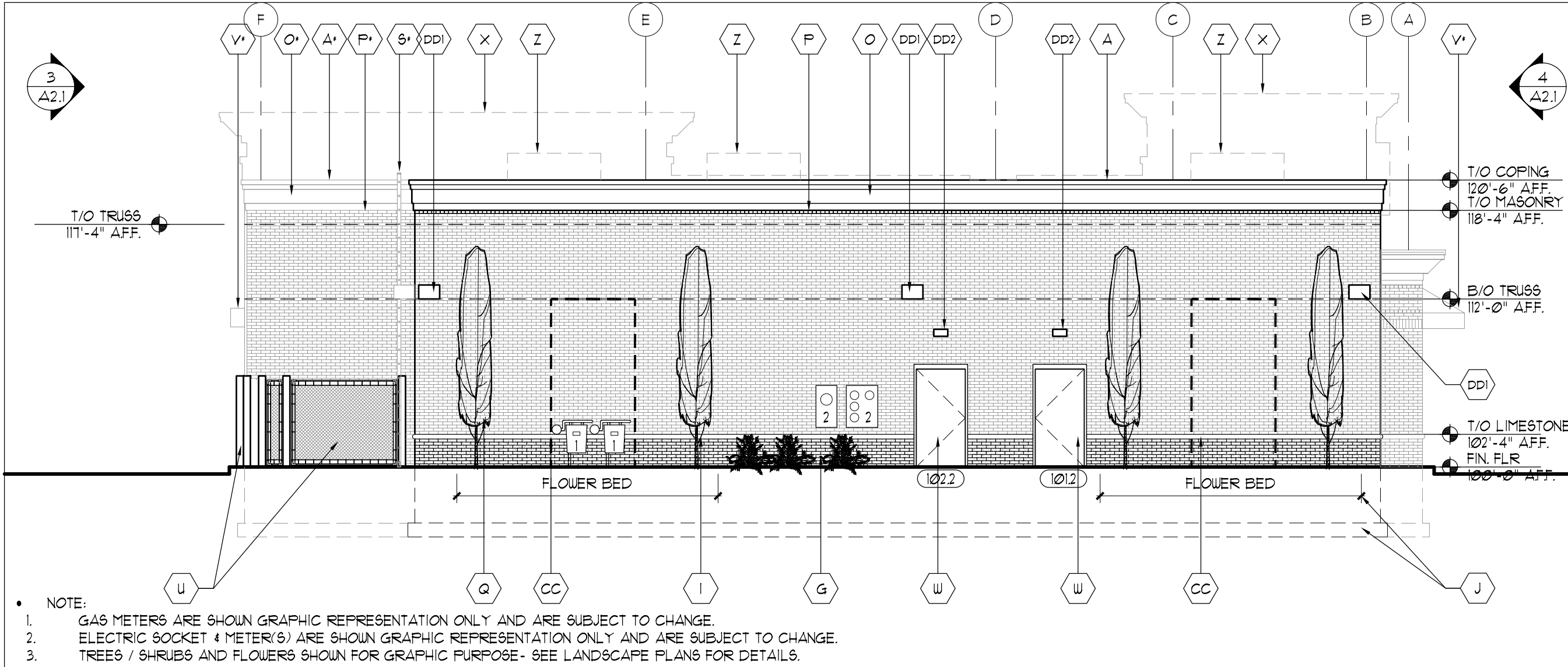
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Job: 10-006

Sheet: A1.1

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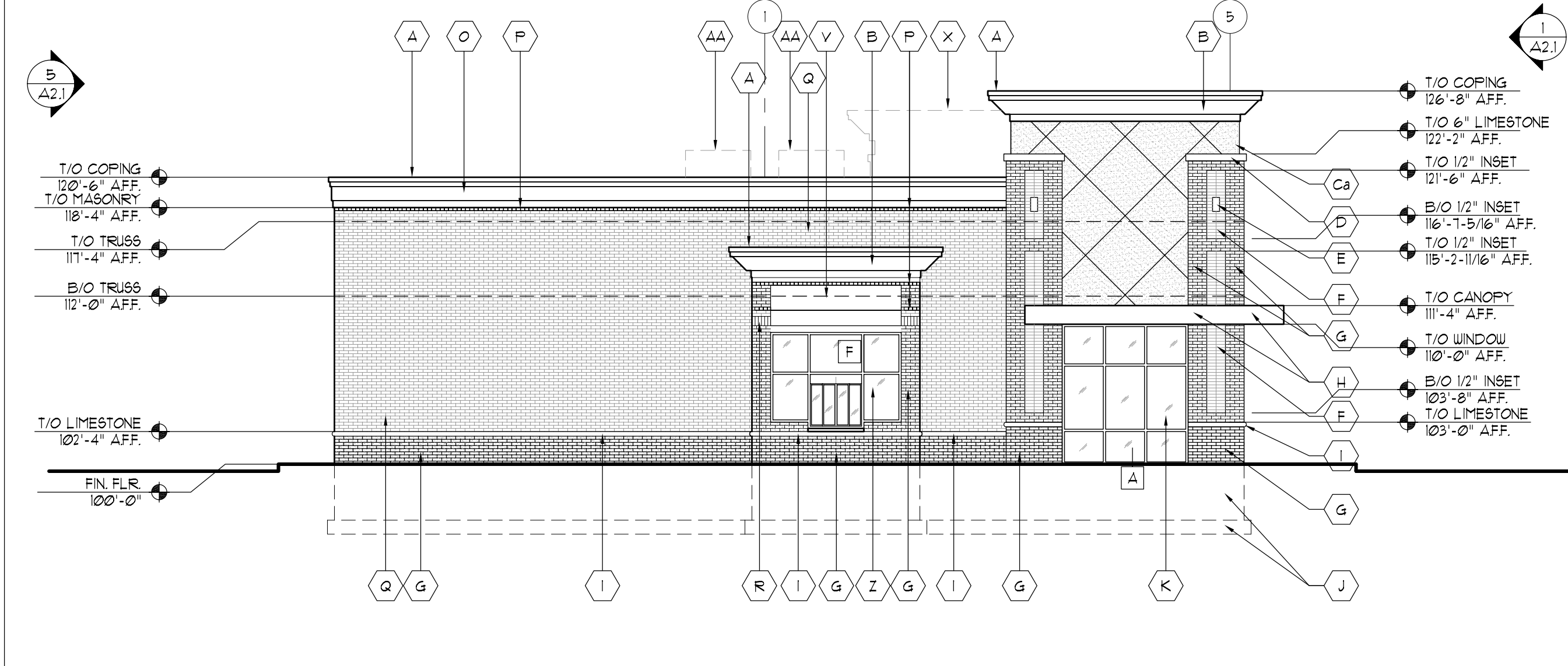
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WEST (REAR) ELEVATION

SCALE: 1/8" = 1'-0"

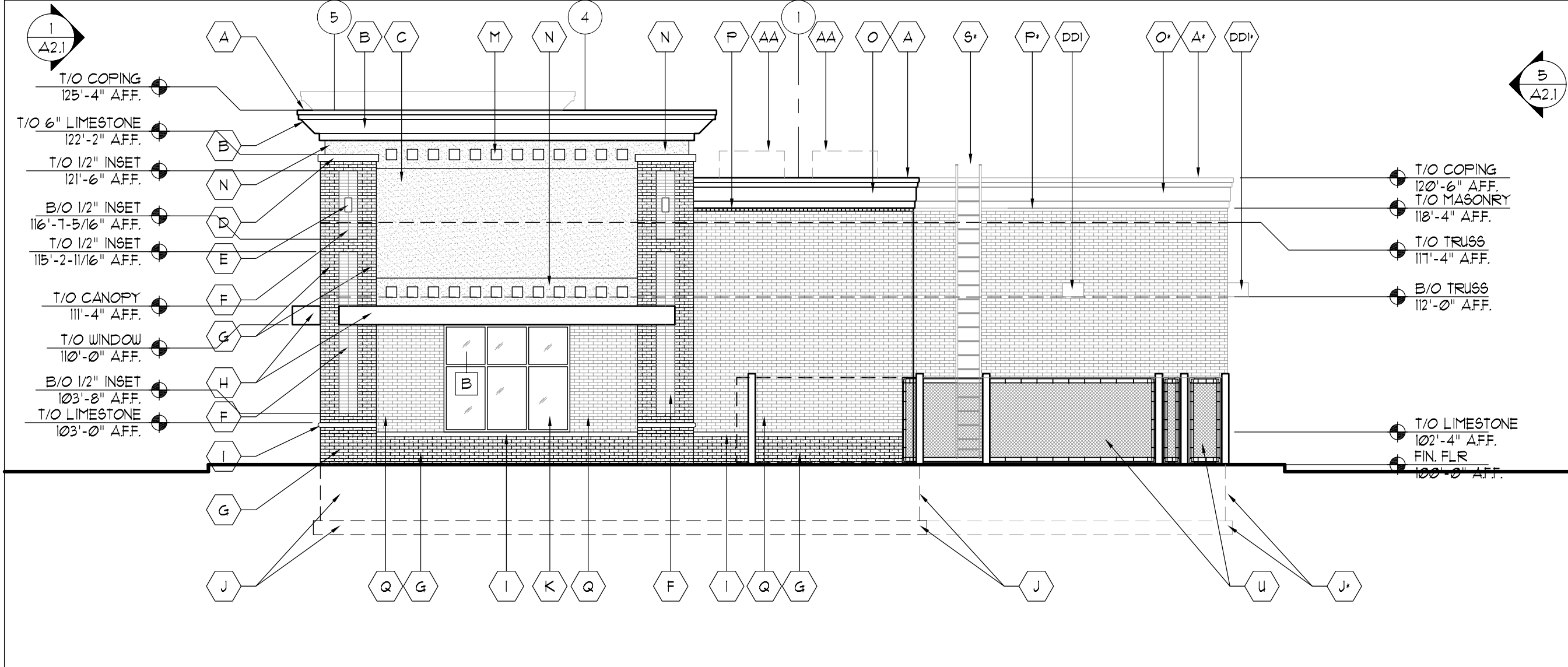
5



SOUTH (FRONT) ELEVATION

SCALE: 1/8" = 1'-0"

4



NORTH (SIDE) ELEVATION

SCALE: 1/8" = 1'-0"

3

- KEYED NOTES: - NOTES WITH A (*) DENOTES MATERIAL (ABOVE) / BEYOND
- A PREFINISHED METAL COPING SYSTEM (PERMASNAP PLUS) BY HICKMAN. SLOPE T/O CAP TOWARDS ROOF. PROVIDE BLOCKING AS REQUIRED BY MANUFACTURER.
 - COLOR: MATCH TO ALUM. STOREFRONT FRAMING COLOR
 - B EIFS COPING FASCIA.
 - COLOR: MATCH TO LIGHT TONED BRICK
 - TEXTURE: FINE
 - C EIFS WALL (FIELD).
 - COLOR: MATCH TO LIGHT TONED BRICK
 - TEXTURE: MEDIUM

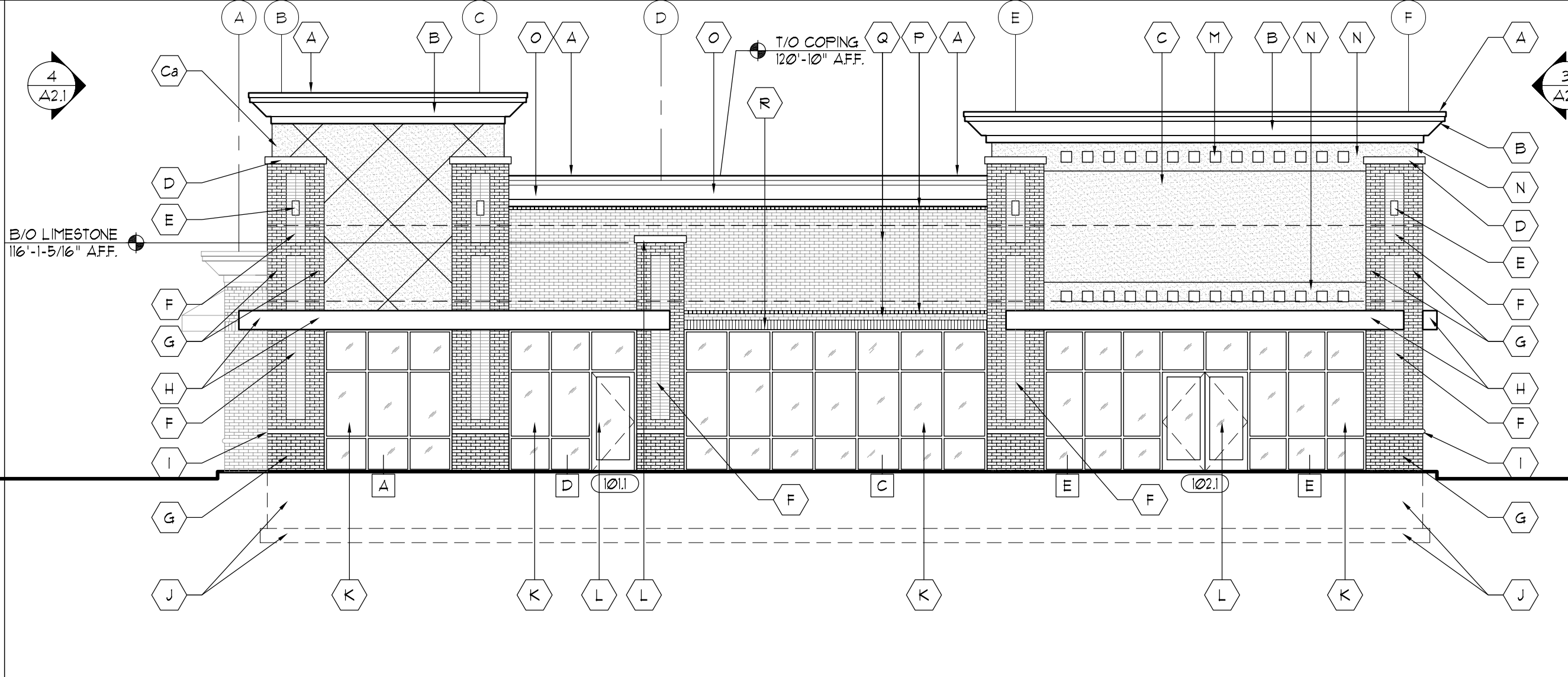
(a) PROVIDE 1/2" WIDE X 1/2" DEEP V-GROOVE SCORE MARKS AT 48" ON 48" O.C. CENTERED ON LOGO
 - D 6" LIMSTONE PILASTER CAP.
 - COLOR: BEIGE / SAND
 - PROVIDE TOP WITH SLOPE AWAY FROM BLDG.
 - PROVIDE DRIP CUT
 - E LIGHT FIXTURE - WITH DOWNWARD THROW.
 - COLOR: MATCH TO ALUM. STOREFRONT FRAMING COLOR
 - F CLAY FACE BRICK (LIGHT TONE) WITH MANUF. RECOMMENDED SEAL.
 - MANUF: BELDEN BRICK CO.
 - SIZE: MODULAR (3-5/8" x 2-1/4" x 1-5/8")
 - TEXTURE: VELOUR
 - COLOR: TUMBLEWEED
 - COURSE: STACK BOND
 - RECESSE: 1/2"
 - MORTAR: MATCH TO MASONRY
 - G CLAY FACE BRICK (DARK TONE) WITH MANUF. RECOMMENDED SEAL.
 - MANUF: BELDEN BRICK CO.
 - SIZE: MODULAR (3-5/8" x 2-1/4" x 1-5/8")
 - TEXTURE: BARK
 - COLOR: CHOCOLATE BROWN
 - COURSE: RUNNING BOND
 - MORTAR: MATCH TO MASONRY
 - H WOOD FRAMED (OVERHEAD) CANOPY WITH PREFINISHED ARCHITCTURAL BREAK METAL COPING & METAL FASCIA SYSTEM. PROVIDE BLOCKING AS REQUIRED PER MANUFACTURER REQUIREMENTS.
 - COLOR: MATCH TO ALUM. STOREFRONT FRAMING COLOR
 - SEE PLUMBING DRAWINGS FOR RD CONNECTIONS.
 - I 4" LIMSTONE BULLNOSED WATERMARK.
 - COLOR: BEIGE / SAND
 - J CONCRETE FOOTING & FOUNDATION WALL - SEE STRUC. DUGS. PROVIDE AT EXTERIOR SIDE OF PERIMETER WALLS WITH SPRAY ON WATERPROOFING, R14.4 / 2" RIGID INSUL. (EXPANDED POLYSTYRENE) INSTALL PER MANUF. RECOMMENDATIONS
 - K PREFINISHED ALUMINUM STORE FRONT SYSTEM. INSTALL PER MANUFACTURER'S WRITTEN GUIDELINES.
 - PROVIDE WITH PREFINISHED ALUMINUM SLIP HEAD TO MATCH ALUMINUM STOREFRONT SYSTEM. (TYP.)
 - PROVIDE PREFINISHED EXTRUDED ALUMINUM - THERMALLY BROKEN SILL FLASHING WITH END DAYS ON SHIM ON PREFINISHED ALUMINUM SILL FLASHING WITH END DAYS WITH HEIMED EDGE. INSTALLED WITH A POSITIVE SLOPE AWAY FROM THE INTERIOR AND SET IN SEALANT AND INSTALLED PER MANUFACTURER'S WRITTEN RECOMMENDATIONS. MATCH TO ALUMINUM STORE FRONT SYSTEM. (TYP.)
 - PROVIDE SHIM, SEALANT & BACKER ROD, PER MANUFACTURER'S WRITTEN RECOMMENDATIONS. REFER TO LISTED DETAILS FOR COMPOSITE ASSEMBLIES / ATTACHMENTS.
 - PROVIDE LAMINATED GLAZING AS REQUIRED. (1)
 - COLOR: ANOD. DARK BRONZE FRAMES
 - COLOR: LOU E - CLEAR GLAZING
 - SEE ComCheck FOR PERFORMANCE REQUIREMENTS.
 - L PREFINISHED ALUMINUM STORE FRONT ENTRY SYSTEM.
 - PROVIDE SHIM, SEALANT & BACKER ROD, PER MANUFACTURER'S WRITTEN RECOMMENDATIONS.
 - PROVIDE DRIP EDGE AND FLASHING PER MANUFACTURER'S WRITTEN RECOMMENDATIONS.
 - PROVIDE ADA COMPLIANT THRESHOLD & HARDWARE.
 - PROVIDE LAMINATED GLAZING AS REQUIRED. (1)
 - MATCH COLOR AND GLAZING TO STOREFRONT SYSTEM.
 - SEE ComCheck FOR PERFORMANCE REQUIREMENTS.
 - M EIFS RECESSED MEDILLION.
 - COLOR: MATCH TO EIFS. (FIELD)
 - TEXTURE: MEDIUM
 - SIZE: 9" x 9"
 - DEPTH: 3/4"
 - N EIFS RAISED BAND.
 - COLOR: MATCH TO EIFS. (FIELD)
 - TEXTURE: MEDIUM
 - SIZE: 24" TALL
 - DEPTH: 3/4"

- O AZTEK TRIM BOARD / BUILT-UP MOLDING.
 - COLOR: PAINT TO MATCH TO EIFS. (FIELD)
 - TEXTURE: SMOOTH
 - SIZE: 5-1/2" LAID OVER (REVEAL + 5")
 - SIZE: 15-1/4" LAID OVER (REVEAL + 9")
 - SIZE: 9-1/4" (REVEAL + 8")
 - THICKNESS: 5/8"
- P CLAY FACE BRICK (DARK TONE) WITH MANUF. RECOMMENDED SEAL.
 - MANUF: BELDEN BRICK CO.
 - SIZE: MODULAR (3-5/8" x 2-1/4" x 1-5/8")
 - TEXTURE: BARK
 - COLOR: CHOCOLATE BROWN
 - COURSE: HEADER
 - MORTAR: MATCH TO MASONRY
- Q CLAY FACE BRICK (LIGHT TONE) WITH MANUF. RECOMMENDED SEAL.
 - MANUF: BELDEN BRICK CO.
 - SIZE: MODULAR (3-5/8" x 2-1/4" x 1-5/8")
 - TEXTURE: VELOUR
 - COLOR: TUMBLEWEED
 - COURSE: RUNNING BOND
 - MORTAR: MATCH TO MASONRY
- R CLAY FACE BRICK (DARK TONE) WITH MANUF. RECOMMENDED SEAL.
 - MANUF: BELDEN BRICK CO.
 - SIZE: MODULAR (3-5/8" x 2-1/4" x 1-5/8")
 - TEXTURE: BARK
 - COLOR: CHOCOLATE BROWN
 - COURSE: SOLIDER
 - MORTAR: MATCH TO MASONRY
- S EXTERIOR WALL MOUNTED ROOF ACCESS LADDER.
 - MANUF: 9M TO OKEEFFES INC. - CAGED WALL LADDER 1502
 - COLOR: BLACK - POWDER COAT
- T NOT USED
- U TRASH ENCLOSURE SYSTEM (HURRICANE FENCE / STEEL WIRE MESH).
 - MANUF: N/A
 - SIZE: 7'-0" TALL
 - COLOR: BLACK
 - PROVIDE 12'-0" CLEAR SLIDING GATE SUPPORTED BY ROLLERS MOUNTED TO CONCRETE FILLED STEEL BOLLARDS. PROVIDE LOCKABLE (IN-SWING) FENCE DOOR. PROVIDE PRIVACY SLATES (BLACK)
 - FINAL DESIGN BY FENCE SUPPLIER / CONTRACTOR
- V FABRIC AWNING WITH ALUM. FRAME.
 - COLOR: BLACK
- W INSULATED EXTERIOR STEEL DOOR. PROVIDE LATCH GUARD & ALL NESS. WEATHER-PROOFING SEALS. DRIPS AND/OR SUEPERS.
 - COLOR: PAINT TO MATCH TO ALUM. STOREFRONT FRAMING COLOR
- X BUILDING PROFILE (BEYOND)
- Y NOT USED
- Z PREFINISHED ALUMINUM STORE FRONT DRIVE-THRU WINDOW SYSTEM.
 - PROVIDE SHIM, SEALANT & BACKER ROD, PER MANUFACTURER'S WRITTEN RECOMMENDATIONS.
 - PROVIDE DRIP EDGE AND FLASHING PER MANUFACTURER'S WRITTEN RECOMMENDATIONS.
 - PROVIDE ADA COMPLIANT THRESHOLD & HARDWARE.
 - PROVIDE LAMINATED GLAZING AS REQUIRED. (1)
 - MATCH COLOR AND GLAZING TO STOREFRONT SYSTEM.
 - SEE ComCheck FOR PERFORMANCE REQUIREMENTS.
- AA ROOF TOP UNIT - PROFILE (BEYOND)
- BB 5" LIMSTONE PILASTER CAP.
 - COLOR: BEIGE / SAND
 - PROVIDE TOP WITH SLOPE AWAY FROM BLDG.
 - PROVIDE DRIP CUT
- CC ALUM. VERTICAL WALL TRELLIS ON STAINLESS STEEL HOLD-OFFS (12" H X 6" W) TOTAL NUMBER AND LOCATION T.B.D. WHEN FINAL METER LOCATIONS DETERMINED.
- DD 1. WALL PACK - BUILDING LIGHTING - SEE ELECTRICAL DUGS.
2. EMERGENCY LIGHT FIXTURE AT EXIT DOOR - SEE ELECTRICAL DUGS.

EXTERIOR MATERIAL LEGEND

SCALE: 1/8" = 1'-0"

2



EAST (FRONT) ELEVATION

SCALE: 1/8" = 1'-0"

1

FULL SIZE PRINT = 24" x 36" SHEET

DO NOT SCALE THIS SHEET

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REV. BY:	WHC
REV. #	02/03/12
REV. DATE	TENANT APPROVAL SET
DESCRIPTION	Project:
Shoppes at Southgate 3355 27TH STREET MILWAUKEE, WI	
PERSPECTIVE DESIGN, INC. 11525 W. North Avenue Wauwatosa, WI 53226 Tel (414) 302-1780 Fax (414) 302-1751	
Drawing Title: BUILDING ELEVATIONS	
Date:	02/03/12
Scale:	A.N.
Drawn:	WHC
Job:	10-006
Sheet:	A2.1

NOT FOR CONSTRUCTION

SURVEYOR'S CERTIFICATE

I, Ryan Wilgreen, Registered Land Surveyor, hereby certify that on this date I have completed a survey for Southgate Marketplace Outlot, LLC of a parcel of land as described below.

That I have marked the corners or boundaries of said parcel on the ground by setting iron stakes as shown on the map and that the following is the correct description as surveyed and staked out:

Lot 2 of CSM No. recorded in the Milwaukee County Register of Deeds Office on as Document No. 14, being part of Parcel 3 of CSM No. 6745, being a part of the Northeast 1/4 of the Northeast 1/4 of Section 13, Town 6 North, Range 21 East in the City of Milwaukee, Milwaukee County, Wisconsin.

That such survey is a correct representation of all the exterior boundaries of the land surveyed and the principal buildings thereon.

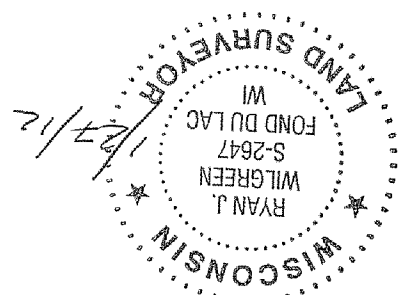
This survey is correct to the best of my knowledge and belief.

mortgage or guarantee title thereto within one year from the date hereof.

Excel Engineering, Inc.
Fond du Lac, Wisconsin 54935

Ryan Wilgreen, R.L.S. No. S-2647

Project Number: 1200960



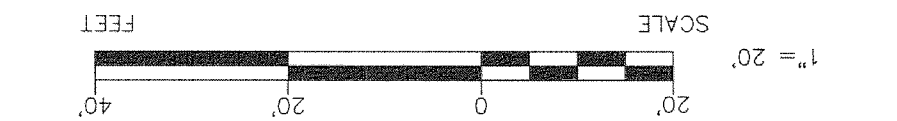
TOTAL AREA
0.491 ACRES
(21,388 sq. ft.)

PROPOSED ASPHALT
PARKING AREA

BASED UPON THE REVIEW OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NO. 55079C0152E WITH AN EFFECTIVE OF SEPTEMBER 26, 2008 THE SUBJECT PROPERTY FALL WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN)

NOTE: THIS SURVEY MAY NOT REFLECT ALL UTILITIES, OR IMPROVEMENTS, IF SUCH ITEMS ARE OR WHEN THE SITE WAS COVERED WITH SNOW, THERE WAS APPROXIMATELY 2" OF SNOW. COVER AFFECTING FIELD PROCEDURES AT THE TIME OF SURVEY.

EXISTING UTILITIES SHOWN ARE INDICATED IN ACCORDANCE WITH AVAILABLE RECORDS AND FIELD MEASUREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING EXACT LOCATIONS AND ELEVATIONS OF ALL UTILITIES, INCLUDING SEWER AND WATER FROM THE OWNERS OF THE RESPECTIVE UTILITIES. ALL UTILITY OWNERS PRIOR TO EXCAVATION.

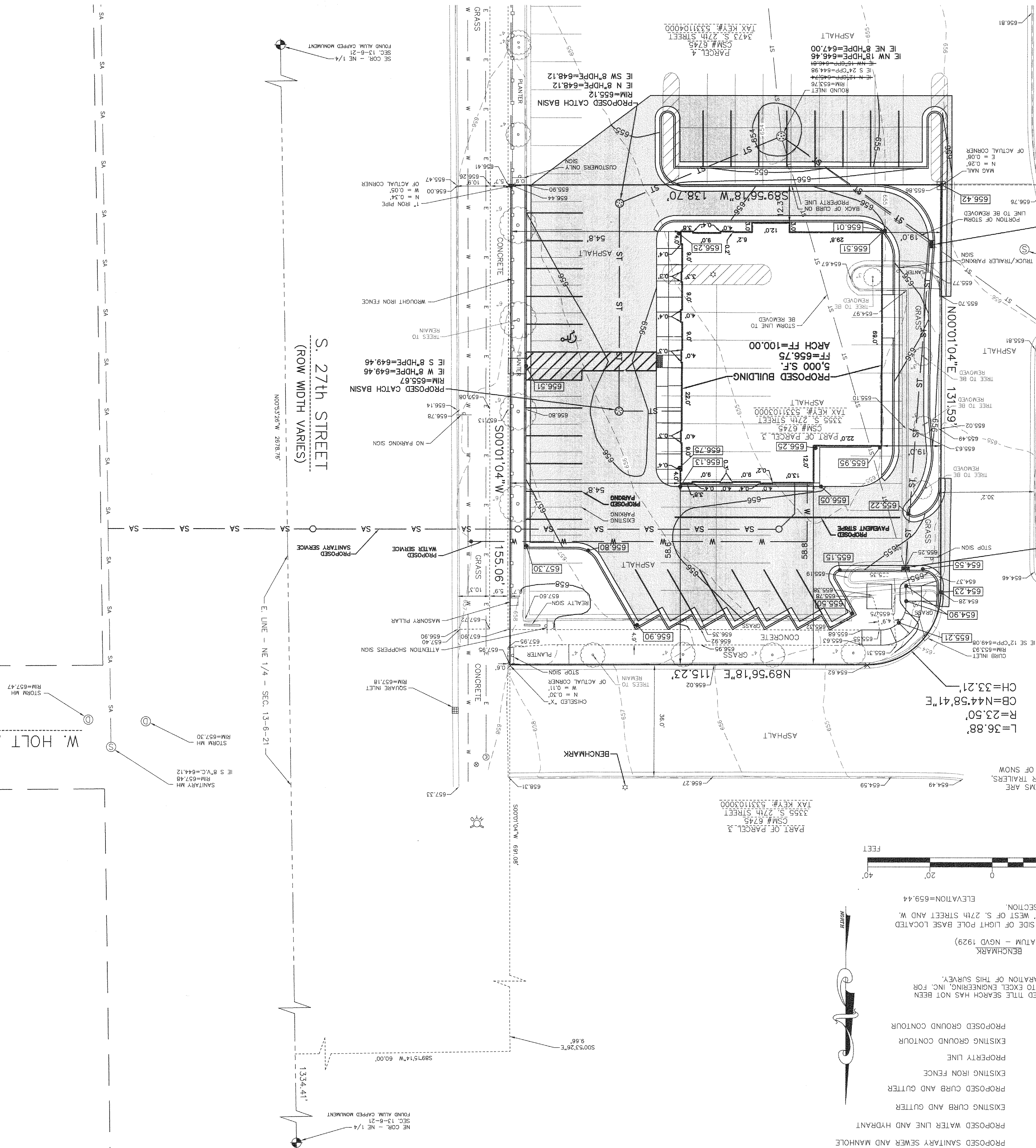


NOTE: AN UPDATED TITLE SEARCH HAS NOT BEEN PROVIDED TO EXCEL ENGINEERING, INC. FOR THE PREPARATION OF THIS SURVEY.

- LEGEND.
- EXISTING SPOT ELEVATIONS
 - PROPOSED SPOT ELEVATIONS
 - WATER VALVE IN BOX
 - WATER VALVE IN MANHOLE
 - EXISTING SQUARE CATCH BASIN
 - EXISTING ROUND CATCH BASIN
 - EXISTING CURB INLET
 - PROPOSED ROUND INLET
 - PROPOSED CURB INLET
 - STREET LIGHT
 - EXISTING LIGHT POLE
 - ELECTRIC MANHOLE
 - EXISTING SIGN
 - HANDICAP PARKING STALL
 - DECIDUOUS TREE
 - 1" IRON PIPE FOUND
 - MAG NAIL FOUND
 - CHISELED "X" FOUND
 - MONUMENT FOUND

PLAT OF SURVEY FOR:
SOUTHGATE MARKETPLACE OUTLOT, LLC

3355 S. 27th STREET
OF



S. 27th STREET
(ROW WIDTH VARIES)

W. HOLT AVENUE

OWNER:

SOUTHGATE MARKETPLACE OUTLOT, LLC.
10345 N. PORT WASHINGTON ROAD
SUITE 175
MEQUON, WI 53092

PROJECT:

3355 RETAIL
3355 S. 27th STREET
MILWAUKEE, WI 53215

SHEET ISSUE:

01-27-2012

SEE TITLE SHEET TO CONFIRM
THAT THIS SHEET HAS BEEN
ISSUED FOR CONSTRUCTION

REVISIONS:

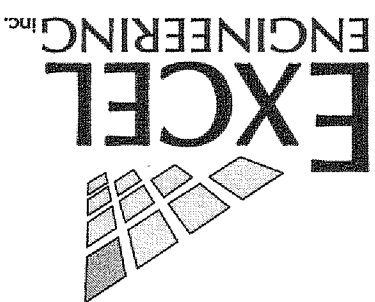
JOB NUMBER:

1200960

SHEET

PS

2011 © EXCEL ENGINEERING, INC.



100 CAMELOT DRIVE
FOND DU LAC, WI 54935
PHONE: (920) 926-9800
FAX: (920) 926-9801

Always a Better Plan



Mary Kowalski

Account Executive

4811 W. Woolworth Ave.
Milwaukee, WI 53218

office: 414.353.3666 ext. 13

cell: 414.243.6943

fax: 414.353.6828

maryk@american-sign.com

LOCATION 3355 S. 27TH STREET
MILWAUKEE WI.

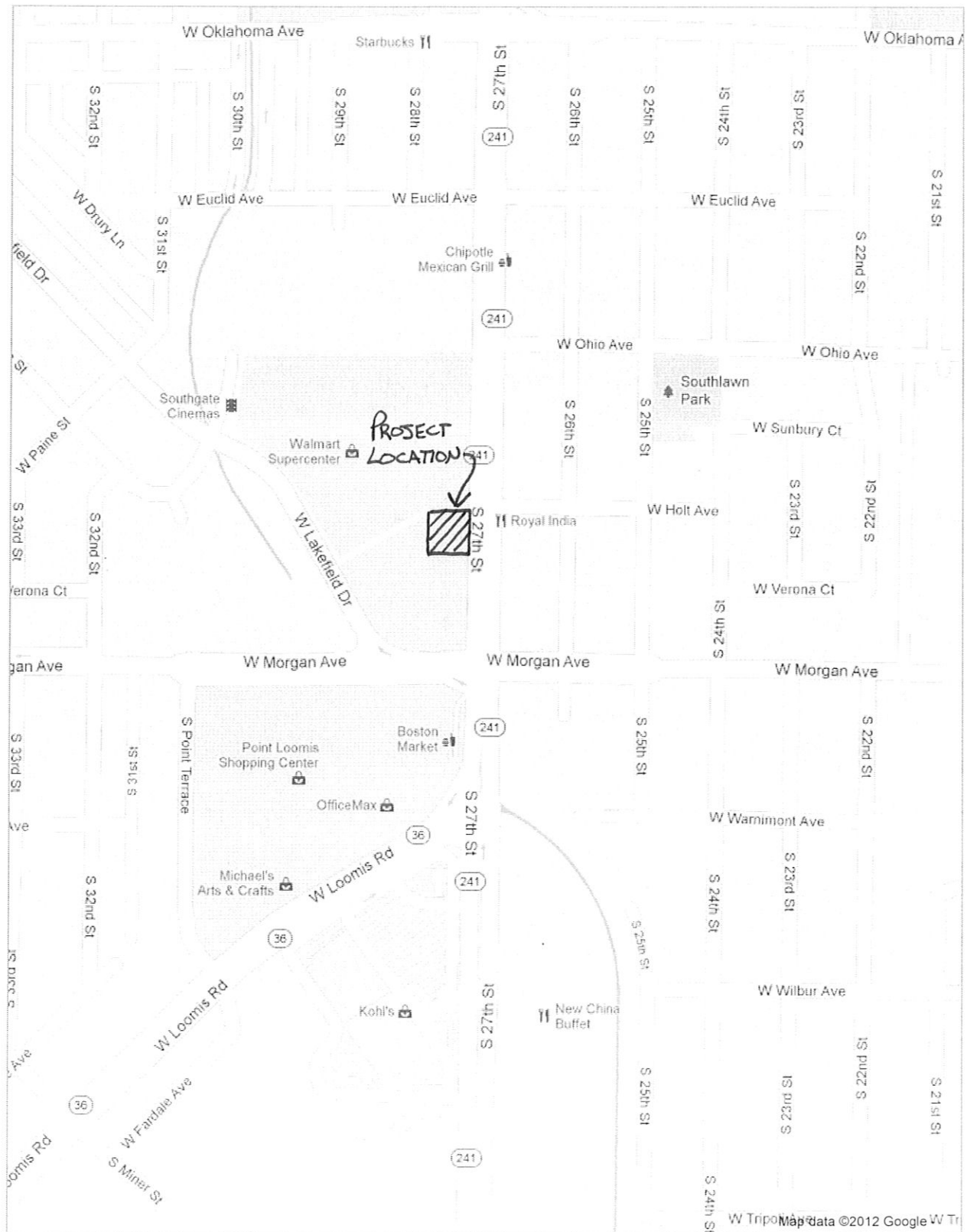
DOUBLE FACE INT. ILLUMINATED SIGN STANDARD FLUORSCENTS/UL
ALUM. CABINET WITH [2] SEPERATE LEXAN FACES
GRAPHICS AS SHOWN AT THIS TIME
ALUM. CAP ON TOP
ALUM LETTERS ADDRESS/NAME ON BRICK BASE





Google

To see all the details that are visible on the screen, use the "Print" link next to the map.





f:\1200960

27th Street Starbucks Milwaukee
1/23/12



f:\1200960

27th Street Starbucks Milwaukee
1/23/12



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27th Street Starbucks Milwaukee
1/23/12



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27th Street Starbucks Milwaukee
1/23/12













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27th Street Starbucks Milwaukee
1/23/12











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27th Street Starbucks Milwaukee
1/23/12



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27th Street Starbucks Milwaukee
1/23/12

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27th Street Starbucks Milwaukee
1/23/12









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27th Street Starbucks Milwaukee
1/23/12











FN 111300
3rd Amendment to DPD
February 2012

 Proposed Zoning Change





Residential Districts

-  Single Family (RS1-6)
-  Two-Family (RT1-4)
-  Multi-Family (RM1-7)
-  Residential and Office (RO1-2)





Commercial Districts

-  Neighborhood Shopping (NS1-2)
-  Local Business (LB1-2)
-  Commercial Service (CS)
-  Regional Business (RB1-2)
-  Central Business (C9A-C9H)

Industrial Districts

-  Industrial - Office (IO)
-  Industrial - Light (IL1-2)
-  Industrial - Mixed (IM)
-  Industrial - Heavy (IH)

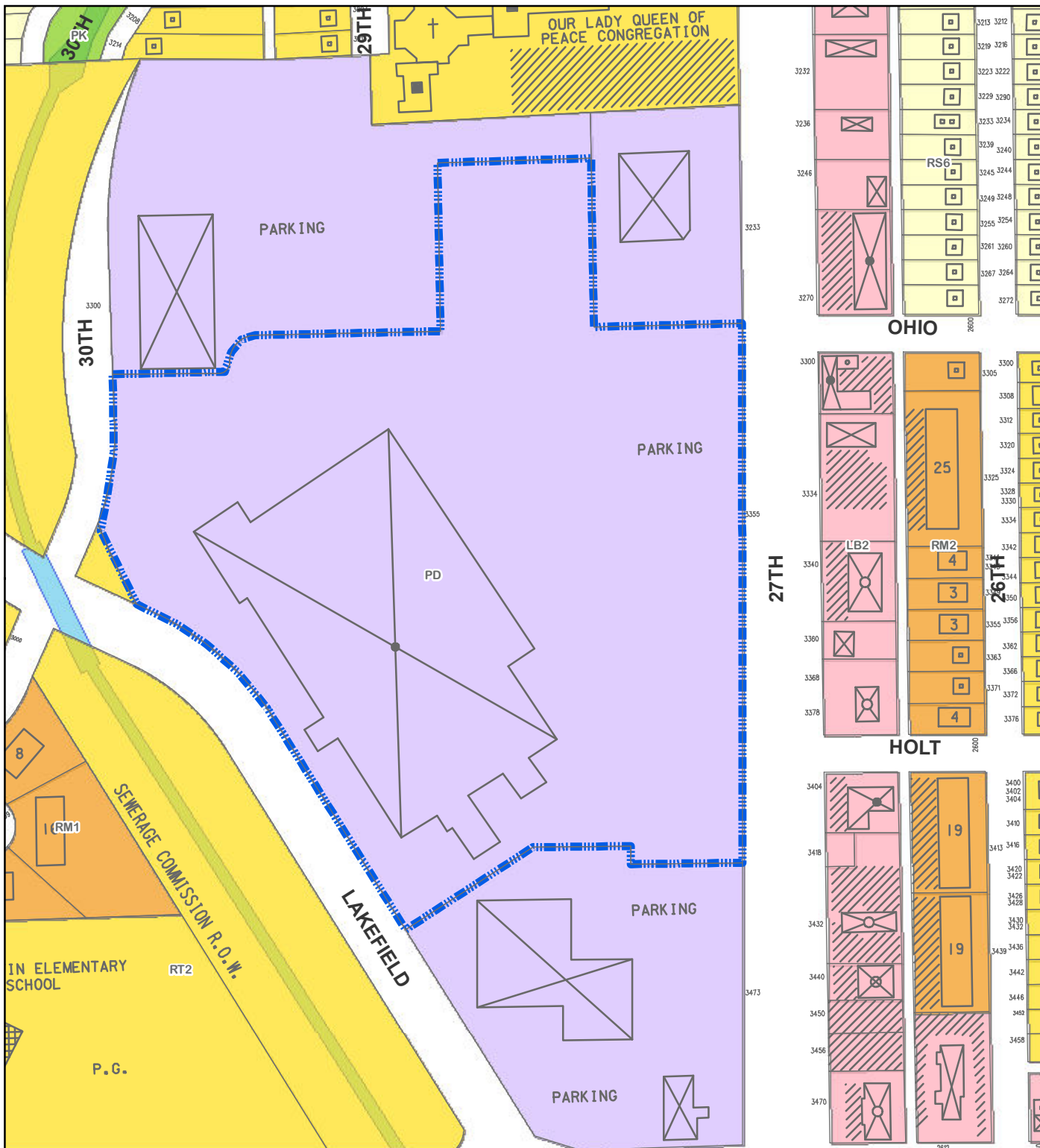
Special Districts

-  Parks (PK)
-  Institutional (TL)
-  Planned Development (PD, DPD)
-  Redevelopment (RED)



0 162.5 325 650 Feet

Data source: Department of City Development 2011



Address of parcel(s): 3355 S. 27th STREET.
SOUTHGATE MARKETPLACE PD

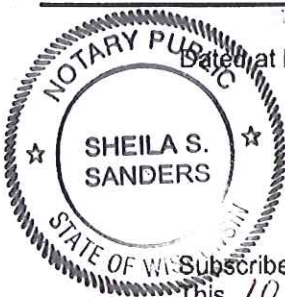
Affidavit for Zoning Change

1. POLICY (s. 295-313). Each applicant for a zoning map amendment or approval of a planned development, and each applicant for a use variance or special use permit, shall submit to the city plan commission or the board of zoning appeals, as the case may be, a signed affidavit indicating whether the applicant is: (NOTE: DISCLOSE ALL RELEVANT AND REQUIRED INFORMATION ON A SEPARATE SHEET AND ATTACH TO THIS SHEET UPON SUBMITTAL)

- a. Delinquent in the payment of any property tax, special assessment, special charge or special tax due to the city, provided that all appeals of the tax, assessment or charge have been concluded or the time to appeal has expired. YES ☐ NO ☒
- b. A party against whom the city has an outstanding judgment, provided that all appeals of the judgment have been concluded or the time to appeal has expired. YES ☐ NO ☒
- c. A party against whom the city has outstanding health or building and zoning code violations or orders from the commissioner of health or commissioner of neighborhood services that are not actively being abated, provided that all appeals of orders to correct violations have been concluded or the time to appeal has expired. YES ☐ NO ☒
- d. A party who has been convicted of violating an order of the commissioner of health or commissioner of neighborhood services within the past year, provided that all appeals of the conviction have been concluded or the time to appeal has expired. YES ☐ NO ☒
- e. The owner of premises found to be in violation of s. 80-10 to whom the commissioner of neighborhood services has charged the costs of police enforcement pursuant to s. 80-10-4, provided that all appeals of these charges have been concluded or the time to appeal has expired. YES ☐ NO ☒

2. NON-INDIVIDUAL APPLICANTS

- a. Corporations. If the applicant is a corporation, a duly authorized officer or director of the corporation shall submit the affidavit required by sub. 1. The affidavit shall attest to whether each officer and director of the corporation as well as each shareholder owning 5% or more of voting stock, fits any of the descriptions in sub. 1-a to e.
- b. Partnerships. If the applicant is a partnership or limited partnership, a duly authorized partner, general partner or limited partner shall submit the affidavit required by sub. 1. The affidavit shall attest to whether each partner, general partner and limited partner fits any of the descriptions in sub. 1-a to e.
- c. Limited Liability Companies. If the applicant is a limited liability company, a duly authorized member or manager of the company shall submit the affidavit required by sub. 1. The affidavit shall attest to whether each member and manager of the company fits any of the descriptions in sub. 1-a to e.
- d. Nonstock Corporations. If the applicant is a nonstock corporation, a duly authorized officer or director of the corporation shall submit the affidavit required by sub. 1. The affidavit shall attest to whether each officer and director of the corporation fits any of the descriptions in sub. 1-a to e.



Dated at Milwaukee, Wisconsin, this 10 day of JANUARY, 20 12.

[Signature]
Petitioner (signature)
MANAGING MEMBER
(print name, relationship to project)
SOUTHGATE OUTLETS, LLC

Subscribed and sworn to before me
This 10 day of JANUARY, 20 12
[Signature]
Notary Public, State of Wisconsin
My commission expires: 9-13-15

Office Use Only: File no. 111300

**OUR LADY QUEEN OF PEACE PARISH
3222 S. 29TH STREET
MILWAUKEE, WI 53215**

**PHONE: 414-672-0315 FAX: 414-672-0441
EMAIL: gspitz@olqpmke.org**

**City Plan Commission
809 North Broadway
Milwaukee, Wisconsin 53202-3617**

February 20, 2012

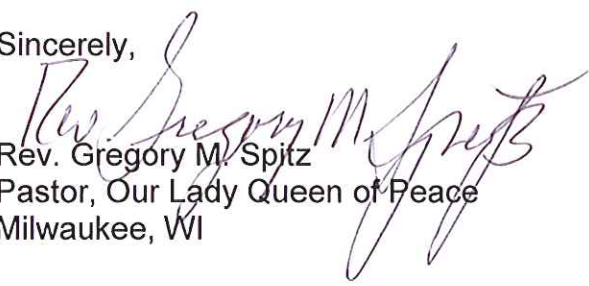
Dear Mr. Rocky Marcoux

On behalf of the parishioners of Our Lady Queen of Peace, I thank the commission for the notice of a public hearing regarding file number 111300 zoning change requested by Southgate Outlet LLC.

At this time, with only the knowledge presented in the commission notice of February 16, 2012, the parish corporation of Our Lady Queen of Peace has no objection to the re-zoning of the indicated site for the development of a two-tenant commercial building.

We would appreciate being kept abreast of any further developments or decisions on the part of the commission.

Sincerely,


Rev. Gregory M. Spitz
Pastor, Our Lady Queen of Peace
Milwaukee, WI

NOTICES SENT TO FOR FILE : 111300

[illegible]



616 UNIVERSITY LLC
4354 N ALPINE AV
SHOREWOOD WI 53211

DORIS G SCHNEIDER TRUST
3131 S 27TH ST
MILWAUKEE WI 53215

LILLIAM GONZALEZ
3420 S 26TH ST
MILWAUKEE WI 53215

ALICE E GROHALL
3342 S 26TH ST
MILWAUKEE WI 53215

EDUARDO BUSTOS
SANDRA M BUSTOS
3376 S 26TH ST
MILWAUKEE WI 53215

LUIS M CHAVEZ
3426 S 26TH ST
MILWAUKEE WI 53215

ANA MARIA URIBE
3372 S 26TH ST
MILWAUKEE WI 53215

GREGORY S GUNDERSON
MICHELLE M GUNDERSON
3213 S 29TH ST
MILWAUKEE WI 53215

MARIA A MARENO
3458 S 26TH ST
MILWAUKEE WI 53215

BENJAMIN GUTIERREZ
MARIA IRENE GUTIERREZ
3446 S 26TH ST
MILWAUKEE WI 53215

JAMES R WITTLIEFF
BARBARA WITTLIEFF
7517 S 74TH ST
FRANKLIN WI 53132

MARTIN CHAVEZ
MARIA C CHAVEZ
3355 S 26TH ST
MILWAUKEE WI 532154821

BRUNO LESZCZYNSKI
3009 W LAKEFIELD DR #3
MILWAUKEE WI 53215

JESUS J CHAVEZ
JOSEFINO CHAVEZ
10234 S SHEPARD AV
OAK CREEK WI 531545752

KELLY TRUST
C/O WALGREENS #4350
P O BOX 901
DEERFIELD IL 60015

CARLETTA M JACOBSON
3366 S 26TH ST
MILWAUKEE WI 53215

JOAN HENRICHS
3416 S 26TH ST
MILWAUKEE WI 53215

MICHAEL J WOODBURN
LORI A WOODBURN
3344 S 26TH ST
MILWAUKEE WI 532154822

CARLOS FAIT
3362 S 26TH ST
MILWAUKEE WI 53215

JUAN RODRIGUEZ LARA
IRMA RODRIGUEZ
2644 JACKSON ST
LONG BEACH CA 90810

MIGUEL TORRES
SYLVIA TORRES
3363 S 26TH ST
MILWAUKEE WI 53215

C PIORKOWSKI, D PIORKOWSKI
3346 S 26TH ST
MILWAUKEE WI 53215

KAREN DHILLON LLC
3400 S 27TH ST
MILWAUKEE WI 53215

MUTUAL S & L OF WI
C/O ACCOUNTING DEPT - KK
4949 W BROWN DEER RD
MILWAUKEE WI 532230988

CITY REAL ESTATE

KONSTANTINOS GIANNOPOULOS
C/O TBC #23730
PO BOX 35370
LOUISVILLE KY 402325370

NANCYLOU R NOWICKI
C/O MARCUS THEATRES ACCTG
100 E WISCONSIN AV #2000
MILWAUKEE WI 532024122

DAVID CHAVEZ
LUCILA CHAVEZ
3349 S 26TH ST
MILWAUKEE WI 53215

LADISLAUS SWIDER
BERNADETTE SWIDER
3155 W DRURY LA
MILWAUKEE WI 53215

NIKOLA STOJSAVLJEVIC
3006 W RUSKIN ST
MILWAUKEE WI 53215

CC Office FN 111500



OHIO PARTNERS LLC
C/O POLACHECK PROP MGMT
800 WOODLAND PRIME #150
MENOMONEE FALLS WI 53051

THEODORE D ELLIS JR
LUANNE ELLIS
3410 S 26TH ST
MILWAUKEE WI 532154824

OUR LADY QUEEN OF
PEACE CONGREGATION
3222 S 29TH ST
MILWAUKEE WI 53215

TRI CITY NATL BANK SOUTHGATE
THOMAS VIERTHALER
6400 S 27TH ST
OAK CREEK WI 53154

PEDRO CHAVEZ
JODI L CHAVEZ
4282 W CARMEL DR
FRANKLIN WI 531329482

VALERIE J KORALEWSKI
3350 S 26TH ST
MILWAUKEE WI 53215

R PACHEFSKY LIV TR D10-21-94
C/O GREAT LAKES REAL ESTATE
10150 W NATIONAL AV, #325
WEST ALLIS WI 53227

VIVIAN ANTON AKA VOULA ANTON
18730 WEST LE CHATEAU
BROOKFIELD WI 53005

SANFORD SHUTMAN
3080 PARKSIDE DR
HIGHLAND PARK IL 600351067

WAL-MART REAL ESTATE
PROP TAX #0555 DIV STORE 01-2828
P O BOX 8050
BENTONVILLE AR 727128050

SANTIAGO GODINEZ
LETICIA GODINEZ
3371 S 26TH ST
MILWAUKEE WI 53215

WAYNE & LOIS STANKOWSKI
W212 S7605 ANNES WAY
MUSKEGO WI 53150

SERGIO MORALES
MANUEL MORALES HEREDIA
3141 S 15TH PL
MILWAUKEE WI 53215

WHITE SWAN, LLC
C/O ASSOC PROPERTY MGMT
807 N 23RD ST # 186
MILWAUKEE WI 53233

SIGMA, INC
5120 S 31ST ST
GREENFIELD WI 53221

RANDY GOLL
KVG CONSTRUCTION
5375 N 118TH CT
MILWAUKEE WI 53225

SOUTHGATE MARKETPLACE LLC
C/O MIDLAND MGMT LLC
11045 TOWNE SQUARE RD
MEQUON WI 53092

SYLVIA DARGIEWICZ
3442 S 26TH ST
MILWAUKEE WI 53215

March 1, 2012

To the Honorable Members of the
Zoning, Neighborhoods and Development Committee
City of Milwaukee
City Hall, Room 205

Dear Committee Members:

File No. 111300 relates to the Third Amendment to the Detailed Planned Development known as Southgate Marketplace, for commercial development, on land located on the west side of South 27th Street, north of West Morgan Avenue, in the 11th Aldermanic District.

This zoning change was requested by Southgate Outlet LLC, and will allow for commercial development on a portion of the site. Upon acquisition of the site, Southgate Outlot LLC intends to construct a three-tenant commercial building with a drive-through on the site. The building will be constructed primarily with masonry. Upper portions of the east façade and the building cornice will be made of EIFS, and the windows will be clear. Though the west (rear) elevation will not have any windows, as it is the back of the house for the tenant spaces and it faces the Wal-Mart parking lot, it will be enhanced by landscaping, green screens and accent lighting.

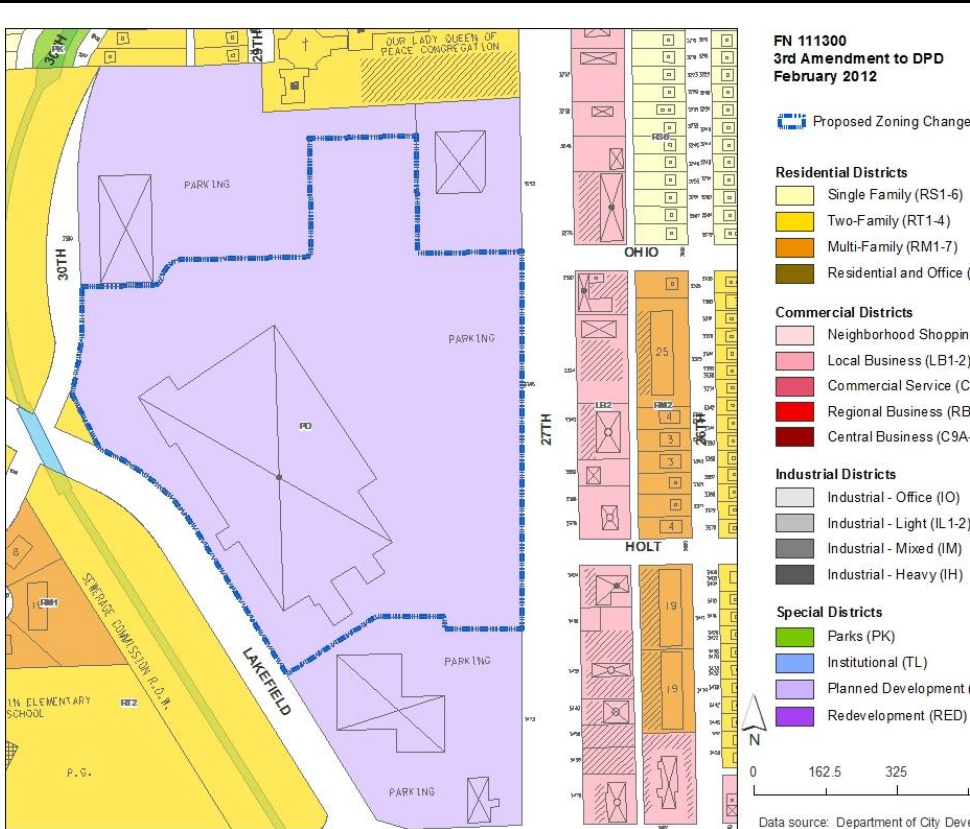
On February 27, 2012, a public hearing was held and at that time nobody spoke in opposition. Since the proposed change is consistent with the Southwest Side Comprehensive Area Plan and the previously approved DPD, the City Plan Commission at its regular meeting on February 27, 2012 recommended approval of the subject file.

Sincerely,

Rocky Marcoux
Executive Secretary
City Plan Commission of Milwaukee

cc: Ald. Joe Dudzik

File No. 111300. Ordinance relating to the Third Amendment to the Detailed Planned Development known as Southgate Marketplace, for commercial development, on land located on the west side of South 27th Street, north of West Morgan Avenue, in the 11th Aldermanic District. This zoning change was requested by Southgate Outlet LLC, and will allow for commercial development on a portion of the site.



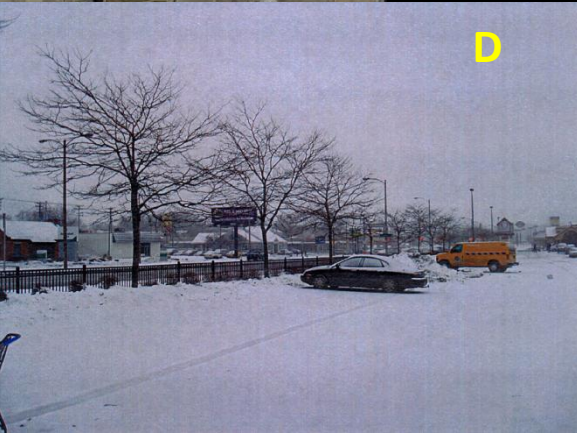
Southgate Marketplace Vicinity Map

DPD Boundary

Project Location

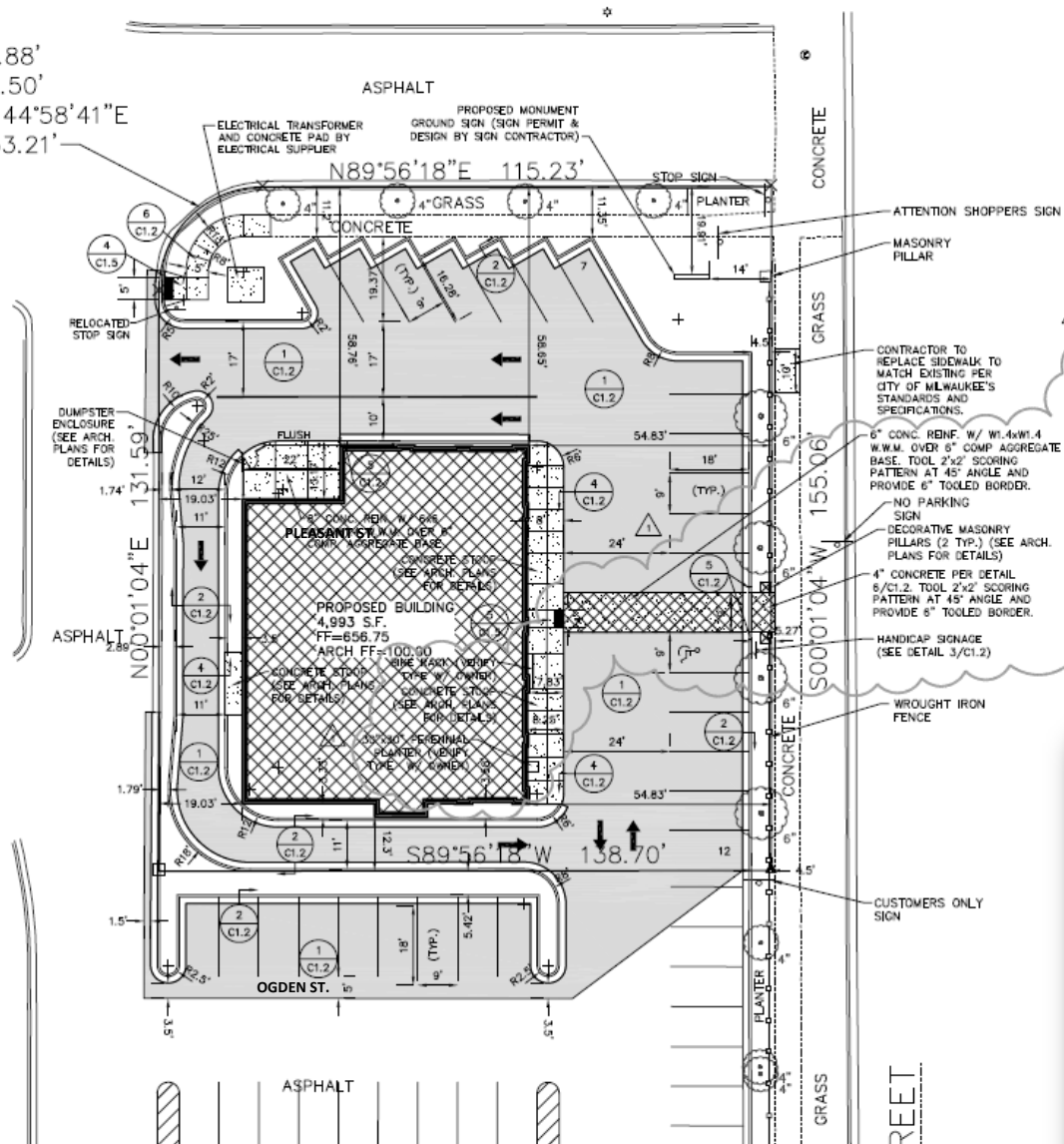


Southgate Marketplace Context Photos



Southgate Marketplace Proposed Site Plan

L=36.88'
R=23.50'
CB=N44°58'41"E
CH=33.21'



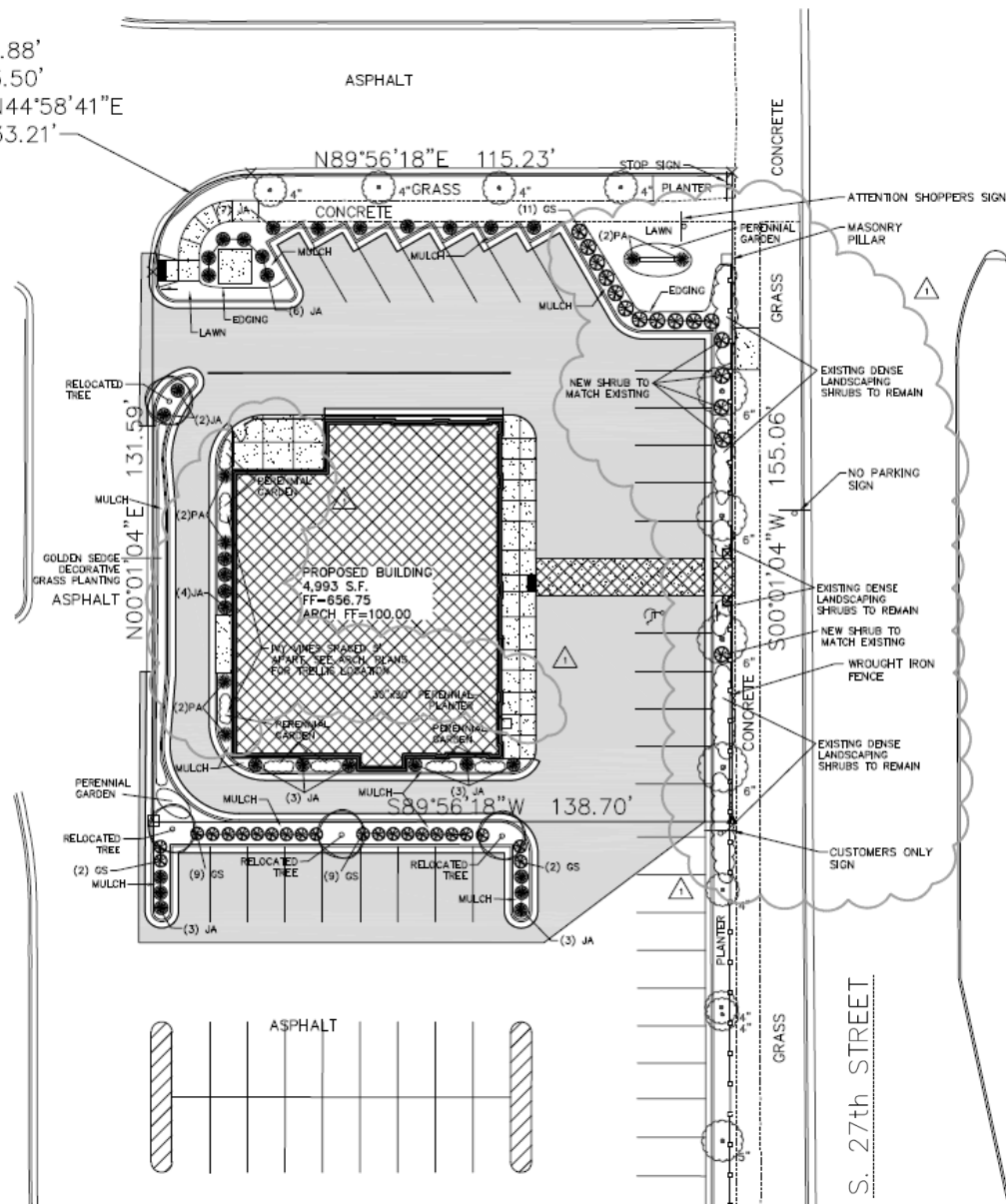
EXISTING SITE DATA			
	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	0.49	21,388	
BUILDING FLOOR AREA	0	0	0%
PAVEMENT (ASP. & CONC.)	0.42	18,223	85.7%
TOTAL IMPERVIOUS	0.42	18,223	85.7%
LANDSCAPE/OPEN SPACE	0.07	3,165	14.3%

PROPOSED SITE DATA			
	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	0.49	21,388	
BUILDING FLOOR AREA	0.11	4,993	22.5%
PAVEMENT (ASP. & CONC.)	0.30	12,938	61.2%
TOTAL IMPERVIOUS	0.41	17,931	83.7%
LANDSCAPE/OPEN SPACE	0.08	3,457	16.3%

PARKING INFORMATION	
EXISTING WAL-MART PARKING:	
STANDARD SPACES:	877
ACCESSIBLE SPACES:	25
CART CORRAIS:	20
TOTAL:	922
PROPOSED WAL-MART PARKING:	
STANDARD SPACES:	846
ACCESSIBLE SPACES:	26
CART CORRAIS:	20
TOTAL:	892
EXISTING OUTLOT PARKING:	
STANDARD SPACES:	49
ACCESSIBLE SPACES:	0
PROPOSED OUTLOT PARKING:	
STANDARD SPACES:	18
ACCESSIBLE SPACES:	1

SITE INFORMATION:	
PROPERTY AREA:	AREA = 21,388 S.F. (0.49 ACRES).
EXISTING ZONING:	PD – PLANNED DEVELOPMENT
PROPOSED ZONING:	PD – PLANNED DEVELOPMENT
PROPOSED USE:	RETAIL
AREA OF SITE DISTURBANCE:	23,375 S.F. (0.54 ACRES)
PROPOSED BUILDING HEIGHT:	26'-8"
PARKING PROVIDED ON PROPERTY:	19 SPACES
HANDICAP STALLS REQUIRED:	1, HANDICAP STALLS PROVIDED: 1
BUILDING OCCUPANCY CLASSIFICATION =	A2 (ASSEMBLY)
CLASS OF BUILDING CONSTRUCTION =	VB

L=36.88'
R=23.50'
CB=N44°58'41"E
CH=33.21'



Southgate Marketplace *Proposed Building Elevations*



S. 27th St. elevation

EAST (FRONT) ELEVATION
SCALE 1/8" = 1'-0"

1



WEST (REAR) ELEVATION
SCALE 1/8" = 1'-0"

5

Southgate Marketplace *Proposed Building Elevations*



W. Holt Av (extended) elevation

NORTH (SIDE) ELEVATION

SCALE 1/8" = 1'-0"

3



SOUTH (FRONT) ELEVATION

SCALE 1/8" = 1'-0"

4

Southgate Marketplace Proposed Signage

LOCATION 3355 S. 27TH STREET
MILWAUKEE WI.
DOUBLE FACE INT. ILLUMINATED SIGN STANDARD FLUORSCENTS/UL
ALUM. CABINET WITH [2] SEPERATE LEXAN FACES
GRAPHICS AS SHOWN AT THIS TIME
ALUM. CAP ON TOP
ALUM LETTERS ADDRESS/NAME ON BRICK BASE





Legislation Details (With Text)

File #: 111503 **Version:** 0

Type: Resolution **Status:** In Committee

File created: 2/28/2012 **In control:** ZONING, NEIGHBORHOODS & DEVELOPMENT COMMITTEE

On agenda: **Final action:**

Effective date:

Title: Resolution directing the Department of City Development to disclose all written communications and documents related to the terms and conditions of any and all proposals and offers made to the Kohl's Corporation in connection with the possible relocation of its corporate headquarters to downtown Milwaukee.

Sponsors: ALD. BAUMAN

Indexes: DEPARTMENT OF CITY DEVELOPMENT

Attachments: Department of City Development Letter, Hearing Notice List

Date	Ver.	Action By	Action	Result	Tally
2/28/2012	0	COMMON COUNCIL	ASSIGNED TO		
3/5/2012	0	ZONING, NEIGHBORHOODS & DEVELOPMENT COMMITTEE	HEARING NOTICES SENT		

Number
111503
Version
ORIGINAL
Reference
111445
Sponsor
ALD. BAUMAN
Title

Resolution directing the Department of City Development to disclose all written communications and documents related to the terms and conditions of any and all proposals and offers made to the Kohl's Corporation in connection with the possible relocation of its corporate headquarters to downtown Milwaukee.

Analysis

This resolution directs the Department of City Development to disclose all written communications and documents related to the terms and conditions of any and all proposals and offers made by the City to the Kohl's Corporation in connection with the possible relocation of its corporate headquarters to downtown Milwaukee. The Department of City Development is directed to provide such written communication and documents to the Common Council within 30 days of the adoption of this resolution.

Body

Whereas, The Kohl's Corporation recently announced that it would not be moving its corporate headquarters to downtown Milwaukee; and

Whereas, The unsuccessful attempt to attract Kohl's Corporation's headquarters to the city of

Milwaukee will have negative repercussions on the local real estate market, and particularly the redevelopment of downtown Milwaukee; and

Whereas, The City's incentive package for Kohl's included the creation of a \$100-million tax incremental financing district; and

Whereas, Concerns have been raised by many that the City could have done a better job of recruiting Kohl's; and

Whereas, The Department of City Development did not consult with the majority of Common Council members about its recruitment efforts for Kohl's and provided little information about its negotiating strategies; and

Whereas, The Department of City Development has provided few specific details on the proposed development of Kohl's corporate facilities; and

Whereas, The City can learn a number of valuable lessons from its unsuccessful recruitment strategies and efforts; now, therefore, be it

Resolved, By the Common Council of the City of Milwaukee, that the Department of City Development is directed to disclose all written communications and documents related to the terms and conditions of any and all proposals and offers made to the Kohl's Corporation in connection with the possible relocation of its corporate headquarters to downtown Milwaukee, including the expenditure or commitment of funds by the City, the Redevelopment Authority of the City of Milwaukee, the Milwaukee Economic Development Corporation, the Neighborhood Improvement Development Corporation and any other City-affiliated agency or entity; and, be it

Further Resolved, That the Department of City Development shall provide such written communications and documents to the Common Council within 30 days of the adoption of this resolution.

Drafter
LRB137366-2
Teodros W. Medhin/lp
2/23/2012



Department of City Development

City Plan Commission
Neighborhood Improvement
Development Corporation
Redevelopment Authority

Rocky Marcoux
Commissioner

Martha L. Brown
Deputy Commissioner

March 5, 2012

Ald. Jim Witkowiak, Chairman
Zoning, Neighborhoods and Development Committee
Milwaukee Common Council
City Hall, Room 205

Dear Ald. Witkowiak:

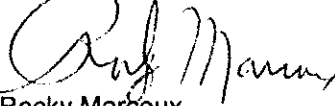
This letter provides the Department of City Development's comments regarding Common Council file #111503, a resolution directing the Department to disclose all written communications and documents regarding our negotiations with the Kohl's Corporation as it considered relocating its corporate headquarters.

I am in complete agreement with the concept of sharing this information with Council members. Presently, the Department of City Development is assembling the material, which runs for more than two thousand pages.

Once the documents are assembled, it is my recommendation that they be shared in private meetings with Council members, or during a closed session of the Steering and Rules Committee. It is important that our City send a strong message to prospective employers that their requests for confidentiality about negotiations will be respected to the extent allowed by law, regardless of the outcome of such negotiations.

We would ask that this resolution be placed on file, and that we work with the chair of the Steering and Rules Committee to schedule a closed briefing at such time that documents regarding the Kohl's negotiations are organized. I would urge other members of the Council who desire a private briefing to contact my office.

Sincerely,



Rocky Marcoux
Commissioner

C: Members of the Zoning Neighborhoods and Development Committee
Ald. Willie L. Hines, Jr.
Mayor Tom Barrett



March 6, 2012

Zoning, Neighborhood & Development Committee
Milwaukee Common Council
City Hall
200 East Wells Street
Milwaukee, Wisconsin 53202

Dear Committee Members,

We share your passion for creating a stronger, more vibrant City of Milwaukee through development and job creation. The recent effort to attract Kohl's Corporation to the Park East property is an example of exemplary partnership and one that we hope will be duplicated for future prospects.

We understand, as well, that after any major endeavor such as this a comprehensive review should be undertaken to determine where any improvements might be made in the future. We believe, however, that this process, such as the law allows, should be done internally.

As a result, we respectfully request that a proposal before your committee which directs the Department of City Development to provide all written communications related to the terms and conditions of the Kohl's offer be rejected.

Negotiations such as the one involving Kohl's Corporation, and other major developments that may ultimately take place on the Park East property, are filled with a great deal of propriety information, as well as sensitive financial data that, if released, is likely to put the City at a disadvantage in future deals.

It is our recommendation that the Department work directly with the members of the Common Council to provide an analysis of the negotiations. We believe this will be of greater value and provide policy makers with insight that will be helpful in setting City policy impacting development.

As always, we thank you for the opportunity to share our concerns. Please feel free to contact us if you have any questions.

Sincerely,

Jim Villa
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NOTICES SENT TO FOR FILE : 111503

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